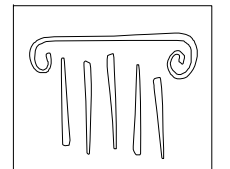
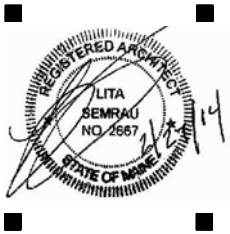


# FOREST AVENUE APARTMENTS

## 671-675 FOREST AVENUE Portland, Maine



**PORT CITY ARCHITECTURE**  
65 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
info@portcityarch.com



### DRAWING LIST

DWG NUM	DRAWING TITLE	ISSUE OR MODIFICATION DATE
T-10	TITLE SHEET	
T-11	CODE REVIEW	
T-12	CODE REVIEW	
T-13	CODE REVIEW	
L6-10	LIFE SAFETY PLAN	
D-10	DEMO PLAN	
A-10	SECOND FLOOR PLAN	
A-20	DETAILS AND ELEVATIONS	

### PROJECT SUMMARY

**EXISTING CONDITIONS:**  
THE CURRENT BUILDING IS A TWO (2) STORY BUILDING COMPRISED OF TWO ADDRESSES (671-675 FOREST AVENUE). THE BUILDING HAS TWO RETAIL UNITS ON THE FIRST FLOOR AND 5 RESIDENTIAL UNITS ON THE SECOND. THE WORK IS CONTAINED TO THE FIVE (5) APARTMENTS ABOVE THE RETAIL SPACE ON THE SECOND FLOOR. AT THIS POINT, NO WORK WILL BE DONE ON THE FIRST FLOOR. ALL WORK WILL BE CONFINED TO THE SECOND FLOOR.

NO WORK HAS BEEN DONE TO THE EXISTING BUILDING OUTSIDE OF THE WORK AREA.

**SCOPE OF WORK:**  
IT IS THE INTENT OF THIS PROJECT TO REPLACE THE INTERIOR FINISH SHEATHING, FINISH FLOORING, ELECTRICAL, MILLWORK, TRIM, AND OTHER INTERIOR WALLS WITHIN THE WORK AREA. THESE DRAWINGS WILL ADDRESS THESE INTERIOR FINISHES ALONG WITH THE FIRE RESISTANCE REQUIREMENTS PER 2009 NFPA 101.

IN ADDITION, THERE ARE CERTAIN CODE REQUIREMENTS THAT NEED TO BE SATISFIED, AND ARE INCLUDED IN THIS PROJECT.

**SPRINKLER SYSTEM:**  
DUE TO THE CODE REQUIREMENTS OF NFPA, A SPRINKLER SYSTEM IS REQUIRED. THIS SYSTEM SHALL MEET ALL REQUIREMENTS OF AN NFPA 13R SYSTEM. THESE DRAWINGS DO NOT ADDRESS THE REQUIREMENTS FOR THESE SYSTEMS. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION OF THE SPRINKLER SYSTEM.

**STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING:**  
THESE DRAWINGS DO NOT ADDRESS ANY ISSUES WITH REGARDS TO MECHANICAL, ELECTRICAL OR PLUMBING WITHIN THE WORK AREA. THE OWNER IS RESPONSIBLE FOR OBTAINING THE REQUIRED PERMITS FOR ANY WORK IN THESE DISCIPLINES.

**FIRE ALARM SYSTEM:**  
THERE IS A FIRE ALARM SYSTEM CURRENTLY INSTALLED IN THIS BUILDING. THESE DRAWINGS DO NOT ADDRESS ANY ISSUES ASSOCIATED WITH THE REQUIREMENTS OF THIS SYSTEM. THE OWNER IS RESPONSIBLE FOR THIS SYSTEM AND ITS OPERATIONS.

THESE DRAWINGS DO NOT ADDRESS ANY ISSUES WITH REGARDS TO MECHANICAL, ELECTRICAL OR PLUMBING WITHIN THE WORK AREA. THE OWNER IS RESPONSIBLE FOR OBTAINING THE REQUIRED PERMITS FOR ANY WORK IN THESE DISCIPLINES.

THERE ARE NO NOTICEABLE STRUCTURAL ITEMS THAT NEED TO BE RECTIFIED IN THE AREA OF WORK. THESE DRAWINGS DO NOT ADDRESS ANY STRUCTURAL ISSUES. THE OWNER IS RESPONSIBLE FOR ANY STRUCTURAL ISSUES. AN ENGINEER, REGISTERED IN THE STATE OF MAINE, MAY BE REQUIRED.

### PROJECT CODES
















2009 INTERNATIONAL EXISTING BUILDING CODE  
2009 NFPA 101 LIFE SAFETY CODE  
CITY OF PORTLAND CODE OF ORDINANCES

### PROJECT CONTACTS

**ARCHITECT:** (LITA SEMRAU)  
PORT CITY ARCHITECTURE  
65 NEWBURY STREET  
PORTLAND, ME 04101  
TEL: (207) 761-9000  
E-MAIL: LITA@PORTCITYARCH.COM

**OWNER:** (ASHRAF ELDEKNAWEY)  
PORTLAND'S CHOICE REAL ESTATE  
TEL: (207) 272-0227  
EMAIL: ALB.012@HOTMAIL.COM

### LEGEND

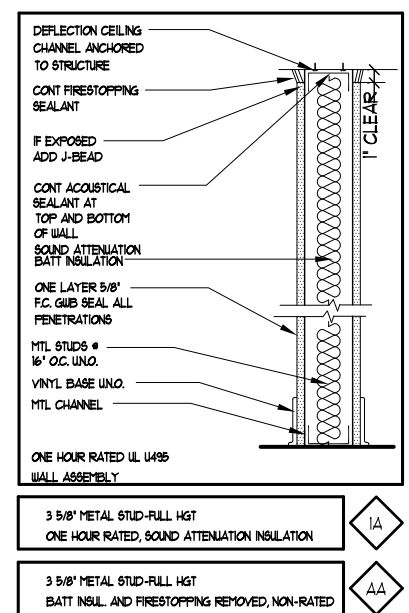
-  DETAIL NUMBER
-  SHEET WHERE DETAIL IS DRAWN
-  INDICATES BUILDING SECTION
-  BUILDING SECTION LETTER
-  SHEET WHERE BUILDING SECTION IS DRAWN
-  INTERIOR ELEVATION NUMBER
-  SHEET WHERE ELEVATION IS DRAWN
- LOBBY**  
 ROOM NAME AND NUMBER
-  KEYED NOTE
-  DOOR NUMBER
-  COLUMN GRID LINE
-  ELEVATION TARGET
-  WALL TYPE
-  WINDOW TYPE
-  REVISION ITEM

### GENERAL NOTES

- ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER.)
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A STATE APPROVED LANDFILL.
- ROOM NUMBERS ON THE DRAWING ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.

### DEMO NOTES

- REMOVE STRUCTURAL ELEMENTS AS NOTED ON PLANS. VERIFY THAT STRUCTURAL ELEMENTS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OR STRUCTURAL ENGINEER OF ANY DISCREPANCIES. BEFORE PENETRATION, JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT OR STRUCTURAL ENGINEER FOR APPROVAL.
- CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
- WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.
- IF SUSPECT ASBESTOS MATERIALS ARE UNCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR TESTING AND / OR REMOVAL. ANY ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY BY THE OWNER. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S ABATOR ON THESE EFFORTS.
- UNLESS OTHERWISE NOTED, ALL ITEMS ON DEMOLITION PLANS ARE EXISTING.
- CONTRACTOR TO REPAIR ALL FINISH AND PROVIDE INFILL WALL AND FLOOR FINISHES WHERE REQUIRED.



671-675 Forest Ave.  
Apartments  
Portland, Maine

REVISIONS		
#	DATE	DESCRIPTION
-	-	-

Date Issued: MAY 21, 2014  
Project Number: 13118  
Drawing Scale: SHEET NAME

### TITLE PAGE

Drawn By: JAP  
Checked By: LAS  
**T1.0**

**Code Review - NFPA 101 2009**

**Chapter 43 - Building Rehabilitation**

**Section 43.1.2.1** - Because this structure is undergoing "Modifications" (see 43.2.2.1.3 for definition), it shall comply with both Chapter 31 (Existing Apartment Buildings) and Chapter 43.5 (Modifications).

Note: Per the commentary in this section, Chapter 31 (Existing Apartment Buildings) applies to the entire structure, not just the renovations.

**Section 43.2.2.1.3** - This section provides a definition of "Modifications", which is considered the reconfiguration of any space; the addition, relocation, or elimination of any door or window; the addition or elimination of load bearing elements; the reconfiguration or extension of any system; or the installation of any kind of equipment.. It is this category of Modifications that will be utilized for this project.

**Section 43.4** - The renovation work (except for interior finishes) must be in compliance with Chapter 31 for Existing Apartment Buildings. Interior finishes must comply with Section 43.4.3. Furthermore, the building must also comply with the requirements of Chapter 31.

**Section 43.4.2** - The capacity of means of egress per Section 7.3 shall be sufficient for the occupant load.

Occupant Load per Table 7.3.1.2 : 1 person per 200 square feet.

**Section 43.4.3** - New interior finishes shall meet the requirements for new construction.

**Section 43.5.1.1** - The modifications will comply with section 43.4 (see above) and Section 43.5

**Section 43.5.1.2** - This is not an Historic Building

**Section 43.5.1.3** - This work will comply with all sections for New Construction.

**Chapter 31 - Existing Apartment Buildings**

**Section 31.1.1.1** - The structure shall comply with one of the four options for fire protection as described in this section. Of the four options that are available, Option 4 is the option that is being considered for this project. This option consists of installing a sprinkler system throughout the structure.

**Section 31.1.2.1** - Multiple occupancies shall be in accordance with 6.1.14.

**6.1.14.2.3** - Due to a portion of the first floor (Units 1 and 2) being used for Mercantile, this building will be a Multiple Occupancy and further defined as a Separated Occupancy.

**6.1.14.4.1** - Per the Table in this section, the separation between the Residential Apartment Building and the Mercantile shall be 2 hours. Note: This will be reduced to a 1-hour rating with a sprinkler system per Section 6.1.14.4.3. This may be further reduced per Section 31.1.2.3.

**Section 31.1.2.2** - The dwelling units do not have their sole means of egress passing through the Mercantile occupancy.

**Section 31.1.2.3** - Dwelling units may be located above a non-residential use (Mercantile) if the dwelling units and its exits are separated from the non-residential use by a 1-hour rating, or the non-residential use is sprinkled (also see 6.1.14.4.1). Note: Subsection 3 does not apply as there are more than 2 dwelling units above the Mercantile space.

**Section 31.1.5** - For purposes of designing an automatic sprinkler system, the contents shall be classified as an "Ordinary" hazard.

**Section 31.1.7** - Occupant load shall be determined per Table 7.3.1.2.

**Table 7.3.1.2** - Occupant load for apartment buildings shall be 1 person per 200 s.f.

Occupant load for mercantile shall be 1 person per 30 s.f.

**Section 31.2.1.1** - Means of egress from the dwelling units to the outside of the building shall comply with Chapter 7 of this code.

**Section 31.2.1.2** - Means of escape within the dwelling unit shall comply with Section 24.2.

**24.2.2.1.1** - Dwelling units of two rooms or more must have a primary means of escape and a secondary means of escape from every sleeping room and living area (i.e. egress windows).

**24.2.2.1.2(2)** - A secondary means of escape is not required if the dwelling unit is protected with an automatic sprinkler system.

**Section 31.2.2.1.2** - In buildings using Option 4 (automatic sprinkler system throughout), exit enclosures shall be 1-hour rated, with 1-hour fire doors.

**Section 31.2.2.2.2.1** - No door in any means of egress shall be locked against egress when the building is occupied.

**Section 31.2.2.2.5** - No re-entry provisions are expected.

**Section 31.2.2.3.1** - The existing stairs shall have the dimensional criteria per Table 7.2.2.2.1.1(b). The existing stairs do not appear to meet these dimensional criteria (also see 31.2.2.3.4 for Winder Stairs). However, existing noncomplying stairs as approved by the AHJ do not have to meet these criteria per 7.2.2.1.2(2).

**Section 31.2.2.3.4** - Winder stairs per 7.2.2.2.4 are permitted. Existing winder stairs shall be permitted to remain in use per Section 7.2.2.2.4.3, provided they have a tread depth of not less than 6" and a tread depth of 9" at a point 12" away from the narrowest edge.

**Section 31.2.2.5** - There are no horizontal exits anticipated in this project.

**Section 31.2.2.6** - There are no ramps anticipated in this project.

**Section 31.2.2.7** - There are no exit passageways anticipated in this project.

**Section 31.2.2.8** - There are no escalators in this project.

**Section 31.2.2.9** - There are no fire escape stairs in this project.

**Section 31.2.2.10** - There are no fire escape ladders in this project.

**Section 31.2.2.11** - There are no alternating tread devices in this project.

**Section 31.2.2.12** - There are no areas of refuge in this project.

**Section 31.2.3.2** - Street floor exits shall be sufficient for the occupant load of the street floor plus the required capacity of the stairs that discharge onto the street floor.

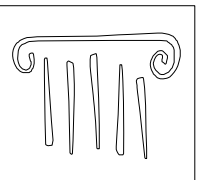
Note: The total occupant load of the top three floors of the work area is 24 (8 per floor). The occupant load of the ground floor Unit 1 is 26 for a total load of 52. Even if all occupants exited out one door, the required width would only be required to be 10 1/2" per Table 7.3.3.1.

**Section 31.2.4.1** - Every dwelling unit shall have two separate exits remotely located from each other. Note: The dimensional distance of 1/2 of the diagonal between exits does not have to be met per Section 7.5.1.3.5.

**Section 31.2.5.3.1** - The common path of travel (without a sprinkler system) shall be 35 feet. Note: The travel within a dwelling unit is not included.

**Section 31.2.5.3.2** - The common path of travel (with a sprinkler system) shall be 50 feet. Note: The travel within a dwelling unit is not included.

**Section 31.2.5.4** - Dead-end corridors shall not exceed 50 feet.



PORT CITY ARCHITECTURE

65 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
info@portcityarch.com



671-675 Forest Ave.  
Apartments

Portland, Maine

REVISIONS		
#	DATE	DESCRIPTION
-	-	-

Date Issued MAY 21, 2014

Project Number 13118

Drawing Scale

SHEET NAME

CODE REVIEW

Drawn By JAP

Checked By LAS

T1.1

**Section 31.2.6.1** - Travel distance within a dwelling unit to the corridor (or exit) door shall not exceed 125 feet for Option 4.

**Section 31.2.6.3** - There are no exterior way of exit access in this project.

**Section 31.2.6.4** - The travel distance from areas not within a dwelling unit, to an exit shall not exceed 200 feet (or 250 feet with a sprinkler system).

**Section 31.2.8** - Means of egress shall be illuminated per Section 7.8

**Section 31.2.9** - Emergency lighting shall be provided per Section 7.9.

**Section 31.2.10** - Means of egress shall have signage per Section 7.10.

**Section 31.3.3.2** - Interior wall and ceiling finishes for exits, lobbies, and corridors shall be Class A or B. Finishes for other spaces shall be Class A, B, or C.

**Section 31.3.3.3** - Floor finishes shall not be less than Class II (unless a sprinkler system is provided).

**Section 31.3.4.1.1** - A fire alarm system per Section 9.6 shall be provided.

**Section 31.3.4.2.1** - The fire alarm system shall have manual initiation per Section 9.6.2

**Section 31.3.4.2.5** - Due to the use of Option 4 (see Section 31.1.1.1) the fire alarm system shall also be initiated upon operation of the automatic fire sprinkler system.

**Section 31.3.4.3.1** - The fire alarm system shall have automatic occupant notification per Section 9.6 and: visible signals shall be installed in units designed for the hearing impaired; positive alarm sequence per Section 9.6.3.4 shall be permitted; and existing approved presignal systems shall be permitted per Section 9.6.3.3.

**Section 31.3.4.3.3** - An annunciator panel (location approved by the AHJ), shall be provided and connected to the fire alarm system.

**Section 31.3.4.3.5** - Fire department notification shall be accomplished per Section 9.6.4.

**Section 31.3.4.4.2** - Automatic fire detection devices shall be installed as follows:

- (1) Smoke detectors shall be installed in all common areas and work spaces outside of the dwelling unit, such as stairs, egress corridors, lobbies, storage rooms ect...
- (2) Heat detectors shall be located within each room of the living unit.

**Section 31.3.4.5.1** - Unless an existing, complete automatic smoke detection system is installed throughout the building, smoke alarms shall be installed per Section 9.6.2.10, outside every sleeping room, on all levels of the dwelling units. *Note:* The smoke alarms are not required to be provided with secondary (standby) power per Section 31.3.4.5.2.

**Section 31.3.4.5.3** - Unless an existing, complete automatic smoke detection system is installed throughout the building, or a complete, supervised automatic sprinkler system (per Section 31.3.5) is installed throughout the building, smoke alarms shall be located in every sleeping room per 9.2.6.10. *Note:* These smoke detectors may be battery powered per 31.3.4.5.4.

**Section 31.3.4.6** - Smoke detection shall be provided at each fire alarm control unit (even if a sprinkler system is installed).

**Section 31.3.5.4** - Where an automatic sprinkler system is installed, it shall be per Section 9.7. Because this structure is 4 stories, an NFPA 13R system shall be permitted. Per Section 31.3.5.4, sprinklers are not required in closets smaller than 24 s.f., or in bathrooms smaller than 55 s.f. If a closet contains washers, dryers, furnaces, or water heaters, the closet must be sprinkled.

**Section 31.3.5.10** - Supervision of the sprinkler system per Section 9.7 is not required (building is not 7 or more stories).

**Section 31.3.5.13** - Portable fire extinguishers are not required due to the sprinkler system.

**Section 31.3.6.1** - Exit access corridor walls shall consist of fire barriers per Section 8.3 with a minimum of ½-hour fire rating.

**Section 31.3.6.2.2** - When utilizing Option 4 (Section 31.1.1.1) doors opening into exit access corridors shall resist the passage of smoke only. The 20-min rating per 31.3.6.2.1 is not required.

**Section 31.3.6.3.2** - Spaces shall be permitted to be open to the exit access corridor provided they do not contain guest rooms or hazardous areas, that they are sprinkled, and the space does not obstruct access to the exit.

**Section 31.3.6.4** - Transoms, louvers, or grilles shall not be in walls or doors of exit access corridors.

**Section 31.3.7.1** - Smoke partitions in exit access corridors as outlined in Section 31.3.7, are not required due to utilizing Option 4 (per Section 31.1.1.1).

**Section 31.5.1** - Utilities shall comply with Section 9.1 of this code.

**Section 31.5.2** - Heating, ventilating, and air-conditioning equipment shall comply with Section 9.2 of this code.

**Section 31.5.3** - There are no elevators, escalators, or conveyors associated with this project.

**Section 31.5.4** - There are no rubbish chutes, incinerators or laundry chutes associated with this project.

**Section 31.7.1** - Emergency instructions shall be provided annually to each dwelling unit to indicate the location of alarms, egress paths, and action to be taken, both in response to a fire in the dwelling unit and in response to the sounding of the alarm system.

**Section 31.7.2.1** - Contents and furnishings are not required to comply with Section 10.3 for fire-resistance.

**Section 31.7.2.2** - Furnishings and decorations of an explosive or highly flammable character shall not be used outside of dwelling units.

**Section 31.7.2.3** - Fire-retardant coatings shall be maintained to retain their effectiveness.

**Code Review - Chapter 10, City of Portland, Code of Ordinances**

**Section 6-110** - (c) Sleeping space. Every room occupied for sleeping purposes in a dwelling unit and in a rooming unit shall contain at least fifty (50) square feet of habitable floor area for each occupant, except that children under one (1) shall not be counted and children more than one (1) but less than ten (10) shall be deemed one-half person.

(d) Size of habitable rooms. No habitable room, other than a kitchen or dining alcove, shall contain less than sixty-five (65) square feet of floor area, nor shall the least horizontal dimension of such room be less than seven (7) feet.

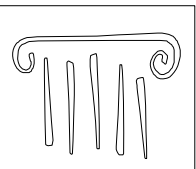
**Section 10-3(i)** - All new single and multiple station smoke alarm installations shall comply with Section 9.6.2.10 of NFPA 101. New detectors shall not use ionization detection technology.

**Section 10-3(p)** - Existing buildings shall comply with the AHJ's Standards for Building, Stair, Floor, Suite, and Room designation systems.

**Section 10-18(h)** - All structures with a life safety signaling system or a fire suppression system shall be provided with a Knox box. The number, make, model, and location of the box shall be determined by the AHJ. All keys required to operate the life safety signaling system or the fire suppression system, and building keys shall be placed within the box

**Section 14-332 (a-4)** - (Parking) for Residential development in the B-2, B-2b, B-2c zones:

- a. One (1) parking space per unit



PORT CITY ARCHITECTURE

65 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
info@portcityarch.com



671-675 Forest Ave.  
Apartments

Portland, Maine

REVISIONS		
#	DATE	DESCRIPTION

Date Issued MAY 21, 2014

Project Number 13118

Drawing Scale

SHEET NAME

CODE REVIEW

Drawn By	JAP
Checked By	LAS

T1.2

**Code Review - IEBC 2009**

**Chapter 4 - Classification of Work**

**Section 401.2** - The *work area* (per Chapter 2) is confined to the 2nd Floor.

**Section 401.3** - The main use group for this building is R-2 (per IBC, section 310.1). The first floor (Units #1 and 2) are classified as Mercantile (per IBC, section 309.1).

**Section 404.1** - The extent of the repairs in this project shall be classified as *Level 2 Alterations*.

**Section 404.2** - Chapter 6 and 7 of the IEBC applies to this project.

**Chapter 6 - Alterations - Level 1**

**Section 602.1** - Interior wall and ceiling finishes shall comply with Chapter 8 of IBC.

**Section 602.2** - Interior floor finishes shall comply with Section 804 of IBC.

**Section 602.3** - Interior trim materials shall comply with Section 806 of IBC.

**Section 603.1** - Alterations shall be done in a manner that maintains (and does not lessen) the level of fire protection currently provided.

**Section 604.1** - Alterations shall be done in a manner that maintains (and does not lessen) the level of protection provided for the means of egress.

**Section 605.1 (ex. 1)** - Only the altered elements that are primary functions are required to be on an accessible route. The remainder of the work area is not required to be on an accessible route.

**Section 605.1 (ex. 2)** - An accessible means of egress is not required.

**Section 605.1 (ex. 3)** - The dwelling units are not required to be Type B units.

**Section 605.1 (ex. 4)** - There are no Type A dwelling units associated with this project.

**Section 605.1.1** - The existing entrances are not being altered.

**Section 605.1.2** - There are no existing elevators.

**Section 605.1.4** - It is not anticipated that any ramps will be needed. However, if a ramp is installed, the slope of the ramp cannot exceed 1:8 with a maximum rise of 3 inches, and 1:10 with a maximum rise of 6 inches.

**Section 605.1.8** - This project includes altering dwelling units in an R-2 Use Group. Therefore, the requirements of Section 1107 of the IBC and Chapter 9 of the IBC are applicable.

Section 1107 (IBC):

**1107.1** - Dwelling units shall be provided with accessible features.

**1107.4** - This section requires accessible units to be on an accessible route. However, per Section 605.1(1), the accessible units are not primary functions and not required to be on an accessible route.

**1107.6.2.1.1** - This section requires structures containing more than 20 dwelling units, to have Type A units. However, per Section 605.1.9 (IEBC), it limits the work to the altered units. This project is only altering 8 units, therefore, Type A units are not required.

**1107.6.2.1.1** - This section requires structures containing 4 or more dwelling units to have those units be Type B units. However, per Section 605.1(4), these Type B units are not required.

**Section 605.1.9** - Type A units are not required as this project is only altering 4 units.

**Section 605.1.10** - There are currently no toilet/bathing facilities that are not located within dwelling units in the Apartment portion of the structure.

**Section 605.1.11** - There are no Dressing Rooms, Fitting Rooms, or Locker Rooms associated with this project.

**Section 605.1.13** - The maximum height of thresholds shall be 3/4”.

**Section 606** - This code review does not include a structural review. Please refer to the structural engineer drawings for all required updates and repairs.

**Section 607.1** - Level 2 alterations are permitted without requiring the entire building to comply with the International Energy Conservation Code (IECC). However, the alterations must comply with the IECC as they relate to new construction.

**Chapter 7 - Alterations - Level 2**

**Section 701.2** - All work complies with Chapter 6 level 1 Alterations, See above.

**Section 701.3** - All work will be in compliance with the IBC.

**Section 701.3 (ex. 1)** - Windows will be added and do not need to comply with the light and ventilation requirements of IBC.

**Section 701.3 (ex. 2)** - Newly installed electrical equipment will meet the requirements of Section 708.

**Section 701.3 (ex. 3)** - There are no dead end corridors.

**Section 701.3 (ex. 4)** - The ceiling height of newly created habitable and occupiable spaces and corridors will be a minimum of 7'-0”

**Section 703.2.1** - All existing vertical openings will be enclosed with 1-hr fire rated assemblies.

**Section 703.2.2** - No other Vertical openings exist between the first and second floor.

**Section 703.2.3** - Stairway enclosures are not required by IBC Section 1022.1 Ex. 3, and therefore do not require a smoke barrier. However stairway walls will be built with 1-Hr Fire rated walls.

**Section 703.4** - The interior finish of walls and ceilings and exits will comply with the requirements in IB.

**Section 704.1** - The second floor renovations will include an approved Sprinkler System and 1-Hr fire rated walls in all corridors and floor separations.

**Section 704.2** - An automatic sprinkler system will be installed in accordance with Sections 704.2.1 through 704.2.5 and comply with IBC.

**Section 704.3** - No Standpipes required, work level is less than 50' above fire access.

**Section 704.4** - An approved fire alarm system will be installed in accordance with applicable sections including section 704.4.1.6

**Section 705** - Means of egress shall comply with all requirements in IBC, IBEC and NFPA 101. The second floor has 2 Means of egress to the exterior ground level.

**Section 706** - All accessibility requirements outlined in this section are met and comply with IBC.

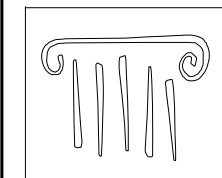
**Section 707** - This code review does not include a structural review. Please refer to the structural engineer drawings for all required updates and repairs.

**Section 708** - All electrical installations shall comply with NFPA and IBC.

**Section 709** - All electrical installations shall comply with NFPA, IBC and IMC.

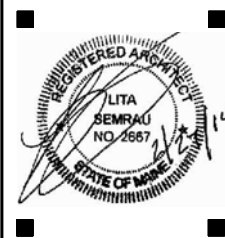
**Section 710** - All plumbing installations shall comply with IBC.

**Section 711** - Level 2 alterations are permitted without requiring the entire building to comply with the International Energy Conservation Code (IECC). However, the alterations must comply with the IECC as they relate to new construction.



PORT CITY ARCHITECTURE

65 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
info@portcityarch.com



671-675 Forest Ave.  
Apartments

Portland, Maine

REVISIONS		
#	DATE	DESCRIPTION
-	-	-

Date Issued MAY 21, 2014

Project Number 13118

Drawing Scale

SHEET NAME

**CODE REVIEW**

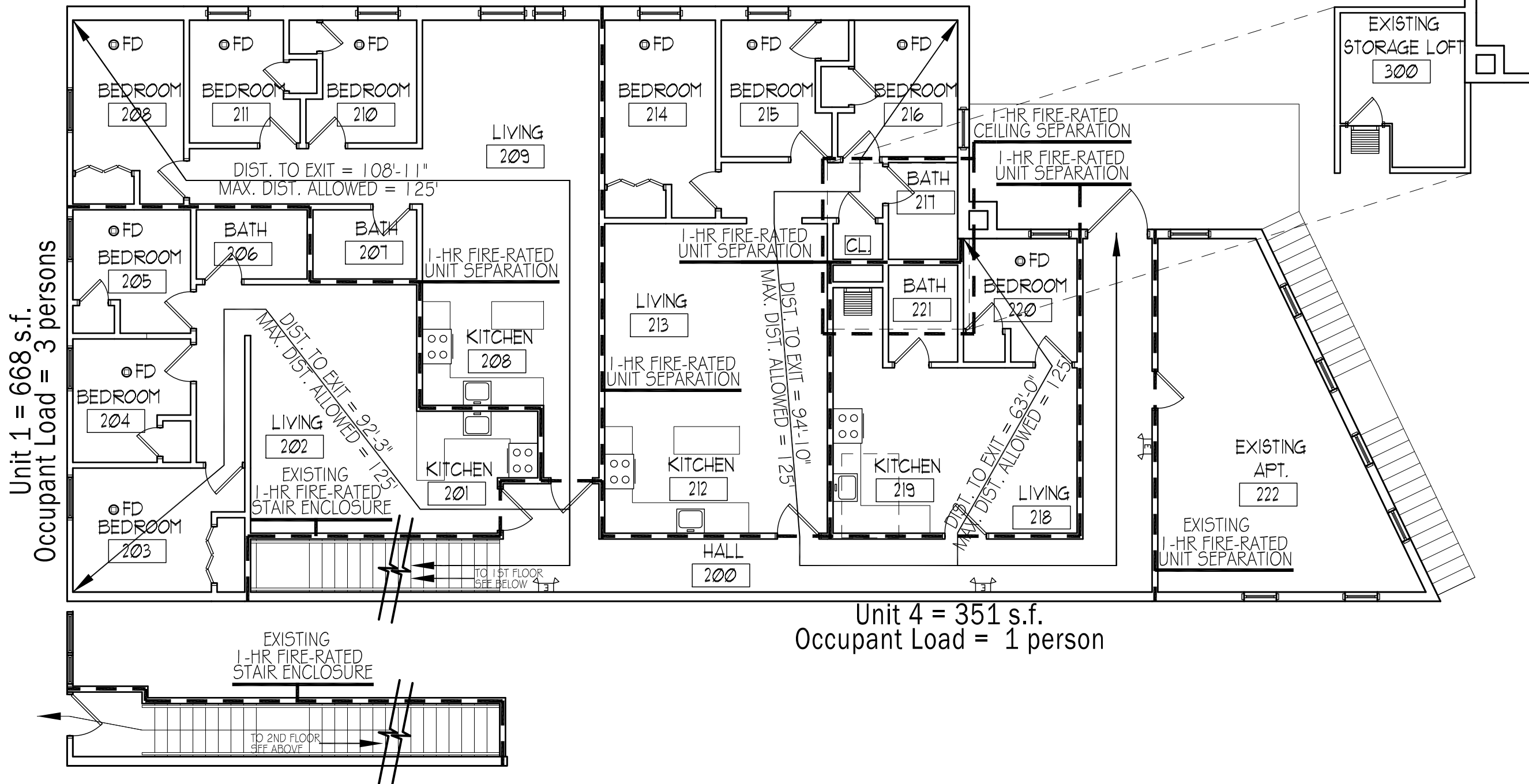
Drawn By JAP	<b>T1.3</b>
Checked By LAS	

Unit 2 = 771 s.f.  
Occupant Load = 3 persons

Unit 3 = 759 s.f.  
Occupant Load = 3 persons

Unit 1 = 668 s.f.  
Occupant Load = 3 persons

Unit 4 = 351 s.f.  
Occupant Load = 1 person

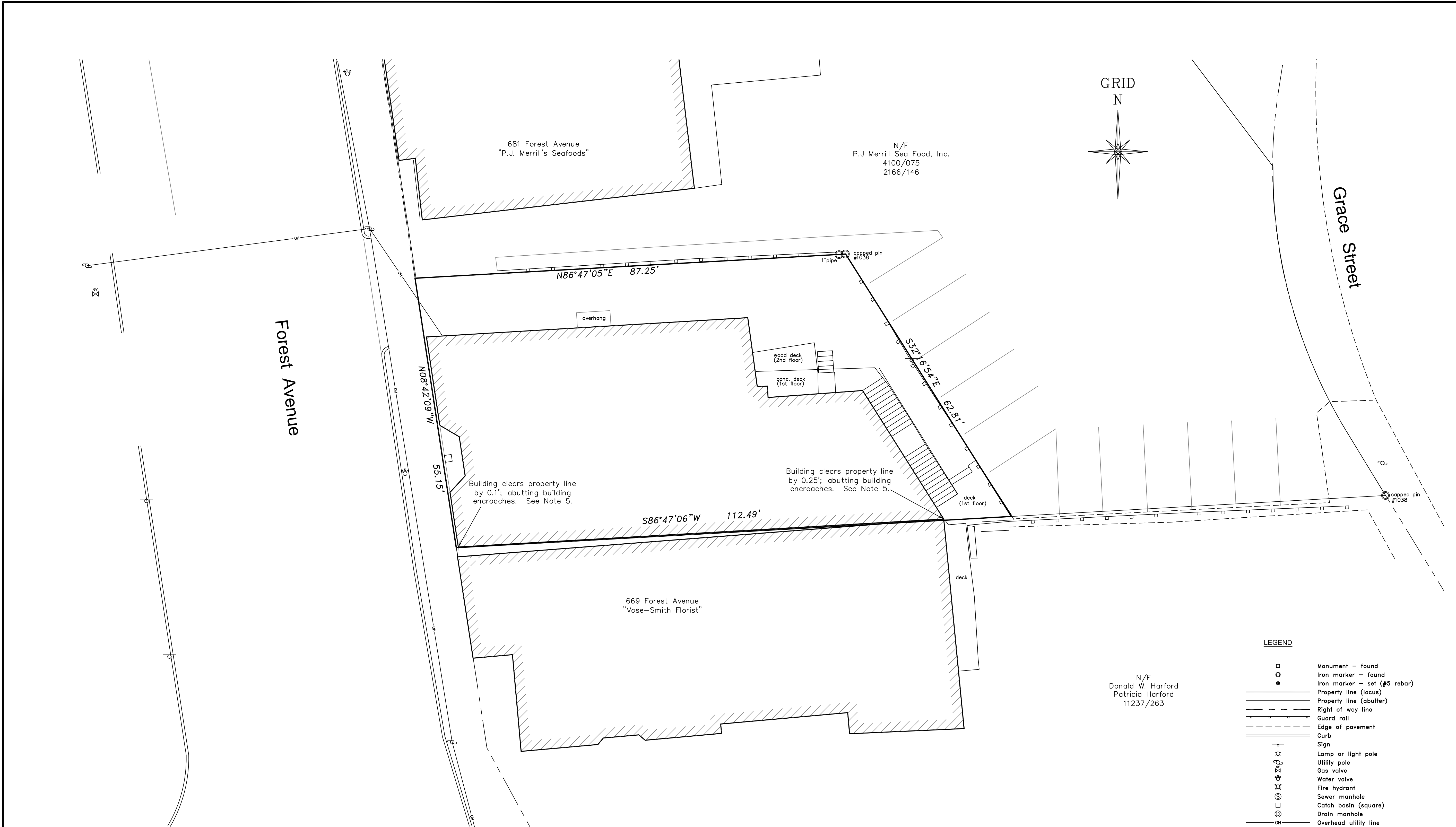


**PORT CITY ARCHITECTURE**  
65 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
info@portcityarch.com

671-675 Forest Ave.  
Apartments  
Portland, Maine

REVISIONS		
#	DATE	DESCRIPTION

Date Issued: MAY 21, 2014  
Project Number: 13118  
Drawing Scale: SHEET NAME  
**LIFE SAFETY**  
Drawn By: JAP  
Checked By: LAS  
**LS1.0**



VICINITY MAP  
No Scale

- NOTES**
- 1) Book and Page references are to the Cumberland County Registry of Deeds.
  - 2) Bearings are referenced to grid north, Maine State Plane Coordinate System, NAD83, West Zone.
  - 3) Utility information on this plan is approximate, based on location of visible features. DigSafe and/or the appropriate utilities should be contacted prior to any construction.
  - 4) Property lies within Zone C based on FIRM Community #230051 Panel #138, dated July 17, 1986. It does not lie within a special flood hazard area.
  - 5) The building situated at 669 Forest Avenue is connected to the building on the locus property from the second story to the top of the building. The connected portion of 669 Forest Avenue encroaches on the locus property.

- PLAN REFERENCES**
- 1) Plan of Saunders Field by Percy H. Richardson. Recorded in Book 13, Page 93 on August 21, 1917.
  - 2) Plan of Land on Forest Avenue made for P.J. Merrill Seafood, Inc. by Owen Haskell, Inc. dated April 14, 1988. Unrecorded.
  - 3) Plan of Property in Portland, Maine made for C.L.M. Corp. by H.J. & E.C. Jordan dated December 7, 1965, revised through May 26, 1978. Unrecorded.
  - 4) Land in Deering Maine surveyed for Mrs. Abby Jones by E.C. Jordan & Co. Recorded in Plan Book 9, Page 143 on September 9, 1902.

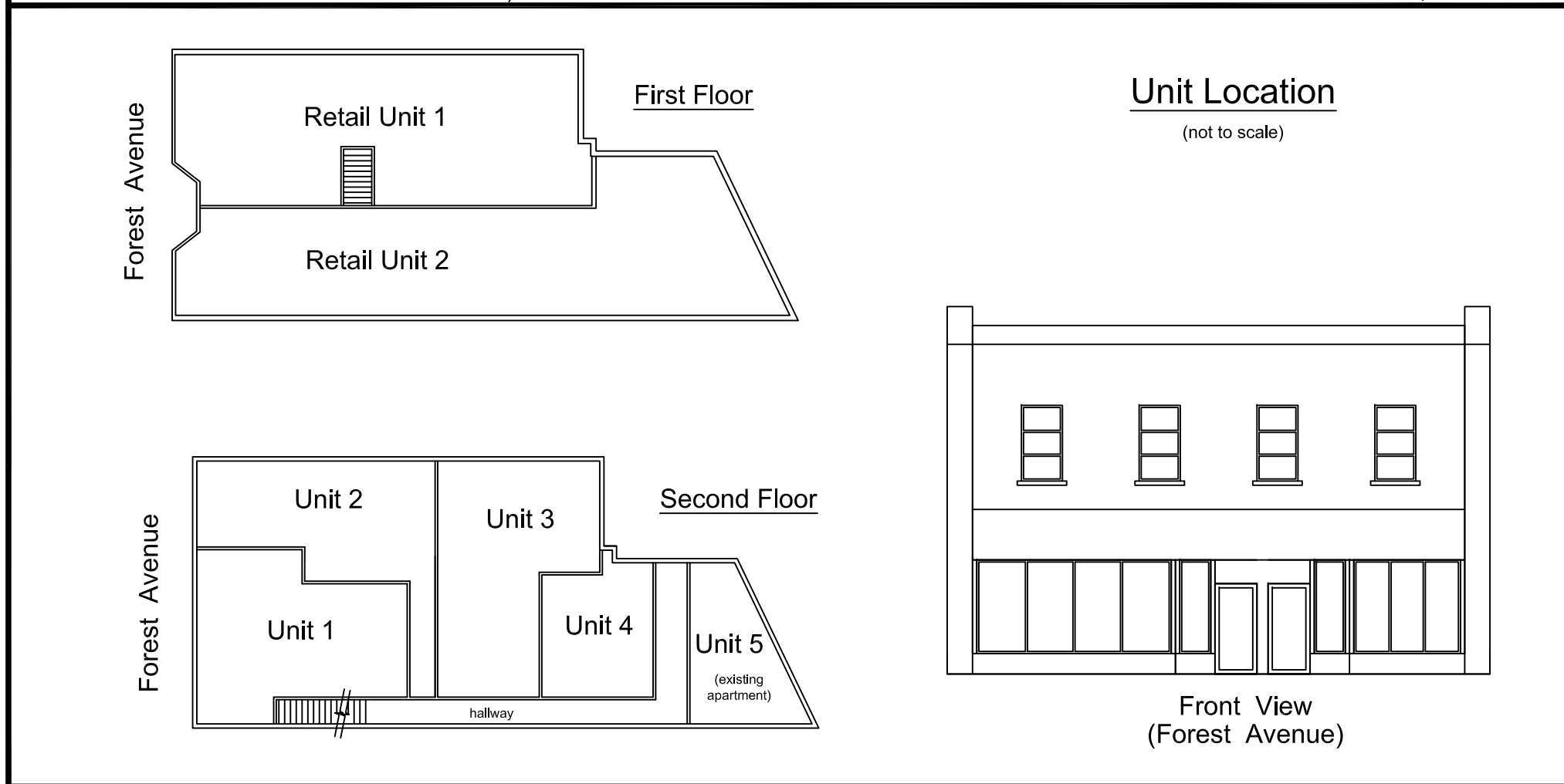
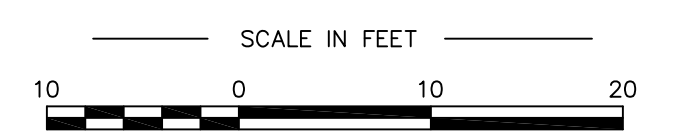
**LEGEND**

□	Monument - found
○	Iron marker - found
●	Iron marker - set (#5 rebar)
—	Property line (locus)
—	Property line (abutter)
—	Right of way line
—	Guard rail
—	Edge of pavement
—	Curb
—	Sign
⊙	Lamp or light pole
⊙	Utility pole
⊙	Gas valve
⊙	Water valve
⊙	Fire hydrant
⊙	Sewer manhole
⊙	Catch basin (square)
⊙	Drain manhole
—	Overhead utility line
—	Now or formerly of
—	Deed reference (Book/Page)
▨	Existing building

N/F  
Donald W. Harford  
Patricia Harford  
11237/263

**AREA**  
5843 square feet / 0.13 acres

**OWNERS OF RECORD**  
United USA LLC Book 31169, Page 226

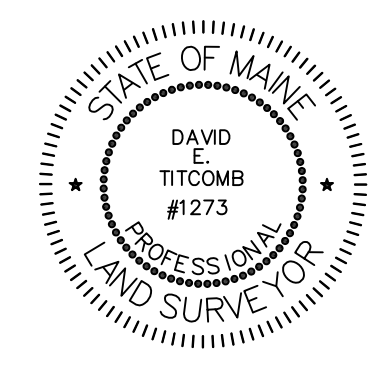


Subdivision approval is for the creation of additional units within the building located at 671-675 Forest Avenue.

Approved by the City of Portland Planning Board  
dated \_\_\_\_\_

Woodford Street

**CERTIFICATION**  
This survey conforms to the current standards of practice set forth by the Maine State Board of Licensure for Land Surveyors.



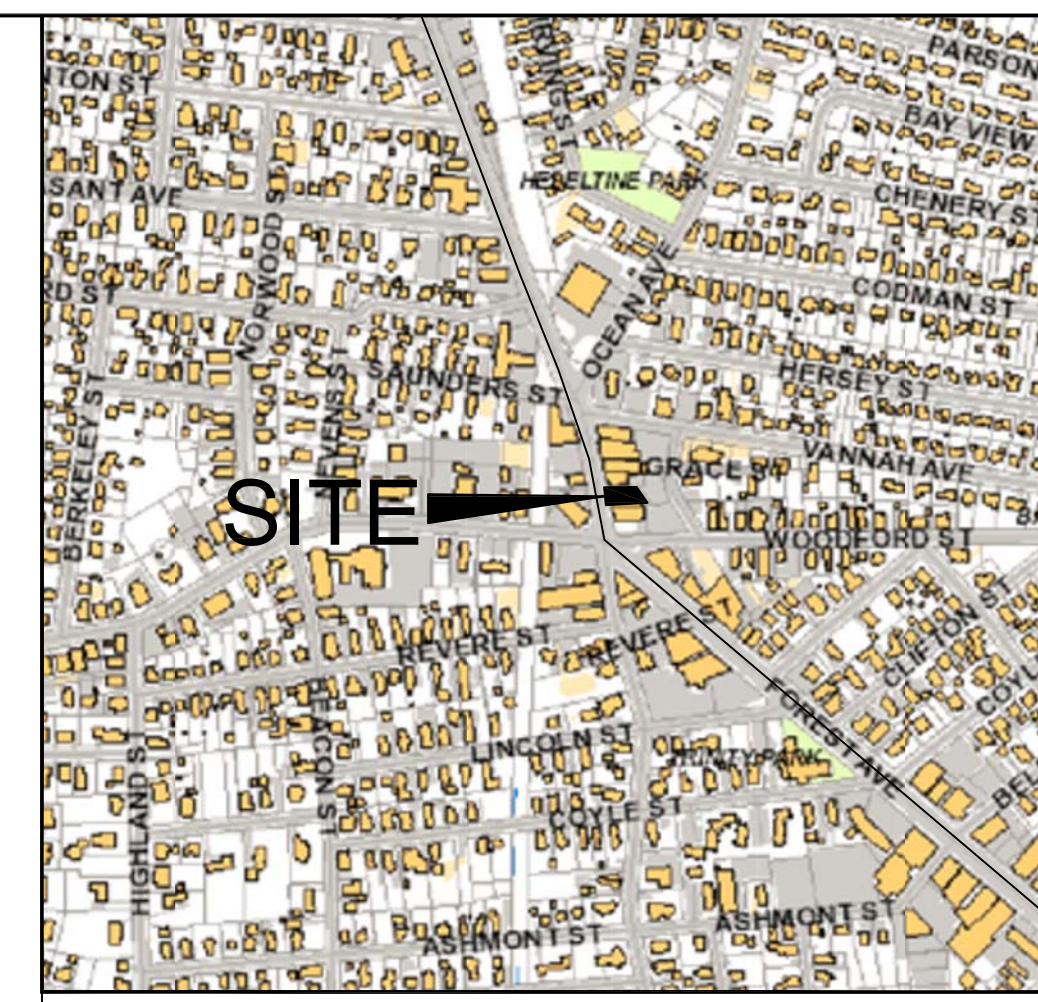
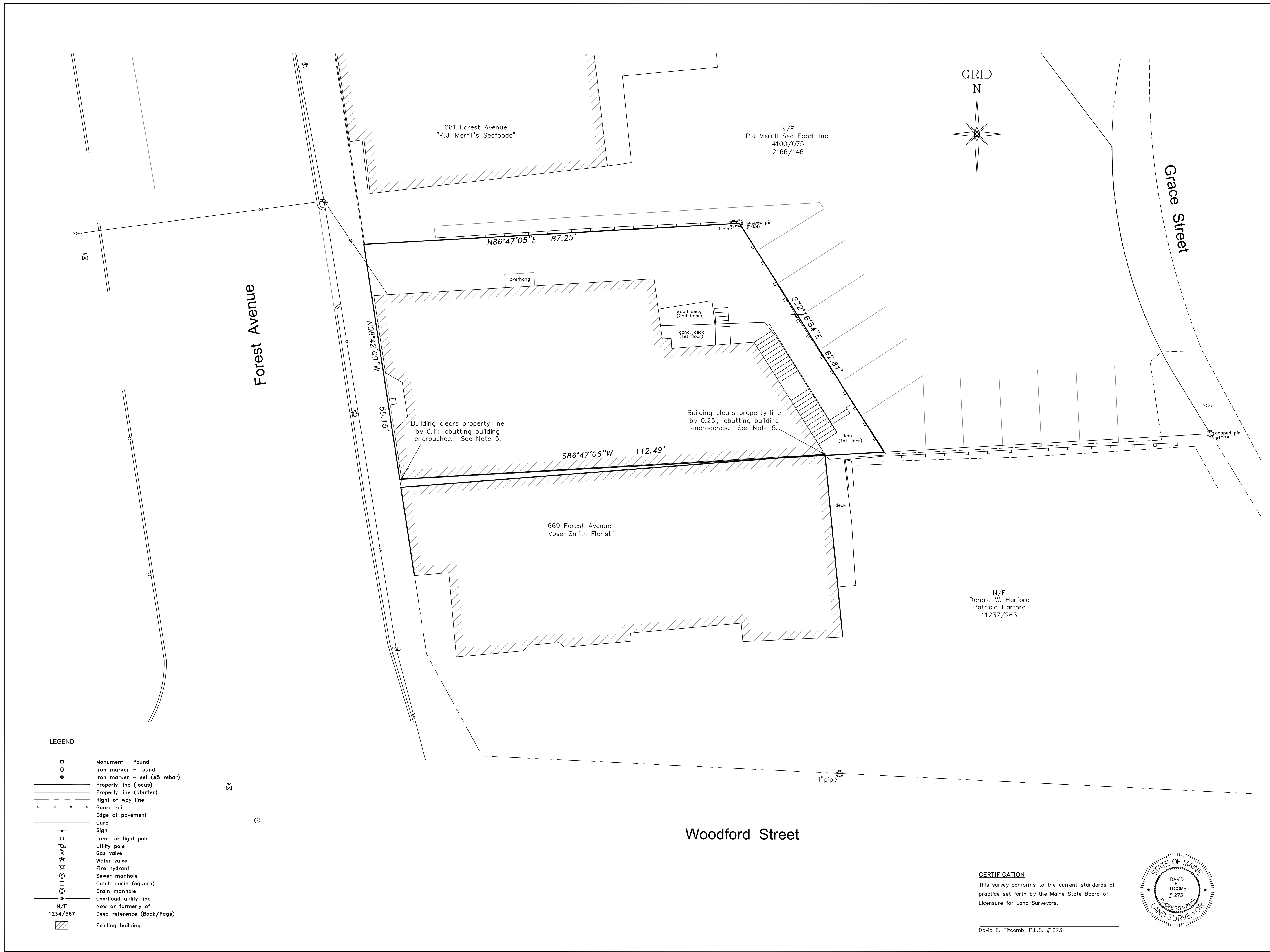
David E. Titcomb, P.L.S. #1273

PLAN OF  
Subdivision Plan  
671-675 Forest Avenue Portland, Maine

MADE FOR  
United USA LLC  
630 Forest Avenue Portland, Maine

JOB #213013 DATE: May 7, 2014 SCALE: 1" = 10'  
BOOK #878  
G: CP/2014/214013.dwg  
FILE #9704

**Titcomb Associates**  
133 Gray Road, Falmouth, Maine 04105  
(207)797-9199 www.titcombsurvey.com



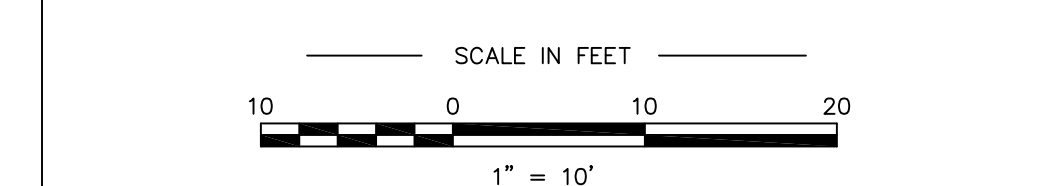
VICINITY MAP  
No Scale


- NOTES**
- 1) Book and Page references are to the Cumberland County Registry of Deeds.
  - 2) Bearings are referenced to grid north, Maine State Plane Coordinate System, NAD83, West Zone.
  - 3) Utility information on this plan is approximate, based on location of visible features. DigSafe and/or the appropriate utilities should be contacted prior to any construction.
  - 4) Property lies within Zone C based on FIRM Community #230051 Panel #138, dated July 17, 1986. It does not lie within a special flood hazard area.
  - 5) The building situated at 669 Forest Avenue is connected to the building on the locus property from the second story to the top of the building. The connected portion of 669 Forest Avenue encroaches on the locus property.

- PLAN REFERENCES**
- 1) Plan of Saunders Field by Percy H. Richardson. Recorded in Book 13, Page 93 on August 21, 1917.
  - 2) Plan of Land on Forest Avenue made for P.J. Merrill Seafood, Inc. by Owen Haskell, Inc. dated April 14, 1988. Unrecorded.
  - 3) Plan of Property in Portland, Maine made for C.L.M. Corp. by H.I. & E.C. Jordan dated December 7, 1965, revised through May 26, 1978. Unrecorded.
  - 4) Land in Deering Maine surveyed for Mrs. Abby Jones by E.C. Jordan & Co. Recorded in Plan Book 9, Page 143 on September 9, 1902.

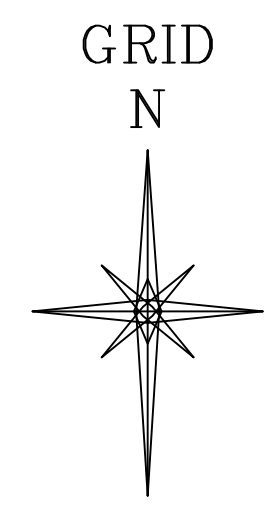
**AREA**  
5843 square feet / 0.13 acres

**OWNERS OF RECORD**  
United USA LLC Book 31169, Page 226



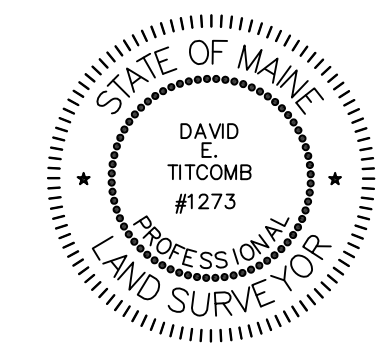
<b>PLAN OF Boundary Survey</b>		
671-675 Forest Avenue		Portland, Maine
MADE FOR <b>United USA LLC</b>		
630 Forest Avenue		Portland, Maine
JOB #213013	DATE: May 7, 2014	SCALE: 1" = 10'
BOOK #878	 <b>Titcomb Associates</b> 133 Gray Road, Falmouth, Maine 04105 (207)797-9199 www.titcombsurvey.com	
G:CP/2014/214013.dwg		
FILE #9704		

- LEGEND**
- Monument - found
  - Iron marker - found
  - Iron marker - set (#5 rebar)
  - Property line (locus)
  - Property line (abutter)
  - - - Right of way line
  - Guard rail
  - - - Edge of pavement
  - Curb
  - Sign
  - Lamp or light pole
  - Utility pole
  - Gas valve
  - Water valve
  - Fire hydrant
  - Sewer manhole
  - Catch basin (square)
  - Drain manhole
  - Overhead utility line
  - Now or formerly of
  - Dead reference (Book/Page)
  - ▨ Existing building

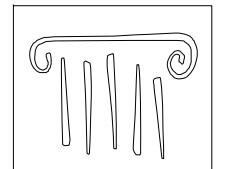


N/F  
Donald W. Harford  
Patricia Harford  
11237/263

**CERTIFICATION**  
This survey conforms to the current standards of practice set forth by the Maine State Board of Licensure for Land Surveyors.

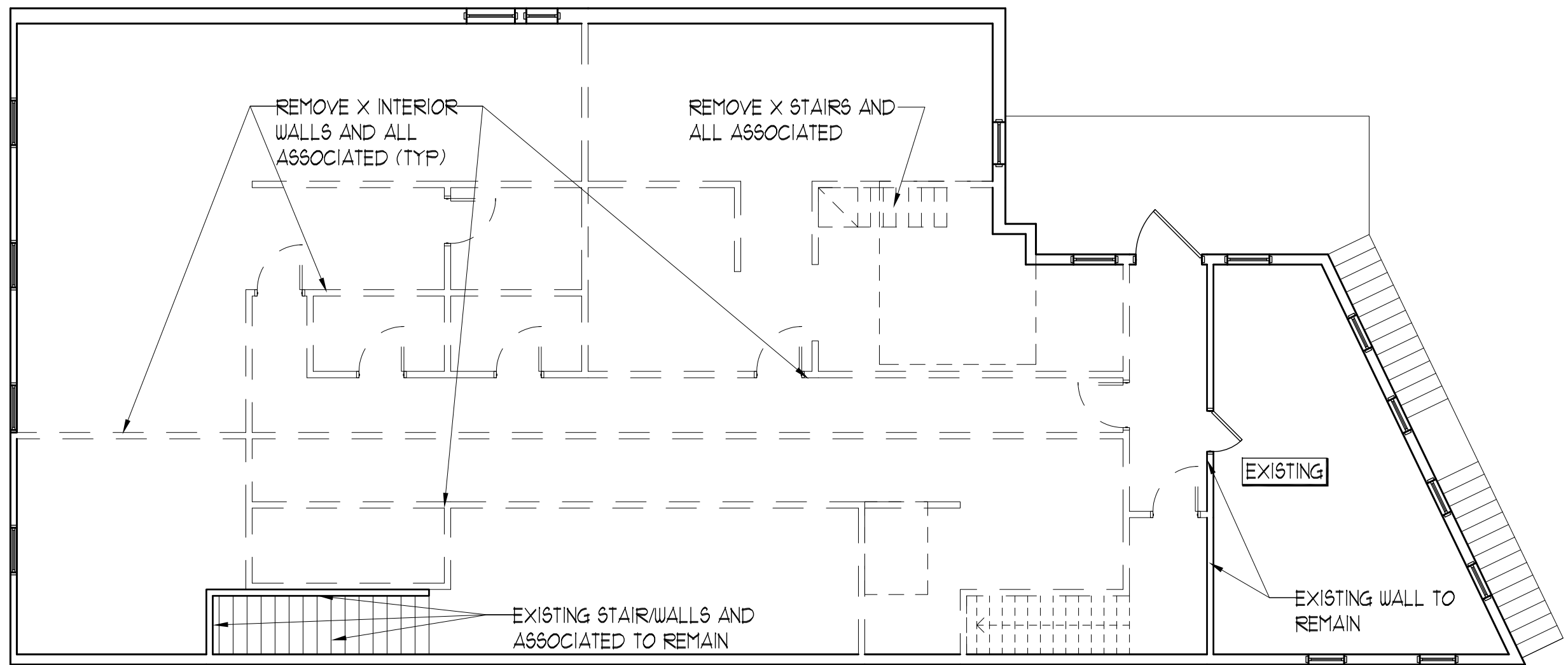
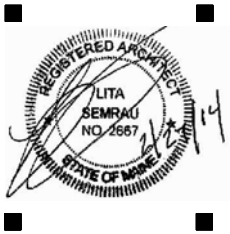


David E. Titcomb, P.L.S. #1273



PORT CITY ARCHITECTURE

65 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
info@portcityarch.com



**GENERAL DEMO NOTES**

- OWNER TO REMOVE ALL EXISTING FINISHES INCLUDING X-FLOORING AND X-SAT CEILING.
- INTERIOR OF EXTERIOR WALLS TO REMAIN AND REPAIRED AS REQ'D
- OWNER TO REUSE SOME EXISTING FIXTURES, OWNER TO COORDINATE

671-675 Forest Ave.  
Apartments  
Portland, Maine

REVISIONS		
#	DATE	DESCRIPTION

Date Issued MAY 21, 2014

Project Number 13118

Drawing Scale

SHEET NAME

**PLANS&ELEV**

Drawn By JAP

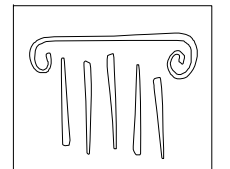
Checked By LAS

**D1.0**

**1 2ND FLOOR DEMO PLAN**

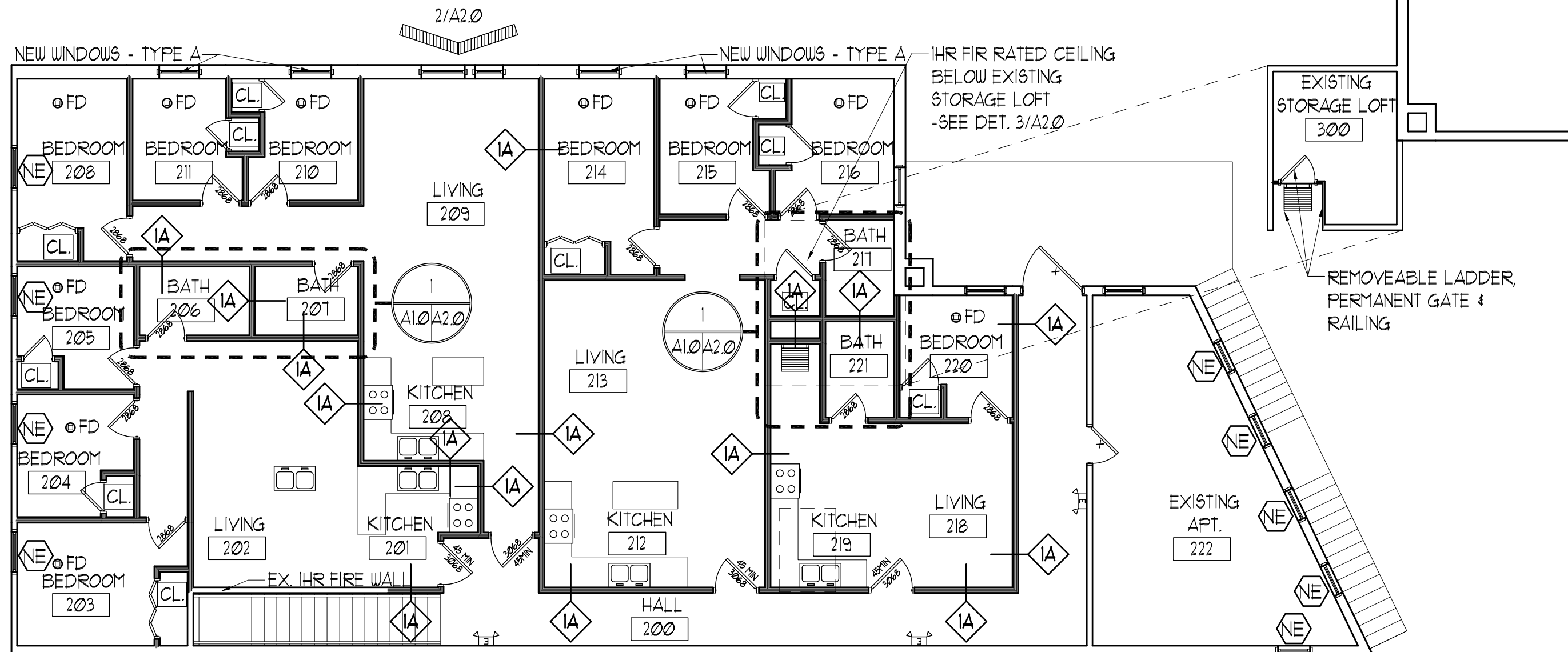
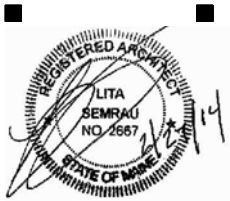
0 8'-0" SCALE: 1/8" = 1'-0"





PORT CITY ARCHITECTURE

65 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
info@portcityarch.com



**GENERAL NOTES**

- ALL INTERIOR FINISHES BY OWNER  
PLUMBING FIXTURES FOR KITCHENS AND BATH BY OWNER
- ALL BATHROOMS TO HAVE MOISTURE-RESISTANT GYP BOARD.
- ALL INTERIOR PARTITIONS TO BE WALL TYPE AA U.N.O.
- INTERIOR STAIR PER PREVIOUS PERMIT - DWGs DATED 1.14.14
- ALL UNITS ARE TO BE SEPARATED FROM EACH OTHER WITH 1-HOUR FIRE-SEPARATIONS (WALLS AND FLOOR/CEILINGS). WALLS SHALL HAVE 5/8" GYP BOARD ON EACH SIDE OF THE WALL (U.L. #U495). ALL ASSEMBLIES SHALL BE FIRE-CAULKED AS REQUIRED.
- EXISTING 1-HOUR FIRE RATED SEPARATION BETWEEN 1ST AND 2ND FLOOR
- ○FD = HARD WIRED SMOKE/FIRE DETECTOR
- ⚡ EMERGENCY LIGHTING
- AS PER IBC 2009 SECTION 1029.2.1, ALL EGRESS WINDOWS TO HAVE MINIMUM SIZED CLEAR OPENING OF 20" WIDE X 24" HIGH. WINDOWS MARKED (NE) AS NON EGRESS WINDOWS TO BE REPLACED WITH APPROVED EGRESS WINDOWS AS PER IBC 2009 SEC. 1029.2.1
- NEW PARTITIONS TO BE BUILT IN PLACE WHERE EXISTING STRUCTURAL MEMBERS ARE LOCATED

**1 2ND FLOOR PLAN**

0 8'-0" SCALE: 1/8" = 1'-0"

671-675 Forest Ave.  
Apartments  
Portland, Maine

REVISIONS	
DATE	DESCRIPTION

Date Issued MAY 21, 2014  
Project Number 13118  
Drawing Scale SHEET NAME

**FLOOR PLANS**

Drawn By JAP  
Checked By LAS  
**A1.0**

1HR FIRE RATED CEILING

EX. FLOORING

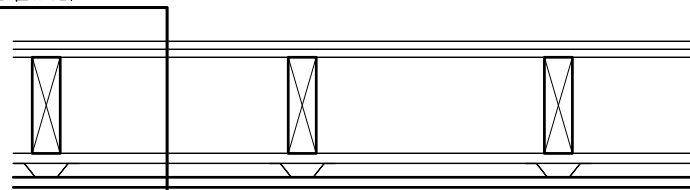
EX. SHEATHING

EX. STRUCTURE

5/8" GWB

7/8" MTL HAT CHAN.

5/8" GWB

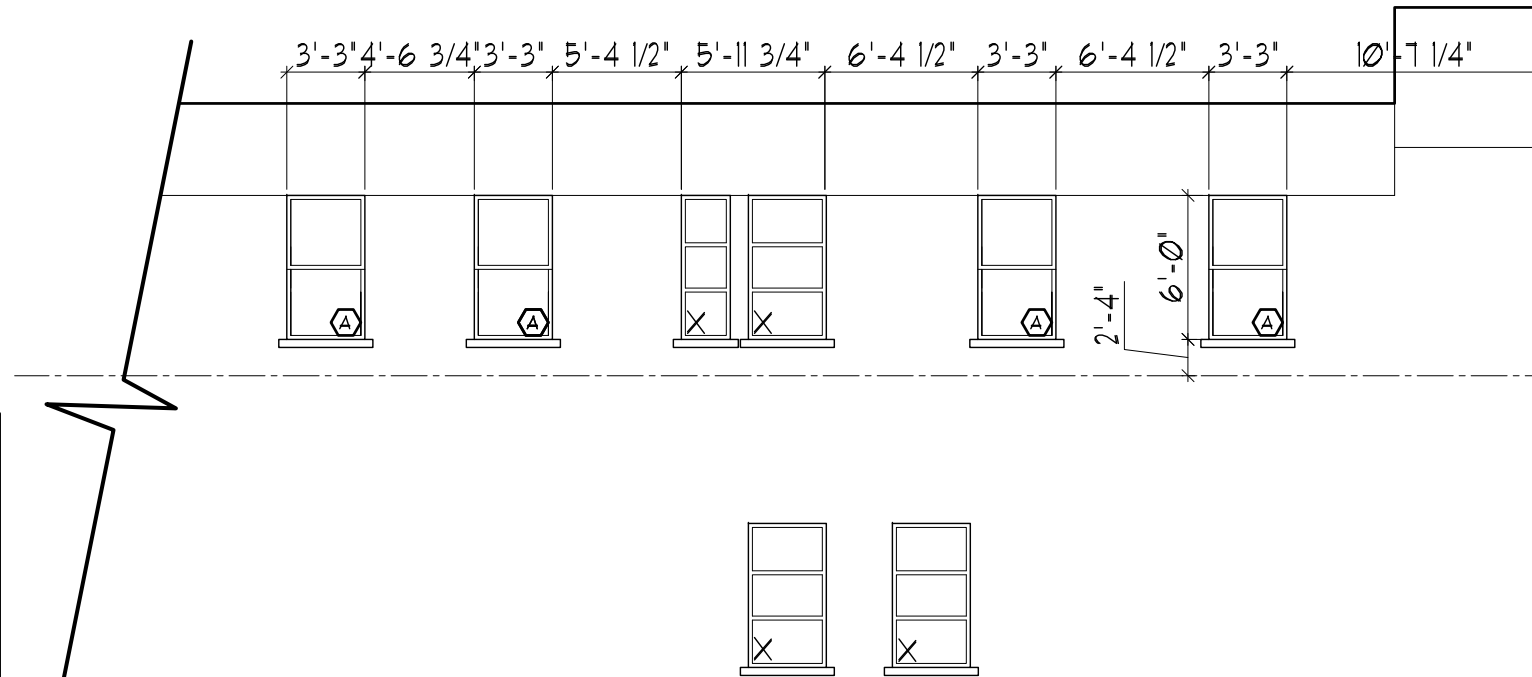
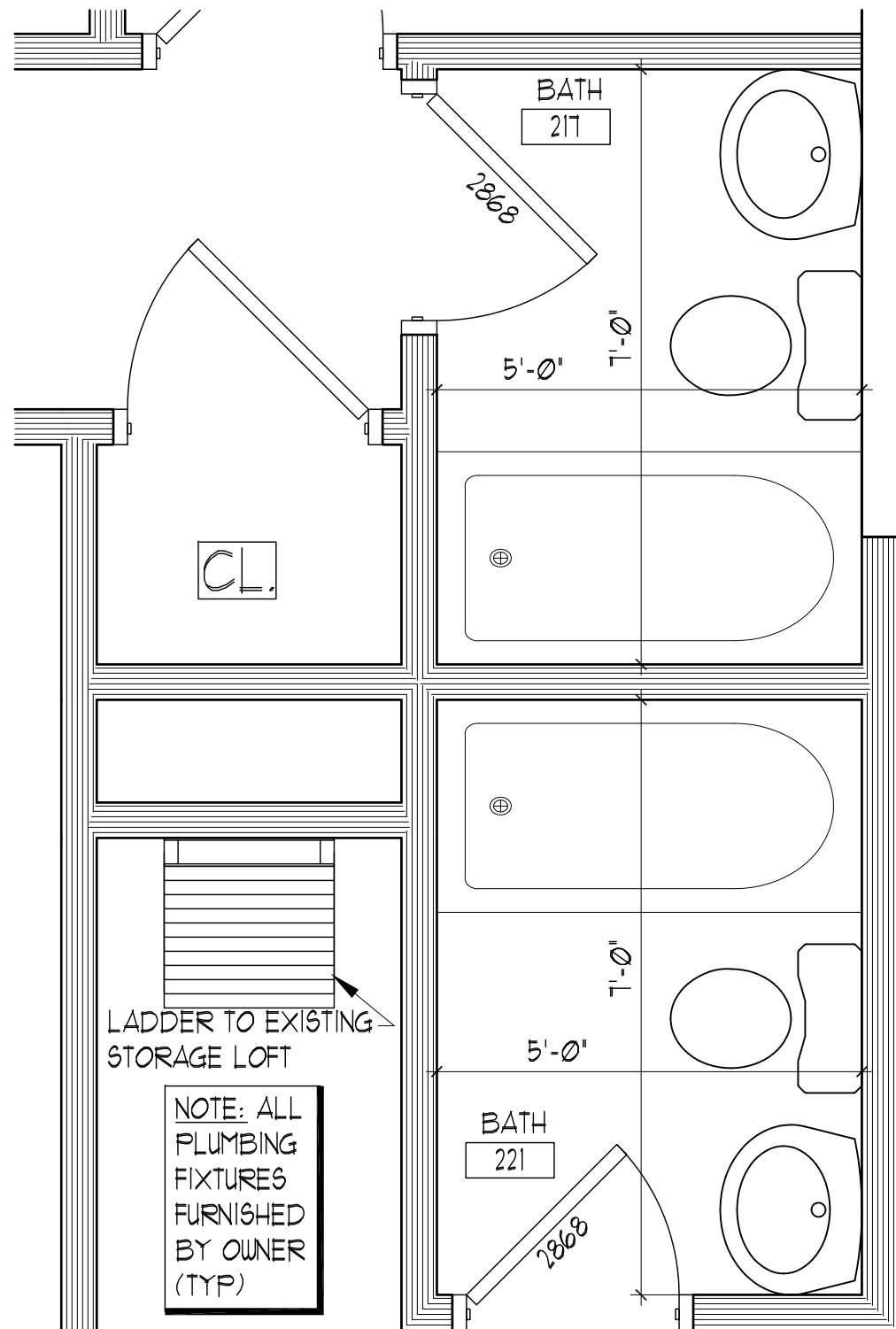
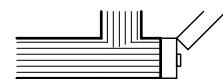


3

### 1HR FIRE RATED CEILING

0 1'-0"

SCALE: 1" = 1'-0"



**NOTE:**

-OWNER TO CONFIRM DIMENSIONS AND LOCATIONS OF EXISTING WINDOWS. WINDOW TYPE A SILLS AND HEADER TO MATCH EXISTING WINDOW LOCATIONS  
-IN NEW WINDOW LOCATIONS, A GALVANIZED STEEL LINTEL IS TO BE USED

**WINDOW TYPE:**

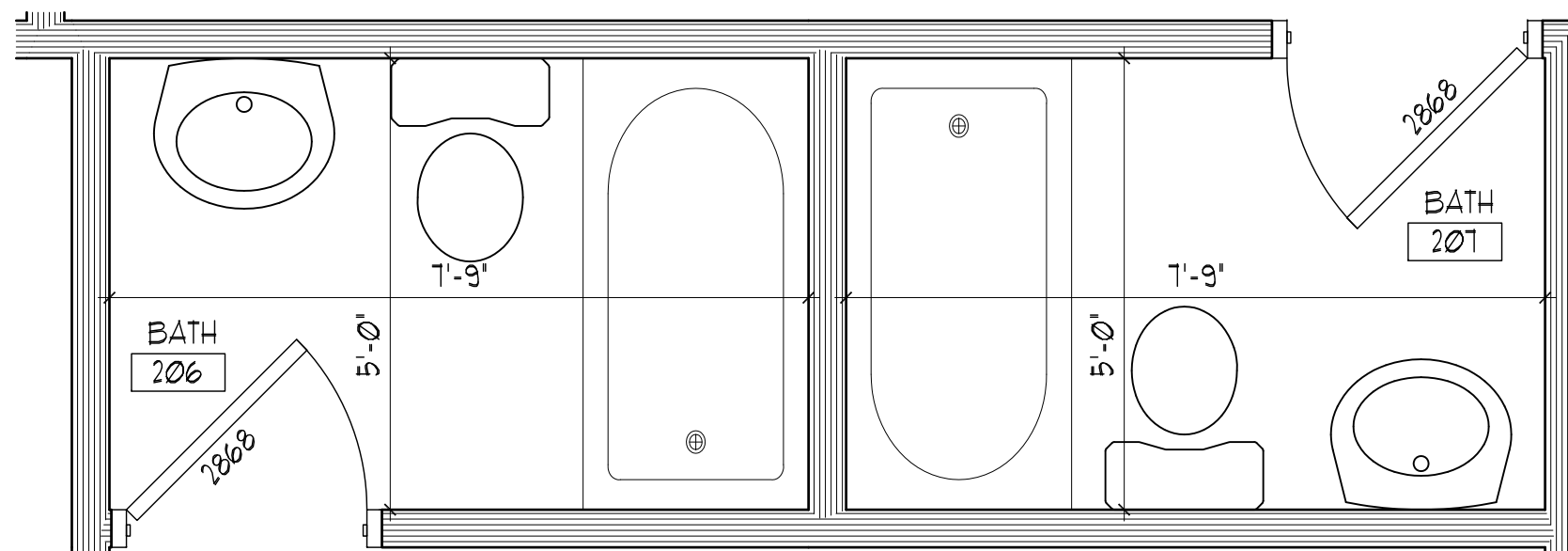
A 3'-3" x 6'-0", WINDOW TO MATCH EXISTING DIMS. FURNISHED BY OWNER.

2

### EXTERIOR ELEVATION

0 8'-0"

SCALE: 1/8" = 1'-0"

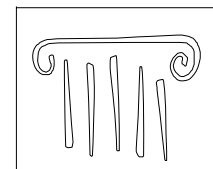


1

### BATHROOM ENLARGEMENTS

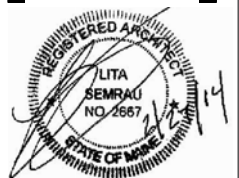
0 2'-0"

SCALE: 1/2" = 1'-0"



PORT CITY ARCHITECTURE

65 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
info@portcityarch.com



671-675 Forest Ave.  
Apartments

Portland, Maine

REVISIONS	
DATE	DESCRIPTION

Date Issued MAY 27, 2014

Project Number 13118

Drawing Scale

SHEET NAME

PLANS/ELEV.

Drawn By

JAP

Checked By

LAS

A2.0