

VICINITY MAP
No Scale

NOTES

- 1) Book and Page references are to the Cumberland County Registry of Deeds.
- 2) Bearings are referenced to grid north, Maine State Plane Coordinate System, NAD83, West Zone.
- 3) Utility information on this plan is approximate, based on location of visible features. DigSafe and/or the appropriate utilities should be contacted prior to any construction.
- 4) Property lies within Zone C based on FIRM Community #230051 Panel #138, dated July 17, 1986. It does not lie within a special flood hazard area.
- 5) The building situated at 669 Forest Avenue is connected to the building on the locus property from the second story to the top of the building. The connected portion of 669 Forest Avenue encroaches on the locus property.

PLAN REFERENCES

- 1) Plan of Saunders Field by Percy H. Richardson. Recorded in Book 13, Page 93 on August 21, 1917.
- 2) Plan of Land on Forest Avenue made for P.J. Merrill Seafood, Inc. by Owen Haskell, Inc. dated April 14, 1988. Unrecorded.
- 3) Plan of Property in Portland, Maine made for C.L.M. Corp. by H.I. & E.C. Jordan dated December 7, 1965, revised through May 26, 1978. Unrecorded.
- 4) Land in Deering Maine surveyed for Mrs. Abby Jones by E.C. Jordan & Co. Recorded in Plan Book 9, Page 143 on September 9, 1902.

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 8-12-2014

ZONING

- # 2014-103
- 1) The site is located in the B2b zone.
 - 2) The zoning requires 5 dedicated parking spaces for the 5 residential units on the second floor, which shall be provided by one parking space marked on site as shown, and 4 parking spaces leased in the abutting rear parking lot.
 - 3) The retail units on the first floor were previously approved and are not required to have dedicated parking spaces under the zoning ordinance.

AREA

5843 square feet / 0.13 acres

OWNERS OF RECORD

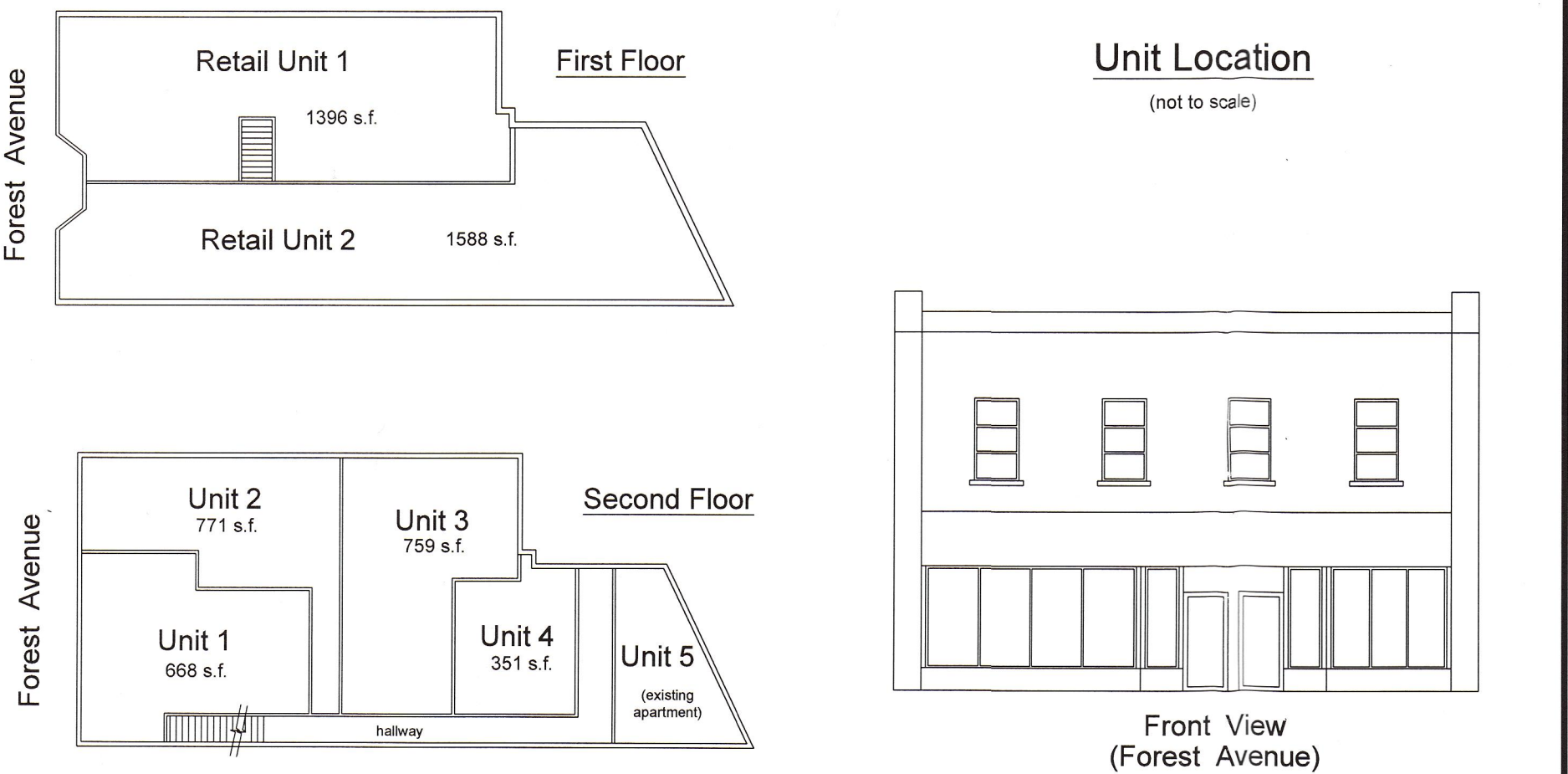
United USA LLC Book 31169, Page 226

LEGEND

- Monument - found
- Iron marker - set (#5 rebar)
- Property line (locus)
- Property line (abutter)
- Right of way line
- Guard rail
- Edge of pavement
- Curb
- Sign
- ☆ Lamp or light pole
- Utility pole
- Gas valve
- Water valve
- Fire hydrant
- Sewer manhole
- Catch basin (square)
- Drain manhole
- Overhead utility line
- Now or formerly of Dead reference (Book/Page)
- Existing building

N/F
Donald W. Harford
Patricia Harford
11237/263

*Signed by PB
on received 9-25-14
Book 214 pg 880.*



Subdivision approval is for the creation of additional units within the building located at 671-675 Forest Avenue.

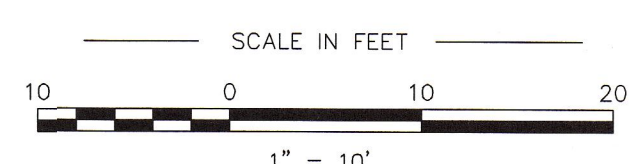
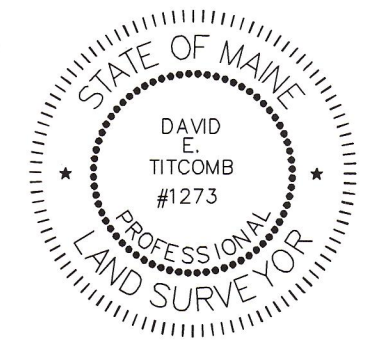
Approved by the City of Portland Planning Board
dated *Aug 12th 2014*
signed by Tom Dem 5 PL members

PORTLAND PLANNING BOARD CONDITIONS OF APPROVAL:
The Portland Planning Board gave Subdivision approval to the change of use of the second floor to 5 apartments on August 12th, 2014 (ref project # 2014-103), subject to the following waivers and condition of approval:
WAIVER: The Planning Board voted to waive the ordinance Section 14-526 (b) (2) (b) (iii) Street Trees, subject to the applicant making a contribution of \$800 to the City of Portland Tree Fund (prior to the issuance of a building permit) to address the street tree standards.
SUBDIVISION: That in the event the property is converted to a condominium, that the recorded condominium documents shall be copied to the Planning Authority.

CERTIFICATION

This survey conforms to the current standards of practice set forth by the Maine State Board of Licensure for Land Surveyors.

David E. Titcomb, P.L.S. #1273



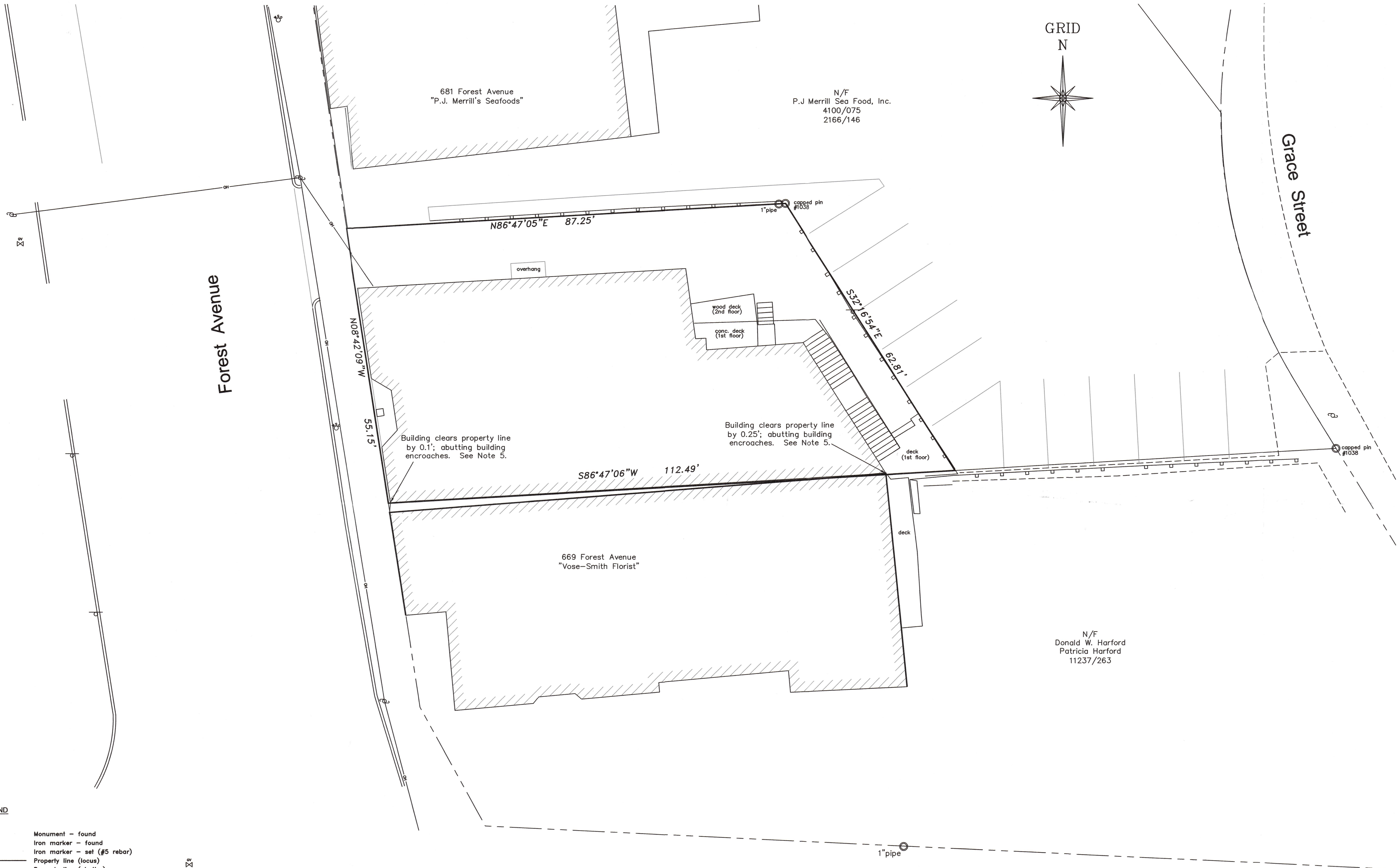
Rev.1 08/26/2014 Additional notes per planning board approval det

PLAN OF
Subdivision Plan
671-675 Forest Avenue Portland, Maine

MADE FOR
United USA LLC
630 Forest Avenue Portland, Maine

JOB #214013 DATE: May 7, 2014 SCALE: 1" = 10'
BOOK #878
G:CP/2014/214013.dwg
FILE #9704

Titcomb Associates
133 Gray Road, Falmouth, Maine 04105
(207)797-9199 www.titcombsurvey.com



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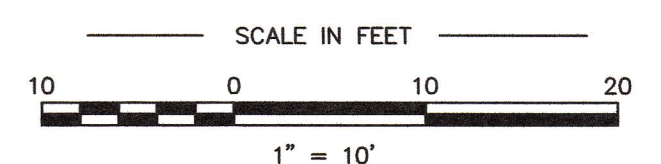
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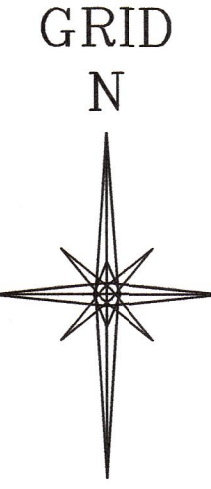
5843 square feet / 0.13 acres

OWNERS OF RECORD

United USA LLC Book 31169, Page 228



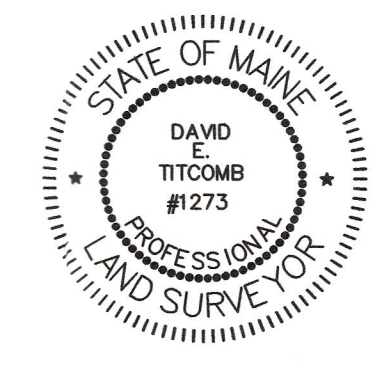
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 - Catch basin (square)
 - ⊕ Drain manhole
 - Overhead utility line
 - N/F Now or formerly of
 - 1234/567 Deed reference (Book/Page)
 - ▨ Existing building



N/F
Donald W. Harford
Patricia Harford
11237/263

Woodford Street

CERTIFICATION
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David E. Titcomb, P.L.S. #1273

PLAN OF
Boundary Survey
671-675 Forest Avenue Portland, Maine

MADE FOR
United USA LLC
630 Forest Avenue Portland, Maine

JOB #213013	DATE: May 7, 2014	SCALE: 1" = 10'
BOOK #878	 Titcomb Associates 133 Gray Road, Falmouth, Maine 04105 (207)797-9199 www.titcombsurvey.com	
G:CP/2014/214013.dwg		
FILE #9704		