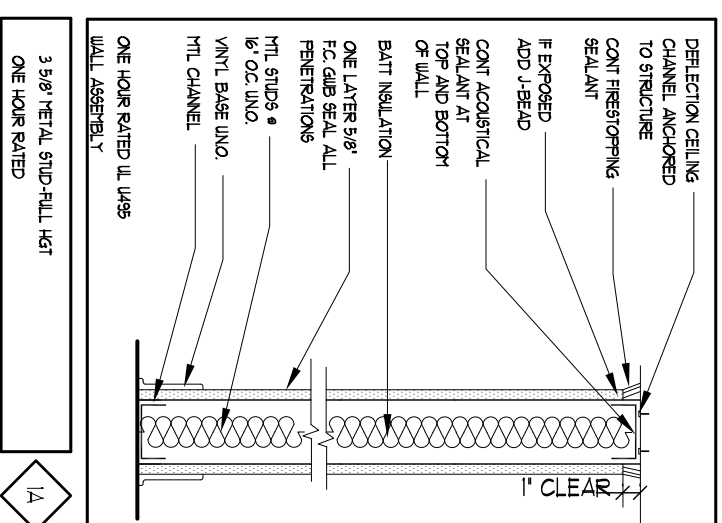


FOREST AVENUE APARTMENTS

671-675 FOREST AVENUE

Portland, Maine

DRAWING LIST	
DWG NO.	TITLE
T-10	TITLE SHEET
D-10	DEMO PLAN & ELEVATION
A-10	FLOOR PLAN & ELEVATION
A-20	DETAILS AND SECTION

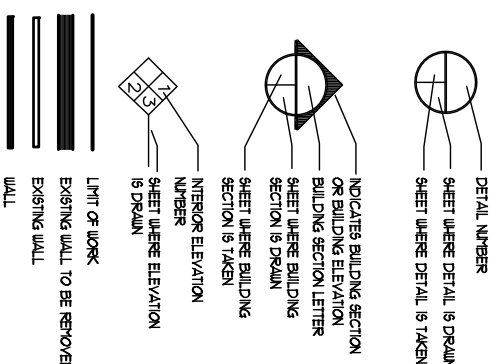


TYPICAL ABBREVIATIONS

1	AND	DWG	DRAWING
ANG	ANGLE	E	EAST
AT	AT	E1	EXH1
ADA	AMERICAN DISABILITIES ACT	EA	EXPANSION JOINT
ADJ	ADJUST OR ADJACENT	ELEC	ELECTRIC
ADP	Above Finish Floor	ELEV	ELEVATION
AFP	Architect or Architectural	EPF	EPFLOTE
ALUM	ALUMINUM	EQL	EQUAL
ARCH	ARCHITECT OR ARCHITECTURAL	ENT	ENTRANCE
AVG	AVERAGE	EQ	EQUIP
BD	BOARD	EQC	ELECTRIC WATER COOLER
BLDG	BUILDING	EXH	EXHAUST
BLG	BLOCKING	EXP	EXPANSION
BO	BOTTOM OF	EXT	EXTERIOR
BO	BOTTOM OF	EXT	EXTENSION
CAB	CABINET	EXT	EXTENDED BY OWNER
C4G	CEILING	FB	FOUNDATION
C4R	CLEAR	FDN	FOUNDATION
C4L	CLEAR	FF	FINISH FLOOR
C4R	CONCRETE MASONRY UNIT	FF	FINISH FLOOR ELEVATION
C4R	COUNTER	FN	FINISH
COL	COLUMN	FN	FINISH FLOOR ELEVATION
CONC	CONCRETE	FX	FIXTURE
CONT	CONTINUOUS	FLG	FLOORING
COOR	COORDINATE	FLR	FLOOR
COR	CORNER	FLR	FLOORSCANT
CPT	CARET	FT	FOOT or FEET
CUL	COLD WATER	GA	GAUGE
DBL	DOUBLE	GC	GALVANIZED
DEG	DEGREE	GL	GLASS
DIA	DIAMETER	GLB	GENERAL CONTRACTOR
DN	DOWN	HGT	HEIGHT
DR	DOOR	H4	HOLLOW METAL
DR	DRAIN	H4	HORIZONTAL
DS	DRAIN GROUT	H4V	HORIZONTAL VENTILATION & AIR CONDITION
DW	DISH WASHER	HVC	HVAC

BE	BEHIND BY CONTRACTOR	NSL	NOT SCHEDULED
N	NORTH	NT	NOT TO SCALE
NSL	NOT SCHEDULED	OH	OVER HEAD
E	EAST	ON	ON CENTER
EA	EXPANSION JOINT	PAR	PARALLEL
ELEC	ELECTRIC	PC	PRECAST CONCRETE
ELEV	ELEVATION	PF	PREPARED
EPF	EPFLOTE	PERP	PERPENDICULAR
EQL	EQUAL	PL	PLATE
ENT	ENTRANCE	PLA	PLASTIC LAMINATE
EQ	EQUIP	PLG	PLUMBING
EQC	ELECTRIC WATER COOLER	PLG	PLUMBING
EXH	EXHAUST	PLG	PLUMBING
EXP	EXPANSION	PLG	PLUMBING
EXT	EXTENSION	PLG	PLUMBING
EXT	EXTENDED BY OWNER	PLG	PLUMBING
FB	FOUNDATION	PLG	PLUMBING
FDN	FOUNDATION	PLG	PLUMBING
FF	FINISH FLOOR	PLG	PLUMBING
FF	FINISH FLOOR ELEVATION	PLG	PLUMBING
FN	FINISH	PLG	PLUMBING
FN	FINISH FLOOR ELEVATION	PLG	PLUMBING
FX	FIXTURE	PLG	PLUMBING
FLG	FLOORING	PLG	PLUMBING
FLR	FLOOR	PLG	PLUMBING
FLR	FLOORSCANT	PLG	PLUMBING
FT	FOOT or FEET	PLG	PLUMBING
GA	GAUGE	PLG	PLUMBING
GC	GALVANIZED	PLG	PLUMBING
GL	GLASS	PLG	PLUMBING
GLB	GENERAL CONTRACTOR	PLG	PLUMBING
HGT	HEIGHT	PLG	PLUMBING
H4	HOLLOW METAL	PLG	PLUMBING
H4	HORIZONTAL	PLG	PLUMBING
H4V	HORIZONTAL VENTILATION & AIR CONDITION	PLG	PLUMBING
HVC	HVAC	PLG	PLUMBING

LEGEND

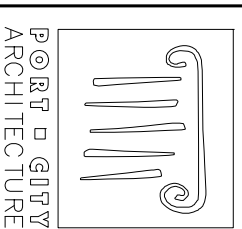


GENERAL NOTES

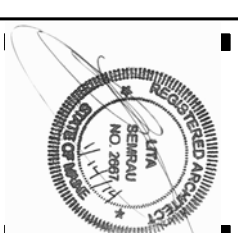
- ALL MATERIALS, COMPONENTS AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND THE UNIVERSITY OF NEW ENGLAND SHALL BE RESPONSIBLE FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER)
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE IMPROVED OF IN A STATE APPROVED LANDFILL.
- ROOM NUMBERS ON THE DRAWING ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PROVIDED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERATIVE, AND EVERY CONVENIENCE CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER OF ANY DISCREPANCIES OR MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
- ALL DOOR HANDLES TO BE ADA COMPLIANT LEVER HANDLES.
- COORDINATE ALL MECHANICAL & ELECTRICAL DEVICES SO THEY DO NOT CONFLICT WITH ARCHITECTURAL FEATURES.
- FOR DEMONSTRATION OF STAIRS ONLY, THE CLIENT WILL CONTACT AND REQUISITE TO LOCAL BEFORE ADDITIONAL WORK IS STARTED.

RENOVATION GENERAL NOTES

- REMOVE STRUCTURAL ELEMENTS AS NOTED ON PLANS. VERIFY THAT STRUCTURAL ELEMENTS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PENETRATION, JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS. CONSULT WITH THE ARCHITECT FOR APPROVAL.
- CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- WHERE REMOVALS OCCUR PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A 9\"/>



65 NEWBURY STREET
 PORTLAND, ME 04101
 207.761.9000
 fax: 207.761.2010
 info@portcityarch.com



671-675 Forest Ave.
 Portland, Maine

STAIR/ENTRY SET

REVISIONS	DATE	DESCRIPTION
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Date Issued: JAN 14, 2014

Project Number: 1318

Drawing Scale:

Sheet Name:

TITLE PAGE

Drawn By: JAP

Checked By: LA5

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