

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING DEPARTMENT

## PERMIT

PERMIT ISSUED

Permit Number: 041637

OCT 14 2005

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that Coyne Alicia M & Peter A Joseph Gallardo  
has permission to Rebuild 21x22 2 car garage on the footp  
AT 24 Codman St 20'x20' deck to back 129 H006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must given and written permission procured before this building or part thereof laid or closed-in.  
HEAR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*Joanne Burke* 10/11/05  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1637	Issue Date: OCT 14 2005	CEI: 129 H006001 Phone:
<b>PERMIT ISSUED</b>		
Location of Construction: 24 Codman St	Owner Name: Coyne Alicia M & Peter A Jts	Owner Address: 24 Codman St
Business Name:	Contractor Name: <del>Joe Gallant</del> <b>ABC</b>	Contractor Address: <del>15 Rochester St Westbrook</del> <b>Call City of Portland 5016</b>
Lessee/Buyer's Name	Phone:	Permit Type: <del>Additions Dwellings</del> <b>Detached Garage</b> Zone: <b>R3</b>

Past Use: Residential 2 unit	Proposed Use: Residential 2 unit Rebuild garage same footprint
<i>2 Family per microchick</i>	

Permit Fee: \$129.00	Cost of Work: \$12,000.00	CEO District: 4
FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>R3</b> Type: <b>5b Accessory</b> <b>FRL-2003</b>	
Signature:	Signature: <b>JMB 10/11/05</b>	

Proposed Project Description:  
Rebuild ~~21x22~~ 2 car garage same footprint.  
**20'x20' smaller due to slab**  
**Demo permit # 05-0767**

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: dmartin	Date Applied For: 11/02/2004
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Zoning Approval		
<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <b>11/14/04 JMB</b>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <b>JMB</b>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

11/4/05 - Slab Pour - size & location OK.

OK to pour - AM

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 04-1637	<b>Date Applied For:</b> 10/29/2004	<b>CBL:</b> 129 H006001
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<b>Location of Construction:</b> 24 Codman St	<b>Owner Name:</b> Coyne Alicia M & Peter A Jts	<b>Owner Address:</b> 24 Codman St	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> ABC Builders	<b>Contractor Address:</b> PO Box 241 Belgrade	<b>Phone</b> (207) 485-0419
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Garages - Detached	

<b>Proposed Use:</b> Residential 2 unit Rebuild garage same footprint, smaller for slab w/ 400sf structure	<b>Proposed Project Description:</b> Rebuild 20' x 20' - 2 car garage in same footprint, w/slab for 400sf structure
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 11/16/2004

**Note:** **Ok to Issue:**

- 1) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) Your previous structure was legally nonconforming as to setbacks. Upon demolition of that structure on the approved permit # 05-0767 you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards. The one (1) year starts at the time of removal. It shall be the owner's responsibility to contact the Code Enforcement Officer and notify them of that specific date. A pre demolition inspection was performed on 6/17/05
- 3) This permit is approved using Sec. 14-385 which allows the reconstruction of a non-conforming building in the exact footprint & envelope.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 10/11/2005

**Note:** 11/16/04 left vm w/owners to call w/contractors # for info on frost protected slab. **Ok to Issue:**

11/8/04 Don Haskell faxed some details, but wants to put on hold due to weather & foundation requirements.  
 7/5/05 Don H. Came in to discuss frost protection, he will submit plans soon.  
 9/28/05 Don H. Submitted new plans, but is still waiting for the engineers plan for a slab for a 462 sf structure.  
 10/6 Don H. Called to inquire if the engineer had faxed the details, nothing was found, he will get back.  
 10/11 received fax from Don H. For a reduced size garage (20' x20') for a slab construction, ok to issue

- 1) Application approval based upon information provided by applicant, and changes as of 9/28/05. Any deviation from approved plans requires separate review and approval prior to work.

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>24-26 Codman St.</u>		
Total Square Footage of Proposed Structure <u>462</u>	Square Footage of Lot <u>7100 sq. ft</u>	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>129      H006001</u>	Owner: <u>Alicia M. Coyne</u>	Telephone: <u>774-9277</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>S/A/A</u>	Cost Of Work: <u>\$12,000.00</u> Fee: \$ <u>129</u>
Current use: <u>GARAGE</u> <u>2fam -</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Replacement garage, same footprint, 21x22</u>		
Project description: <u>lean garage</u>		
Contractor's name, address & telephone: <u>Joe Gallant 20 Katahdin Drive Gorham</u>		
Who should we contact when the permit is ready: <u>owner</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up.      PHONE: <u>774-9277</u>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>Alicia M. Coyne</u>	Date: <u>10-29-04</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.  
If you are in a Historic District you may be subject to additional permitting and fees with the  
Planning Department on the 4<sup>th</sup> floor of City Hall**

**Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon**

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- N/A Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

J. Ashill 10/14/05  
Signature of Applicant/Designee Date  
[Signature] 14 Oct 05  
Signature of Inspections Official Date  
CBL: 129 H006 Building Permit #: 041639



# APPLICATION FOR PERMIT

PERMIT ISSUED  
Permit No. 0187  
FEB 18 1928

Class of Building or Type of Structure Other than

Portland, Maine, February 18, 1928

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter, improve, or change the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 26 Codman Street Ward 1 Within Fire Limits? No Dist. No. \_\_\_\_\_

Owner's or Lessee's name and address George B. Young, 21 Devonshire St. Telephone \_\_\_\_\_

Contractor's name and address Geo. B. Libby, 21 Devonshire St. Telephone Fl 4734

Architect's name and address \_\_\_\_\_

Proposed use of building 2 car private garage No. families \_\_\_\_\_

Other buildings on same lot two family dwellings

### Description of Present Building to be Altered

Material \_\_\_\_\_ No. stories \_\_\_\_\_ Heat \_\_\_\_\_ Structure \_\_\_\_\_ Roofing \_\_\_\_\_

Last use \_\_\_\_\_ No. families \_\_\_\_\_

### General Description of New Work

To erect 2 car private garage

*This 2 ft. to lot line must be clean of snow*

EXEMPTION FROM OCCUPANCY REQUIREMENTS WAIVED  
REPLACING

### Detail of New Work

Size, front 22' depth 21' No. stories 1 Height above grade to highest point of roof 14'

To be erected on solid or filled land? solid Soil or rock? earth

Material of foundation Cedar posts Thickness, top \_\_\_\_\_ bottom \_\_\_\_\_

Material of underpinning \_\_\_\_\_ Height \_\_\_\_\_ Thickness \_\_\_\_\_

Kind of roof Pitch Material Shingles Class O Und. Lab.

No. of chimneys no Material of chimney \_\_\_\_\_ of lining \_\_\_\_\_

Kind of heat no Type of boiler \_\_\_\_\_ Distance heater to chimney \_\_\_\_\_

If oil burner, name and model \_\_\_\_\_

Capacity and location of oil tanks \_\_\_\_\_

Is gas fitting involved? no

Corner posts 4x6 Sills 4x6 Girt or ledger board \_\_\_\_\_ Size \_\_\_\_\_

Material columns under girders \_\_\_\_\_ Size \_\_\_\_\_ Max. on centers \_\_\_\_\_

Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof

Joists and rafters: 1st floor 2x6 roof 2x6

On centers: 1st floor 16" roof 24"

Maximum span: 1st floor 11' roof \_\_\_\_\_

If one story building with masonry walls, thickness \_\_\_\_\_ height \_\_\_\_\_

No. cars now accommodated on same lot \_\_\_\_\_

Total number commercial cars to be accommodated \_\_\_\_\_

Will automobile repairing be done other than inside of the proposed building? no

Miscellaneous \_\_\_\_\_

Will above work require removal or disturbing of any existing building? \_\_\_\_\_

Plans filed as part of this application? \_\_\_\_\_

Estimated cost \$ 300

# FAX

**ATTN. JEANIE BOURKE**

---

Fax Number 874-8716

Phone Number

**FROM Don Haskell**

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Fax Number 207 878 5715

Phone Number

**SUBJECT COYNE GARAGE PERMIT**

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Number of Pages 3

Date 10/11/05

## MESSAGE

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JEANIE, HERE FINALLY, IS THE END OF OUR QUEST FOR THE COYNE PERMIT, 24 CODMAN ST. INCLUDED ARE THE REQUIRED DOCUMENTS TO MAKE THE REQUIRED CHANGES IN THE PLANS. ANY QUESTIONS, PLS CALL ME @ 878-5715.

DON





October 11, 2005

Fax 874-8716

Jeanie Bourke  
Building Inspector  
Portland Maine

Jeanie,

At long last I have come to the end of the process for obtaining the building permit for Alicia Coyne, 24/26 Codman St., Portland. She has agreed that with the approach of the end of dependable weather that we must get started on construction of the replacement garage for her property. It is obvious that in order to meet the code requirements for the slab footprint required by the City, we must reduce its size to 20' X 20' feet. This is now our plan. Accordingly, by copy of this fax it is requested that the engineered drawings submitted to your office on September 13, 2005, supersede all other plans. It is further requested that they be amended as follows:

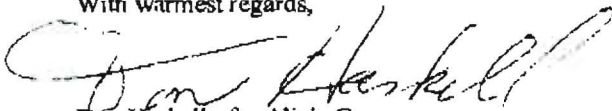
- ✓ 1. The drawings of 22' X 22' ft. is reduced to the required 20' X 20' ft., with all dimensional changes required.
- ✓ 2. The roof pitch is changed from 4/12 to 5/12.
- ✓ 3. The service door is relocated to the left side rather than the right side.

These are all minor changes and have been accepted by the contractor, ABC Builders, Belgrade, ME. Attached is their material list with specifications for the contract. Just as soon as you issue the permit they will start construction, beginning with their local contractor for the slab. I have cross checked the lists and find them compatible with the plans.

I remind you that her fee with the permit application of 10/29/04, \$129.00, was paid at that time. If there is any additional charges, please advise me ASAP so there is no further delays in issuing the permit. When it is ready I will see that it is picked up that day, (probably within the hour)..

I can't thank you enough for your patience and understanding in helping us through this process. It has been outstanding.

With warmest regards,



Don Haskell, for Alicia Coyne  
1 Farwell Ct.  
Westbrook ME 04092



# ABC BUILDERS

(Quality with Integrity)

P.O. BOX 2271  
Belgrade, Me. 04917

485-0419  
John D. Haskell

Donald Haskell  
Telephone: 878-5715

SIZE: 20 x 20 single story  
PRICE: \$7,500

PRICE GOOD UNTIL  
10 - 21 - 05

## SPECIFICATIONS FOR A STANDARD GARAGE

- SALES TAX IS INCLUDED IN PRICE
- CONCRETE SLAB
  - 4" CENTER, 6" PERIMETER
  - WIRE REINFORCED
  - POWER TROWELED
- PRESSURE TREATED BOTTOM PLATE
- PLATES - 2 X 4 DOUBLED, TOP & BOTTOM
- RIDGE POLE - 2 X 8
- CORNER POSTS - TRIPLE 2 X 4
- 2 X 4 WALL STUDS, 16" O.C., KD
- 2 X 8 RAFTERS, 16" O.C., KD
- 2 X 6 RAFTER TIES - 48" O. C.
- COLLAR TIES - 48" O.C.
- 5/8 T&G WAFER - ROOF
- 5/12 PITCH FOR ROOF - HIP ROOF
- 20 YEAR ASPHALT ROOF SHINGLES ( CHOICE OF COLOR )
- 8" METAL DRIPEDGE AROUND ENTIRE ROOF
- GARAGE TRIMMED IN PINE
  - SOFFITS BOXED IN PINE 1 X 8
  - RAKE - 1 X 4
- ONE 16' X 7' OVERHEAD GARAGE DOORS
  - METAL, W/ OR W/O GLASS
  - COLONIAL BRACES
- ONE STEEL INSULATED SERVICE DOOR
- 2" X 8" HEADERS, DOUBLED
- T-111 SIDING
- 8" OVERHANGS ON THE EAVES
- OVERHANGS ON GABLE - OPTIONAL
- ONE YEAR FREE SERVICE ON ALL DEFECTIVE MATERIALS AND LABOR

**FAXED**  
10-7-05

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

OCT 11 2005

RECEIVED



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1  
 Parcel ID 129 H006001  
 Location 24 CODMAN ST  
 Land Use TWO FAMILY

Owner Address COYNE ALICIA M & PETER A JTS  
 24 CODMAN ST  
 PORTLAND ME 04103

Book/Page  
 Legal 129-H-6  
 CODMAN ST 24-26  
 7130 SF

Valuation Information

Land	Building	Total
\$41,790	\$116,030	\$157,820

Property Information

Year Built 1914	Style Old Style	Story Height 2	Sq. Ft. 3100	Total Acres 0.164
Bedrooms 5	Full Baths 2	Half Baths	Total Rooms 11	Attic Part Finsh
				Basement Full

Outbuildings

Type GARAGE-WD/CB	Quantity 1	Year Built 1962	Size <del>22x24</del> 22x21 per BP 1928	Grade C	Condition A
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Sales Information

Date	Type	Price	Book/Page
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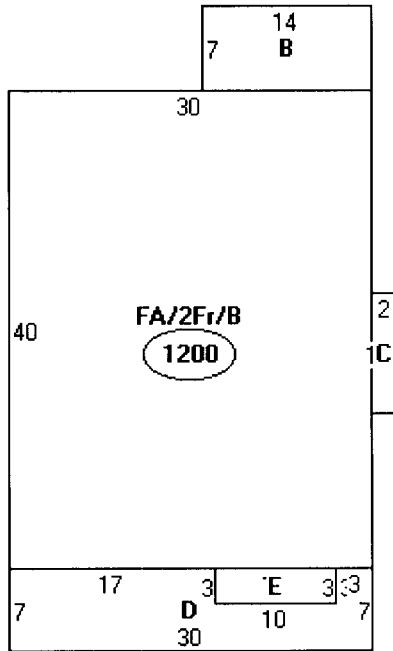
Picture and Sketch

[Picture](#)      [Sketch](#)      [Tax Map](#)

[Click here to view Tax Roll Information.](#)

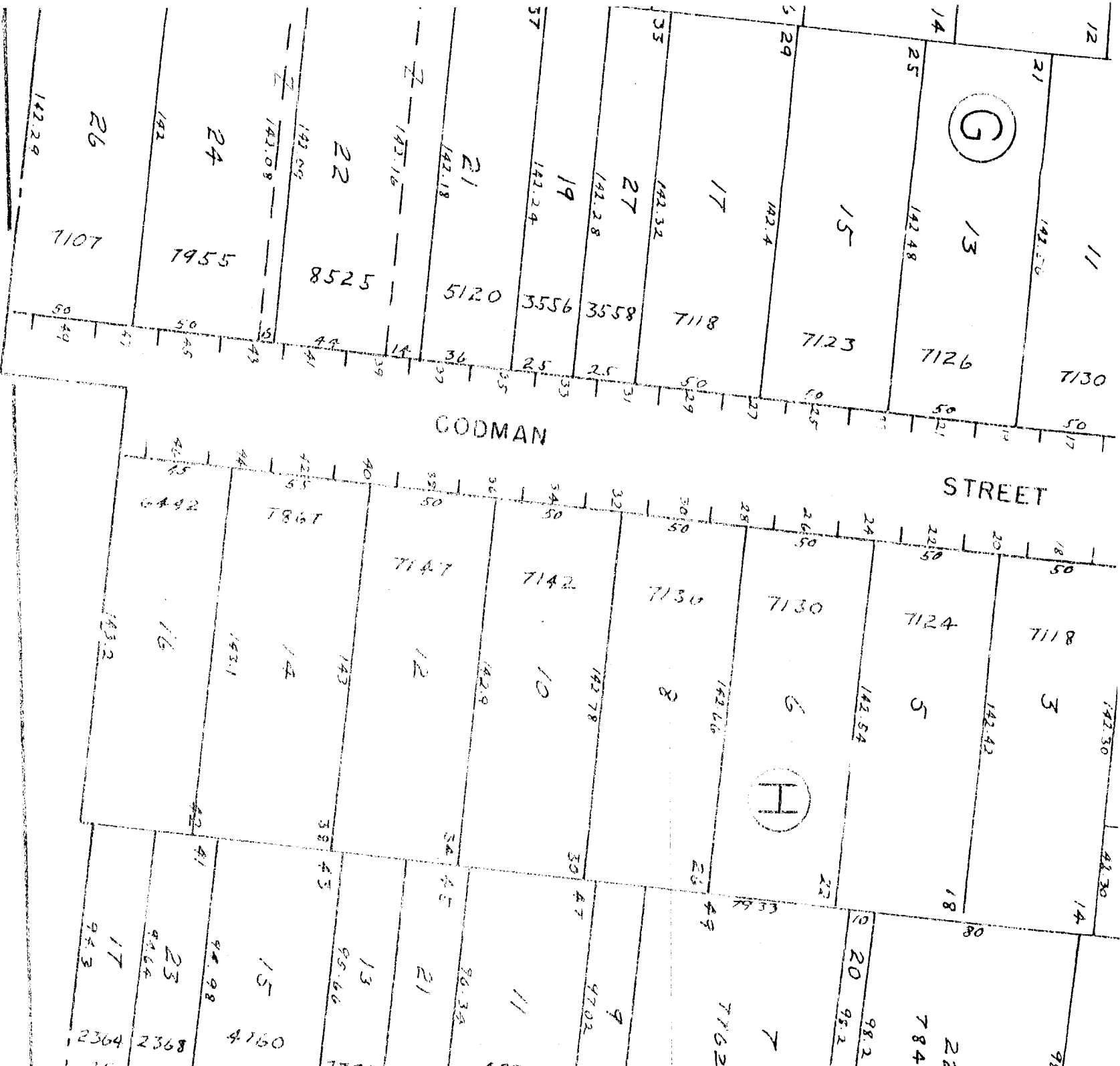
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**



Descriptor/Area

- A: FA/2Fr/B  
1200 sqft
- B: WD/OP  
98 sqft
- C: 2FBAY/B  
20 sqft
- D: 2FBAY/B  
180 sqft
- E: WD/OP  
30 sqft



Map # 139

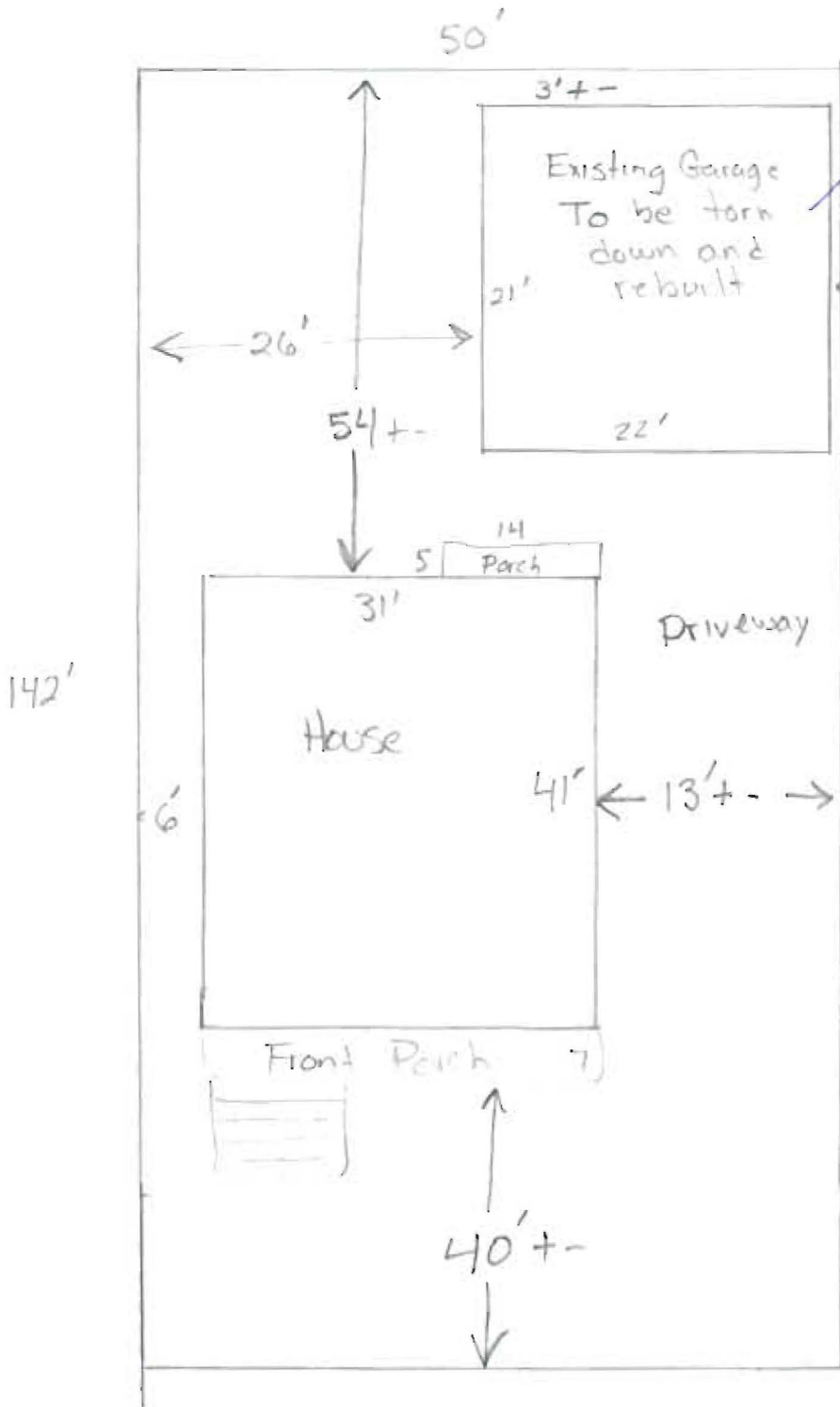
Abstract - Feb. 23, 1967

City of Portland Assessors' Plan

Scale 1" = 50'

PIOT PLAN  
not to scale

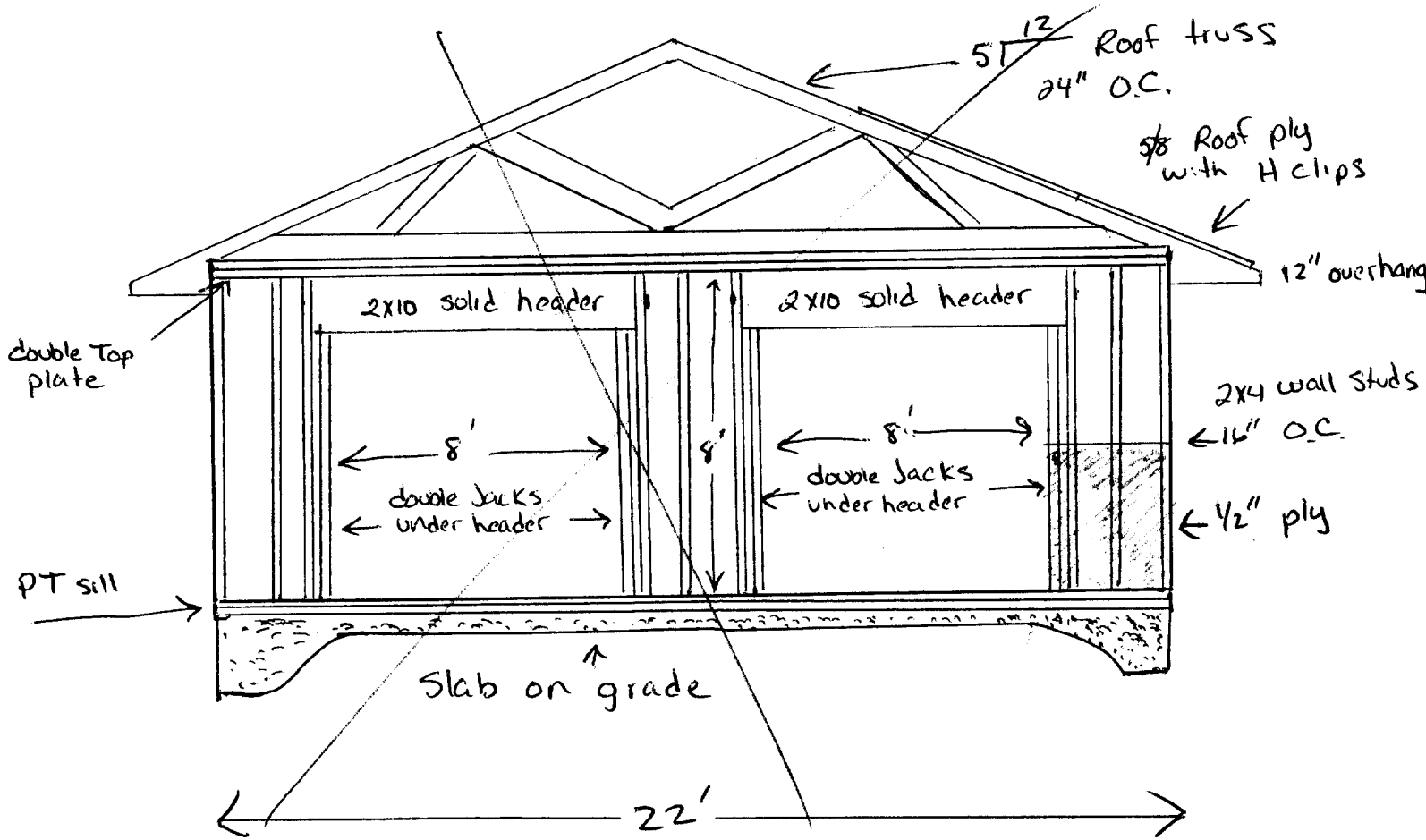
10/11/05 Don.H.  
will be 20'x20'



R-3 Zone  
Sec. 14-385 allows  
to rebuild in exact  
Footprint & envelope



# Front Elevation



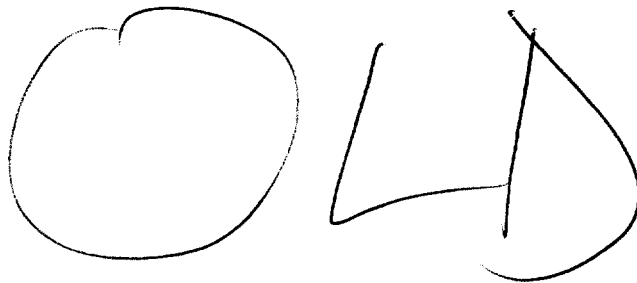
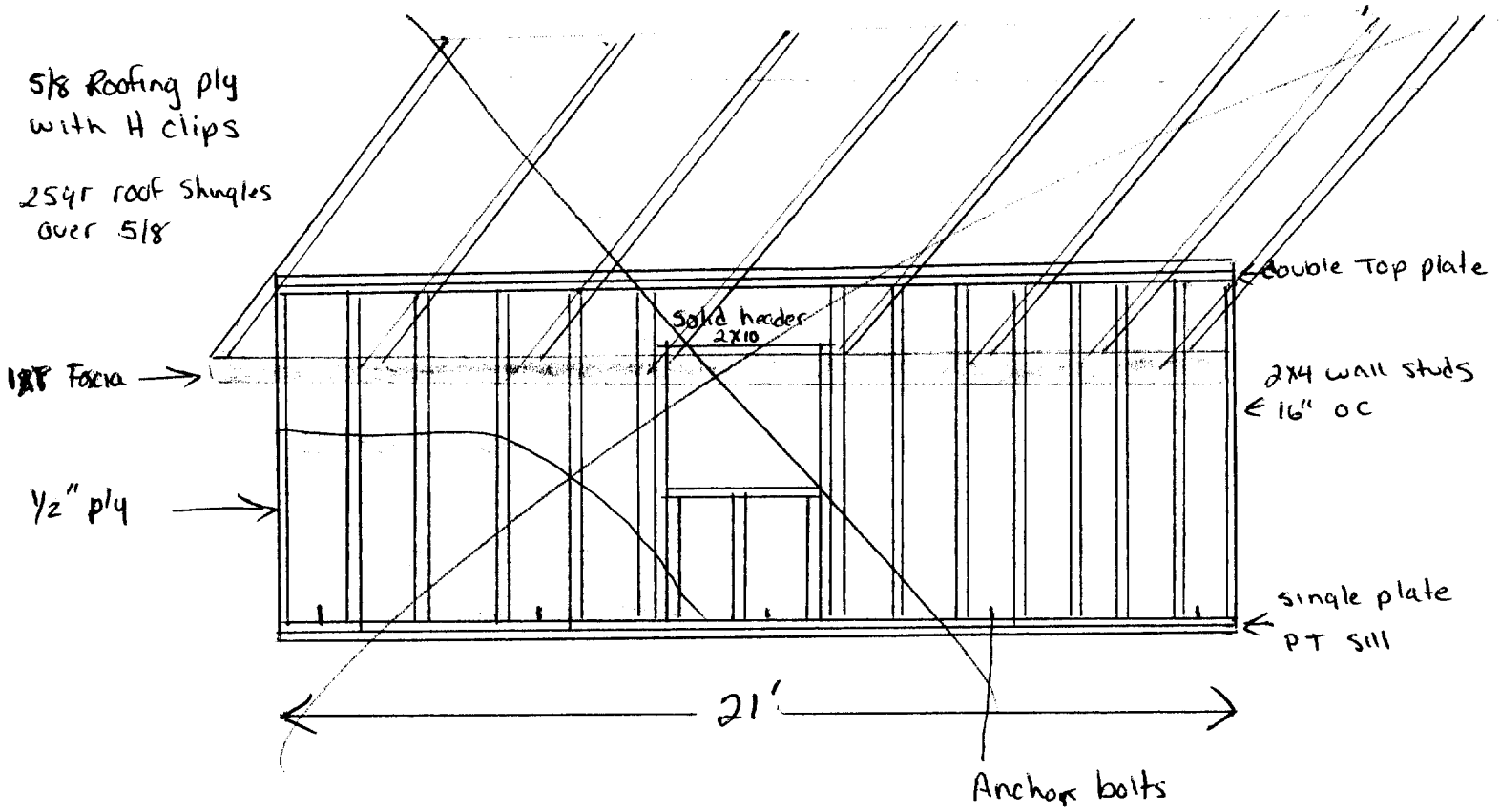
OLD



Side Elevation  
only sidewith a window

not to scale

5/12 Roof trusses 24" O.C.



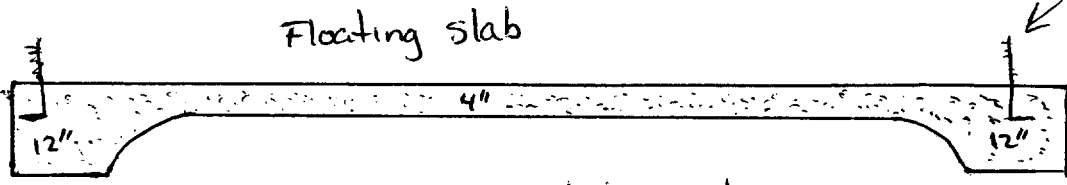
# Foundation Slab 22x21

12" of concrete around the edges

4" of concret througout

Steel mesh laid in concrete,

6" anchor  
Bolts  
6'oc



1' - 2' of compacted gravel

(the fund of money)

Dr. Wood

REC'D  
SEP 28 1900  
DEPT. OF BUILDING  
CITY OF PORTLAND

showing from engineer's plan  
1) Millberg permit the water

(at plan etc) for last year  
2) an extra copy of permit materials

reduced to 11x17  
3) certificates of work plan

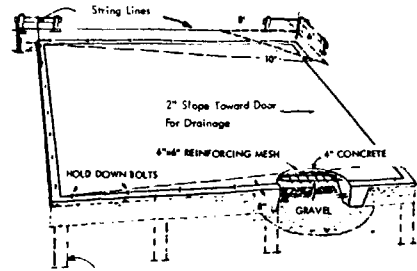
Yours,

9/28/05

(R: 24 Kennedy)

**INSTRUCTIONS:**

1. Study the plan thoroughly. Be sure to check your local code requirements and if required obtain a building permit. Omit steps 2 through 8 if slab is poured by contractor.
2. Locate the garage on your lot to conform to local code requirements, such as side and rear lot set backs. Allow enough room for easy entrance, exit, or turn around, if possible.
3. Stake out the area as illustrated. Be sure all corners are square. Remember that dimensions on plan are to outside of concrete and face of stud. See Foundation plan.
4. Dig trench for foundation approximately 12" deep, 12" wide at bottom. Taper inward at top to approximately 20".



5. Build forms for the concrete slab, using 2" lumber. Set top of 2" form board to desired floor height and level. Inside face of form boards must line up exactly with "string lines" set at proper building dimensions.

Brace securely. This is very important to keep forms from pushing out when concrete is poured. Use a gravel fill and tump to within 4" of the top of form boards.

6. Call building inspector to check location and trenches before pouring concrete.
- Note: At least two 1/2" (or #4) reinforcing bars in perimeter makes a better job. Using wire mesh in floor slab minimizes cracking.
- Have local electrical contractor install conduit under slab for electrical service.

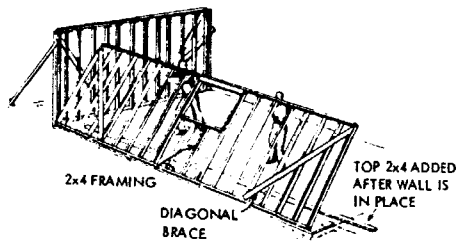
7. Pour readymix concrete completely filling forms. Surface and level with a long straight board and trowel.
8. Set anchor bolts (see foundation plan) 1 3/4" in from edge of concrete and extending at least 2 1/2" above surface.
9. After concrete has set place 2x4 bottom plate on top of bolts with edge of 2x4 flush with outside face of concrete, and tap with a hammer over each bolt to locate position of bolt holes. Drill a 3/4" hole in bottom plate to fit over bolts. Check by placing 2x4 plate over bolts and be sure that edge of 2x4 is flush with face of concrete.

NOTE: Note that the walls are layed out in at least two panels each. This has been done for ease of handling the pre-assembled walls.

**FRAME CONSTRUCTION**  
Begin construction by assembling wall panel, A, B, C and D, on the concrete garage slab. See Nailing Schedule on Plan.

10. Assemble all four panels before tilting them up into position. Lay the predrilled 2"x4" bottom plate and one 2"x4" top plate for panel "A" side by side and mark position of 2"x4" studs 16" o.c. as shown on panel elevation drawing (note that the first stud space on each end of panels is measured from the outside face of stud to the center line of the next stud). Assemble wall Panel "A" using pre-cut 2"x4" studs 7'-8 5/8" long. Nail through top and bottom plates into studs using two 16 penny nails at each connection.
11. Let-in bracing. Check panels for squareness. Lay the 1"x4" corner brace on panel outer corner at top of panel down to bottom plate at a 45 degree angle. Mark 1"x4" position on each stud. With your circular power saw cut into stud 3/4" at each mark. Using a chisel and hammer knock out the piece of wood leaving a 3/4" recess into which you place the 1"x4" corner brace and nail with two 8 penny nails at each stud and top and bottom plate.

12. Repeat steps 10 and 11 for panels "B", "C" and "D". Now that you have the first four wall panels assembled you can start the erection of the walls. Tilt up panel "A" and place it in position over the anchor bolts. Brace panel securely with 2"x4" brace to ground stake. Place washer and nut on anchor bolts and tighten down panel. Follow same procedure for panels "B", "C" and "D".



13. Repeat instructions number 10, 11 and 12 for assembly of remaining wall panels. Assemble and erect panels in sequence.
14. As panels are erected you can add the 2"x4" tie plate as shown on wall framing elevations. Nail plate 16" on center with 16 penny nails.
15. Cut garage door header to length and nail together with two 8 penny nails at each end. Stagger nail 16 penny nails 32" o.c. along top and bottom of header on both side.

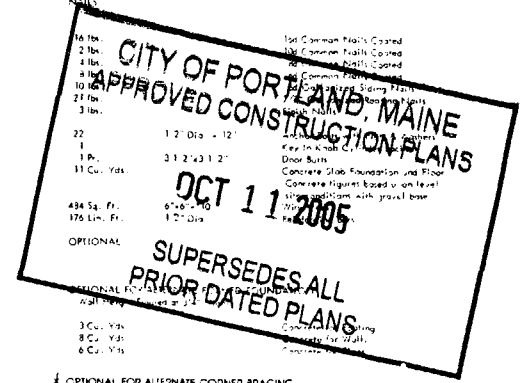
# 2 CAR GARAGE WITH HIP ROOF

For  
24 Codman  
R9-H-6



**MATERIAL LIST**

Quantity	Size	Description	Scarf Ft.
2 Pcs.	2x4 - 14'	Wall Plate Treated	13
1 Pc.	2x4 - 12'	Wall Plate Treated	13
4 Pcs.	2x4 - 12'	Wall Plate Treated	37
69 Pcs.	2x4 - 9'	Pre-Cut Wall Studs	108
2 Pcs.	2x4 - 14'	Wall Plates	12
5 Pcs.	2x4 - 12'	Wall Plates	42
8 Pcs.	2x4 - 10'	Wall Plates	53
3 Pcs.	2x12 - 18'	Header over Garage Door	108
2 Pcs.	2x6 - 10'	Header over Door & Sawn	27
2 Pcs.	2x6 - 15'	Blocking over Garage Door	27
8 Pcs.	2x4 - 8'	Cripple Studs	43
6 Pcs.	1x4 - 12'	Corner Braces	24
1 Pc.	2x6 - 16'	Garage Door Surround	16
5 Pcs.	2x6 - 12'	Rafter Ties	60
5 Pcs.	2x6 - 10'	Rafter Ties	52
2 Pcs.	2x6 - 10'	Rafter Tie Splice Plate	30
24 Pcs.	2x6 - 16'	Rafters	288
3 Pcs.	2x6 - 14'	Rafters	42
2 Pcs.	2x6 - 12'	Rafters	24
5 Pcs.	2x6 - 10'	Rafters	50
4 Pcs.	2x4 - 8'	Lookout	21
4 Pcs.	2x8 - 18'	Hip Rafters	36
2 Pcs.	1x4 - 8'	Hangers	5
677 Sq. Ft.	7/16"x12"	Horizontal Hardwood Siding	677 Sq. Ft.
1 Pc.	2x12 - 10'	Wood Bracket Material	20
2 Pcs.	36" x 36"	Aluminum Fall Krait Paper	-
4 Pcs.	1x4 - 8'	Corner Boards	11
4 Pcs.	1x2 - 8'	Corner Boards	8
8 Pcs.	2x2 - 12'	Soffit Plaster	32
4 Pcs.	1x8 - 12'	Soffit	48
18 Lin. Ft.	2x4x3 3/8"	Exterior Plywood Soffit	36 Sq. Ft.
8 Pcs.	1x2 - 12'	Fascia	54
19 Pcs.	4'x8' - 1 1/2"	C-D Exterior Plywood Roof Sheathing	608 sq. ft.
2 Rafters	1x4	Rafter Tie	-
6 2' 3 Sq.	23x4	Asphalt Shingles	-
1	16'x7'10"	Sectional Up or L Over Garage Door	-
1	2'8"x8'-1 1/2 3'	Complete with Track and all necessary hardware	-
1	4'x3'	Garage Service Door 5 Panel	-
1	4'x3'	Standard 2x4x8x2x4	-
48 Lin. Ft.	1x4	Door Jamb	16
48 Lin. Ft.	1x4	Brick Mold Casing	-
48 Lin. Ft.	1x4	Single Mold Door-Trim	-



**Nailing Schedule For Structural Members**

Description of Building Materials	Number & Type of Fastener	Spacing of Fasteners
Top or sole plate to stud, end nail	2-16d	-
Stud to sole plate, toe nail	4-8d or 3-16d	-
Doubled studs, face nail	16d	24" o.c.
Doubled top plates, face nail	16d	16" o.c.
Top plates, taps and intersections, face nail	2-16d	-
Continued header, two pieces	16d	16" o.c. along each edge
Ceiling joists to plate, toe nail	2-16d	-
Continuous header to stud, toe nail	4-8d	-
Ceiling joist, taps over partitions, face nail	3-16d	-
Ceiling joist to parallel rafters, face nail	3-16d	-
Rafter to plate, toe nail	2-16d	-
1" brace to each stud and plate, face nail	2-8d	-
Built-up corner studs	16d	30" o.c.
Built-up girder and beams	20d	32" o.c. at top & bottom & staggered 2-20d at ends & at ea. splice
Roof rafters to ridge, valley or hip rafter, toe nail	4-16d	-
face nail	3-16d	-
Collar ties to rafters, face nail	3-8d	-

Description of Building Materials	Description of Fasteners	Spacing of Fasteners	
		edges	intermediate supports
roof and wall sheathing to frame:			
1/2 inch - 5/8 inch	6d	6"	12"
Other wall sheathing			
1/2" Fiberboard Sheathing	1 1/4" galvanized roofing nail	3"	6"
	6d common nail		

16. Nail 2"x4" cripples at each side of door opening. Lift assembled header into position and rest on cripples and nail to panel studs using 16 penny nails. Nail hardware surround to inside face of cripples (see garage door jamb detail).
17. Add 2"x4" tie plate to top remaining wall panels.
18. Lay rafter ties approximately 4' on center across top plate to form a working platform for rafter erection. Brace ties below if span is too long.
19. Cutting the rafters will be simplified by using the full size template provided for the 2"x6" jack rafters and full size template and the Cutting Diagram provided for the 2"x8" hip rafters. Cut the four 2"x8" hip rafters first. Nail the 2"x4" hip rafter brace as shown in detail on Sheet #5. Erect and tack nail the first two hip rafters in place resting them on the 2"x4" brace. Erect the remaining two hip rafters and nail them all together.
20. Cut the jack rafters to the lengths indicated on the rafter schedule. Start with the longest rafters and work down to the shortest, some of the lumber cut offs should be used for your shorter rafters. Nail rafters to hip and plate according to Rafter Plan Layout.
21. Add eave blocking and any other framing necessary, as shown on plan.
22. Apply 3" plywood sheathing over roof rafters starting at the bottom of the rafter. Stagger joints of roof sheathing so that joints on adjoining sheets do not occur on the same rafter.
23. Apply roof shingles (over felt if desired). Follow manufacturer's instructions in bundle. Extend shingles 3/4" beyond face of trim board, and excess of shingles should be cut from inside only in order to maintain a trim appearing edge.
24. Trim out door opening with jamb and casing. Install windows with bottom sill resting on 2"x4" sill plate. Apply aluminum coated Kraft paper over outside stud wall. Start siding at bottom, making sure that first board is level. Check for level at every third board and cut all joints and ends square, staggering joints on side walls.
26. Trim eaves and corners. Install doors.
27. Install garage door following the manufacturer's instruction included with door package.
28. Paint or stain siding and trim as desired.

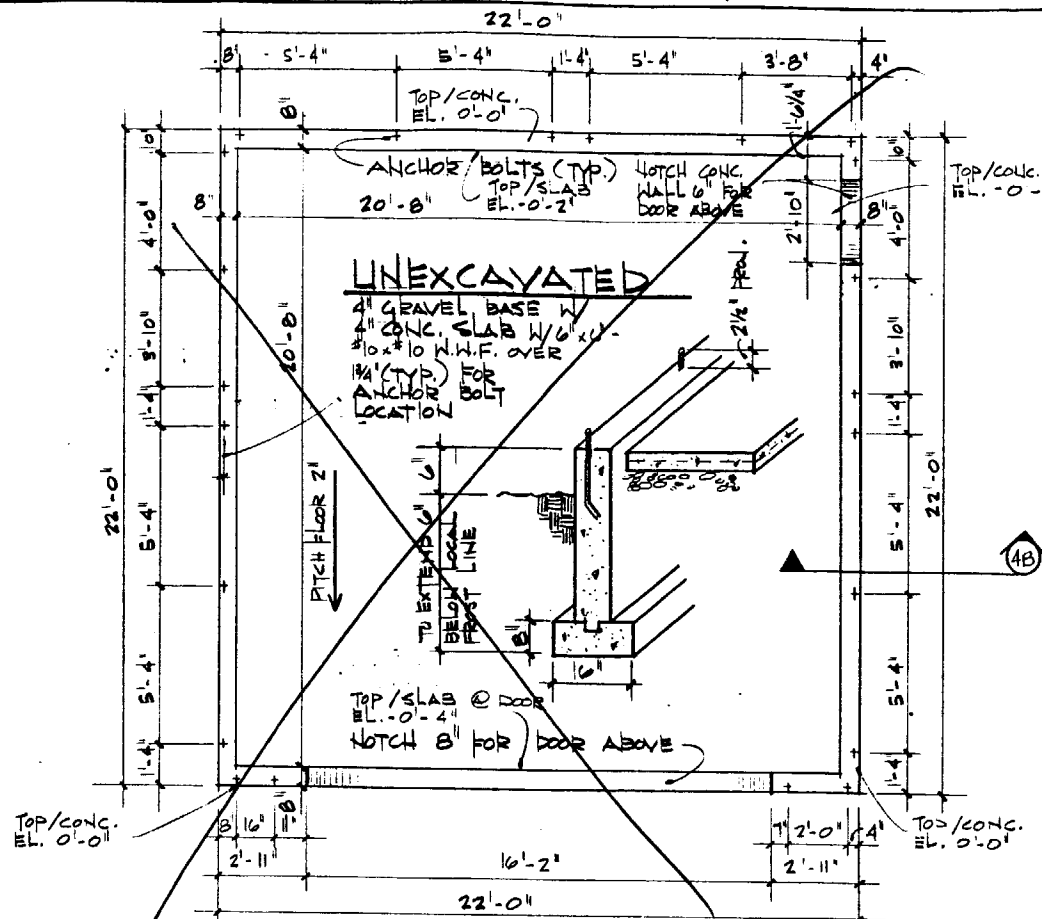
OPTIONAL FOR ALTERNATE CORNER BRACING  
8 Pcs. 4x8x11/2" Ext Plywood Sheathing  
10 Pcs. 4x8x11/2" Insulating Sheathing  
5 lbs. 1 1/2" Galvanized Roofing Nails



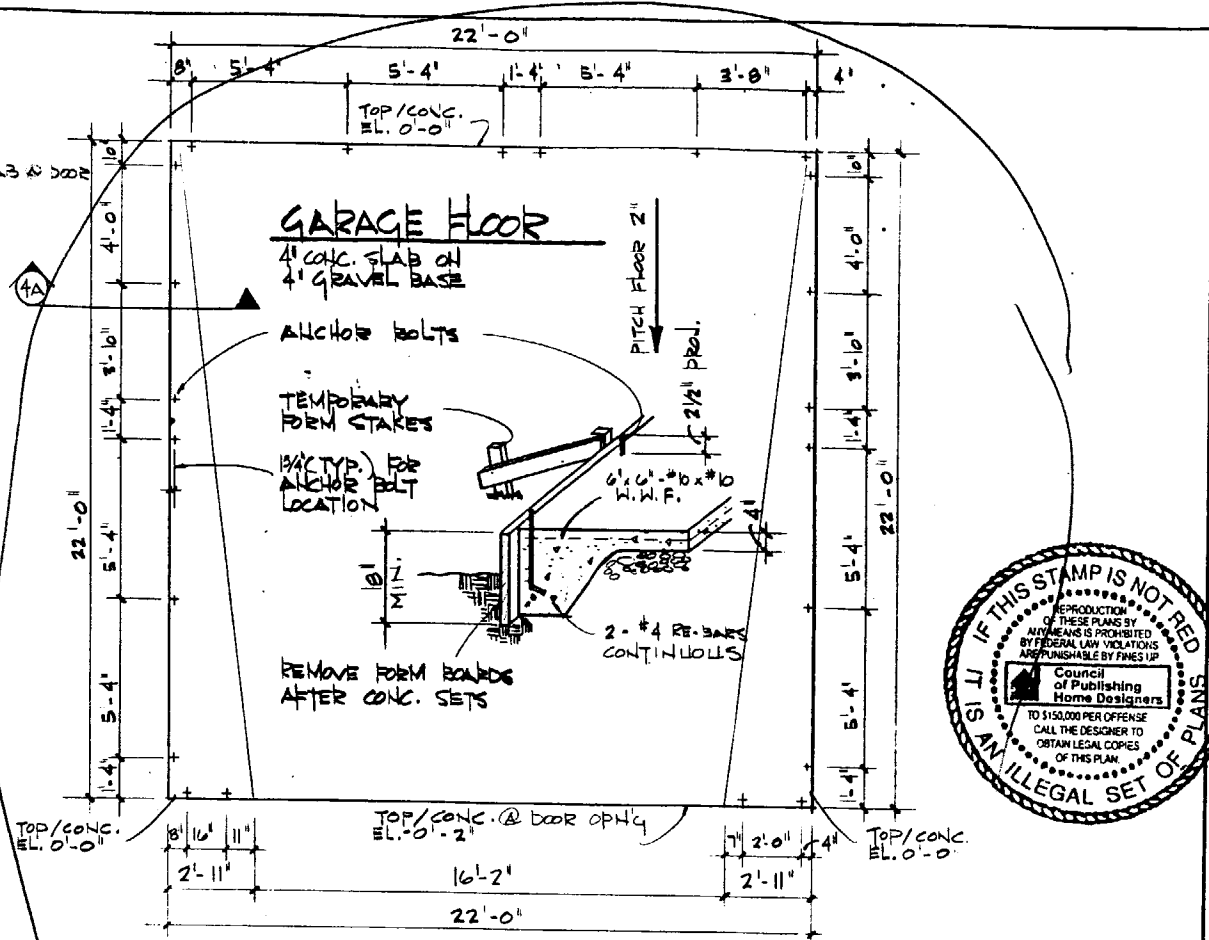
These plans have been prepared to meet professional building standards. However, due to varying construction codes and local building practices, these drawings may not be suitable for use in all locations. Consequently, these drawings are not to be used as a guide for construction unless the builder has confirmed suitability or until the drawings have been adjusted to meet local requirements. Results may vary according to quality of material purchased and the skill of the builder.

<b>UCANDO</b> DO-IT-YOURSELF SERIES™	QUALITY PROJECT PLANS FROM: HDA, INC. ■ ST. LOUIS, MISSOURI
© COPYRIGHT 1985, ALL RIGHTS RESERVED	
This plan has been prepared to meet professional standards of construction. A careful study of plan instructions and dimensions is advised before starting work.	SHEET NO. 1 TOTAL 6

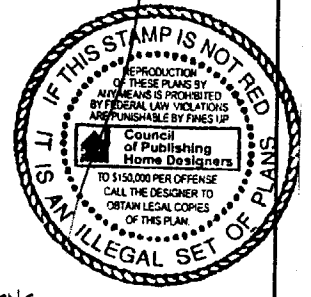
**PROJECT PLAN NO. 14013**



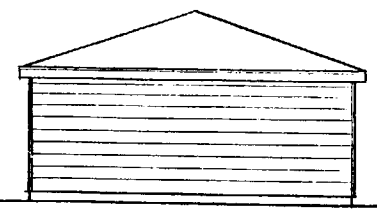
**ALTERNATE FOUNDATION PLAN**  
 (FORM CONCRETE) SECTION "4B"  
 SCALE 1/4" = 1'-0"  
 FROST CONSTRUCTION



**FOUNDATION PLAN (TURNED DOWN SLAB) SECTION "4A"**  
 SCALE 1/4" = 1'-0"  
 NO FROST CONSTRUCTION



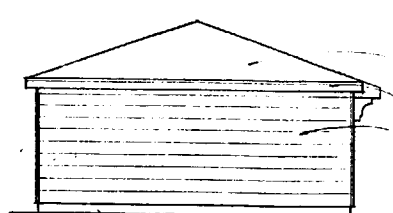
*Slab*



**REAR ELEVATION**  
 SCALE

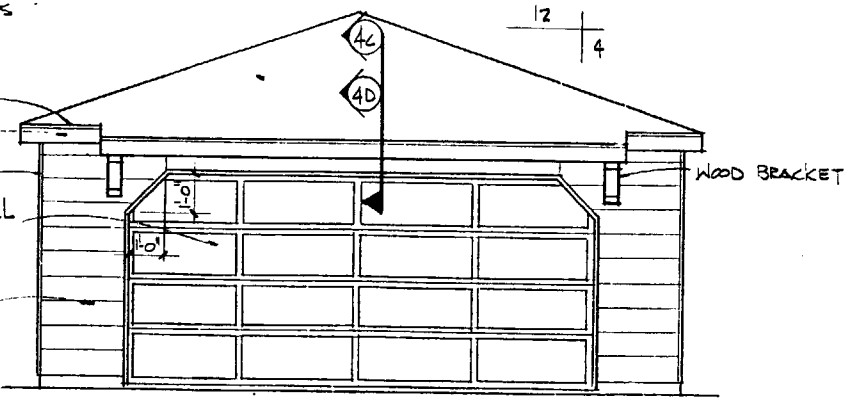


**RIGHT SIDE ELEVATION**

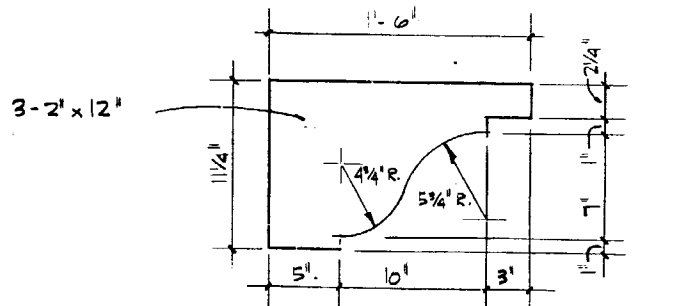


**LEFT SIDE ELEVATION**  
 1/8" = 1'-0"

- 235# SELF-SEAL ASPHALT CUNGLES
- 1x8 FASCIA
- SHINGLE MOULD
- 1x8 FASCIA
- 1x3 & 1x4 CORNER BOARDS
- 16/6 x 7/6 SECTIONAL GARAGE DOOR
- 2" HORIZONTAL HARDBOARDED SIDING W/ 1/4" EXPOSED (TYP.)



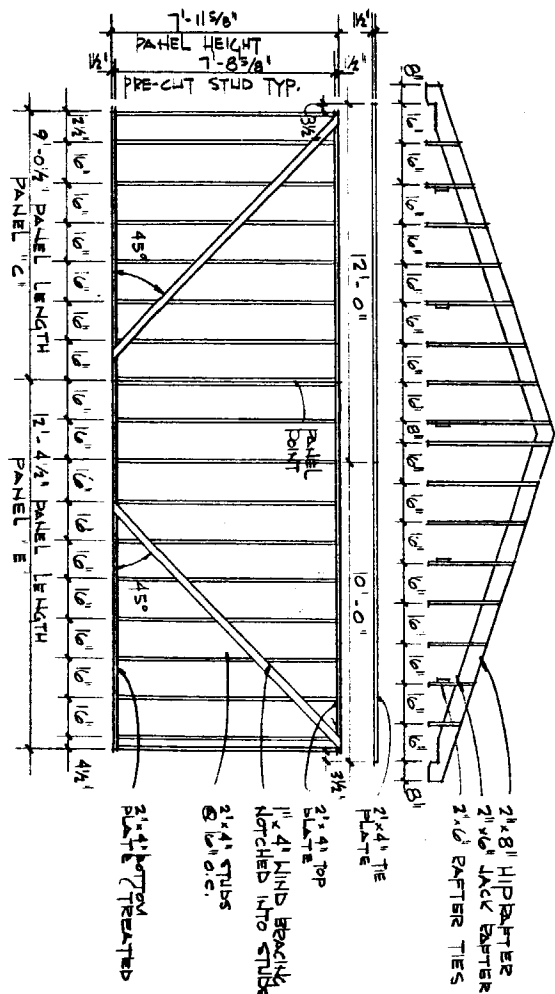
**FRONT ELEVATION**  
 SCALE 1/4" = 1'-0"



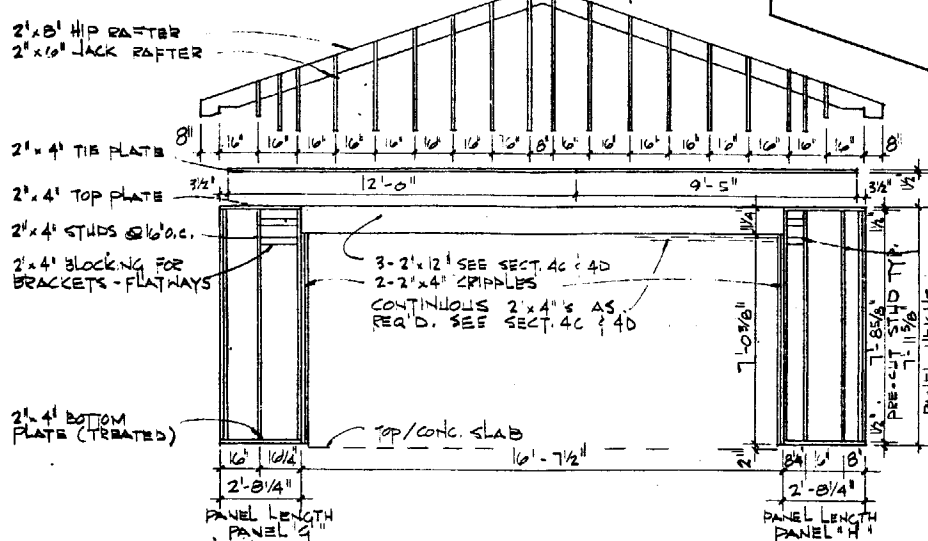
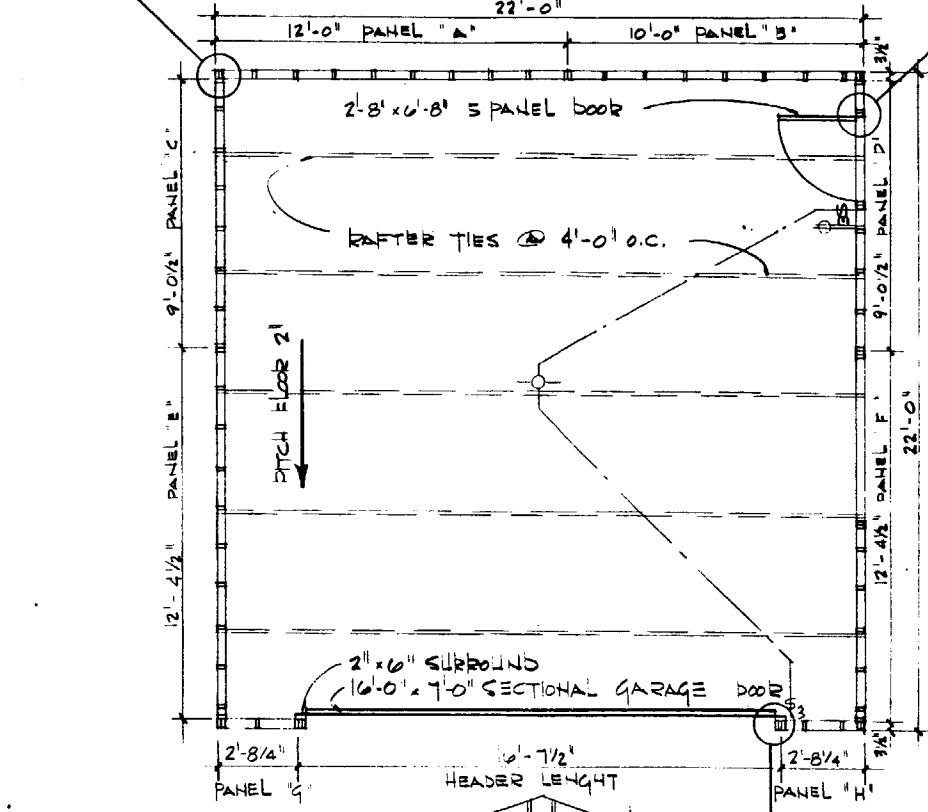
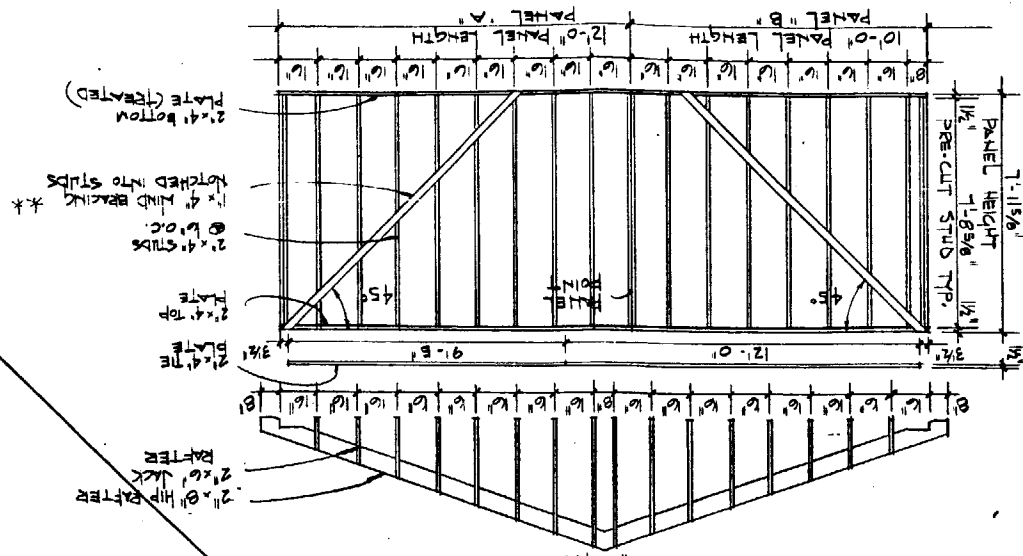
**BRACKET DETAIL**  
 SCALE 1/2" = 1'-0"

NOTE: IF INTERIOR FINISH IS USED ADD 2" x 4" STUDS AT EACH CORNER

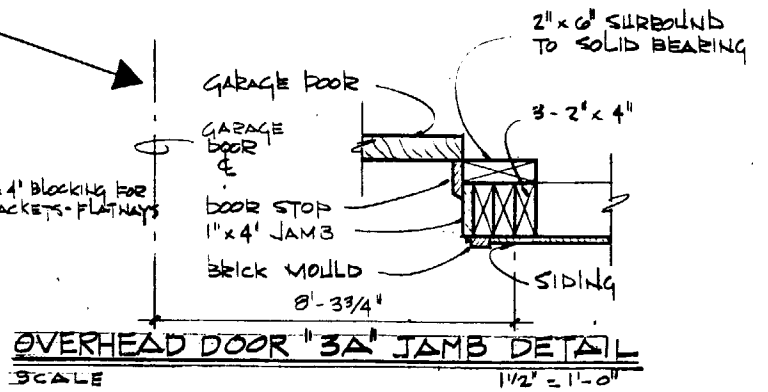
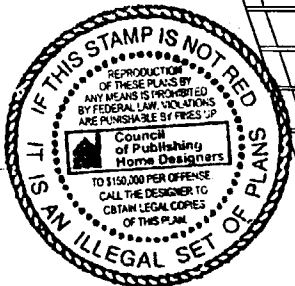
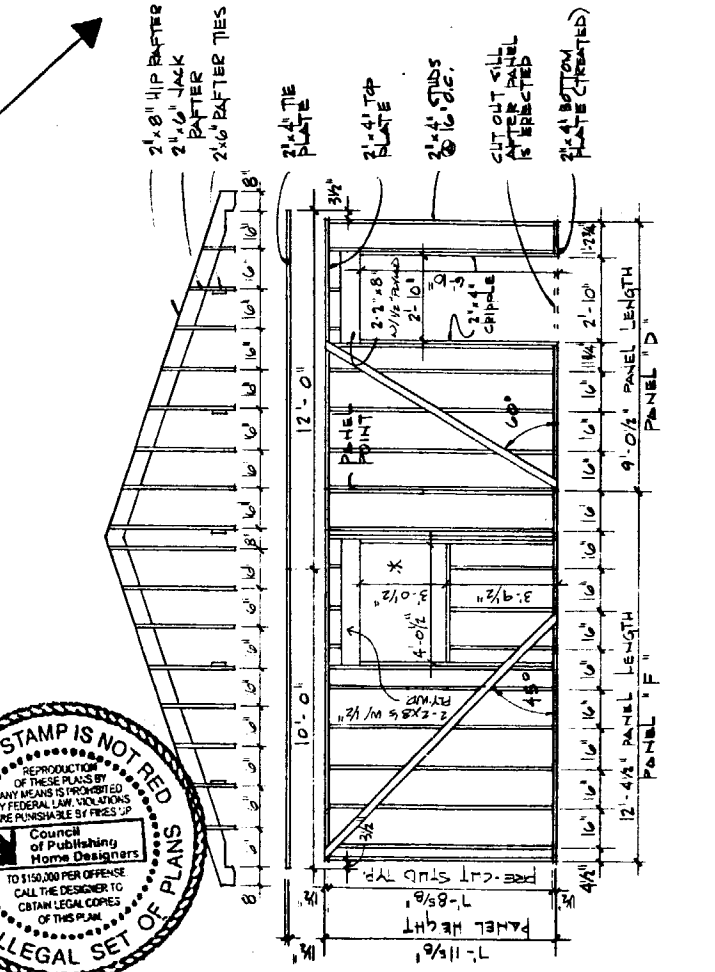
**CORNER DETAIL 3C**  
SCALE 1/2" = 1'-0"



\* = VERIFY ROUGH OPENING w/ WINDOW MANUFACTURER  
 \*\* = OPTIONAL 1/2" PLYWOOD SHEATHING FOR ALTERNATE CORNER BRACING



**SERVICE DOOR JAMB DETAIL 3B**  
SCALE 1/2" = 1'-0"



**OVERHEAD DOOR 3A JAMB DETAIL**  
SCALE 1/2" = 1'-0"

**GENERAL SPECIFICATIONS**

**1. DIMENSIONS**

All dimensions should be verified. Printed dimensions shall take precedence over scaled dimensions.

**2. DESIGN LOAD CRITERIA**

These drawings are based on the following criteria:  
Concrete Slab: 50 p.s.f. live load

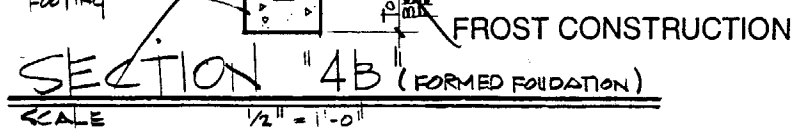
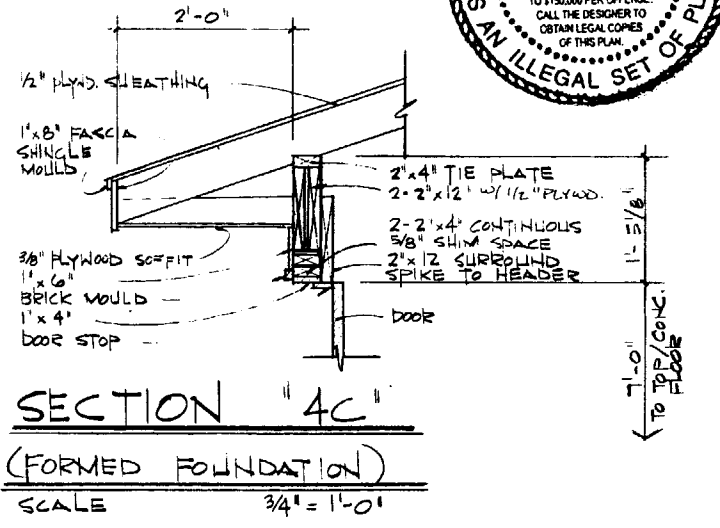
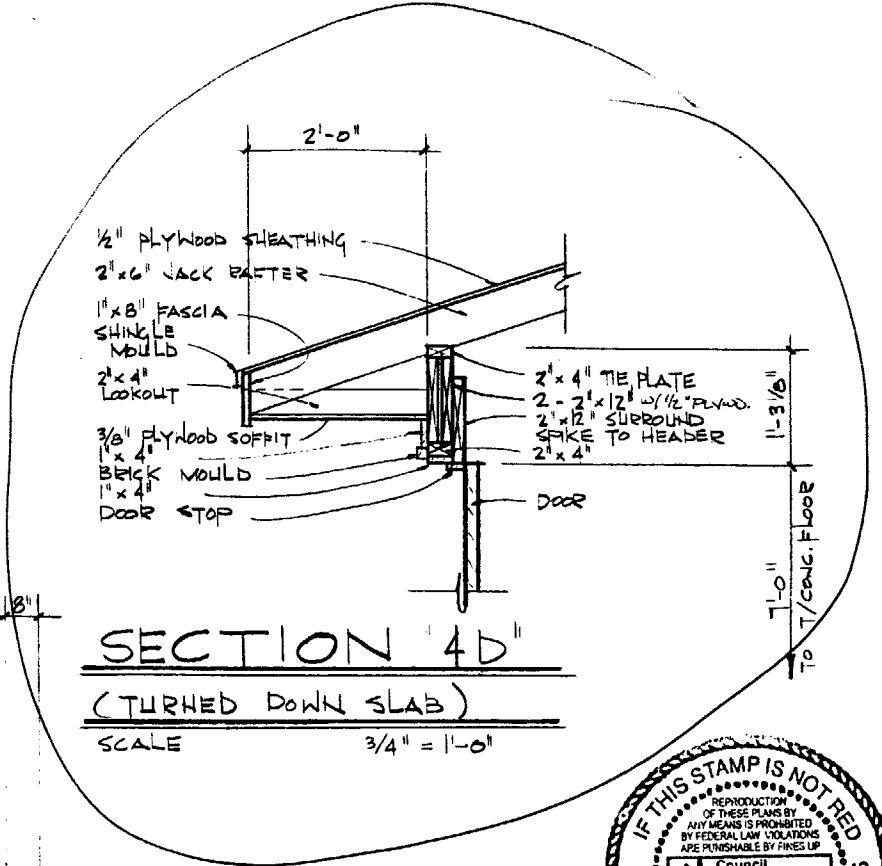
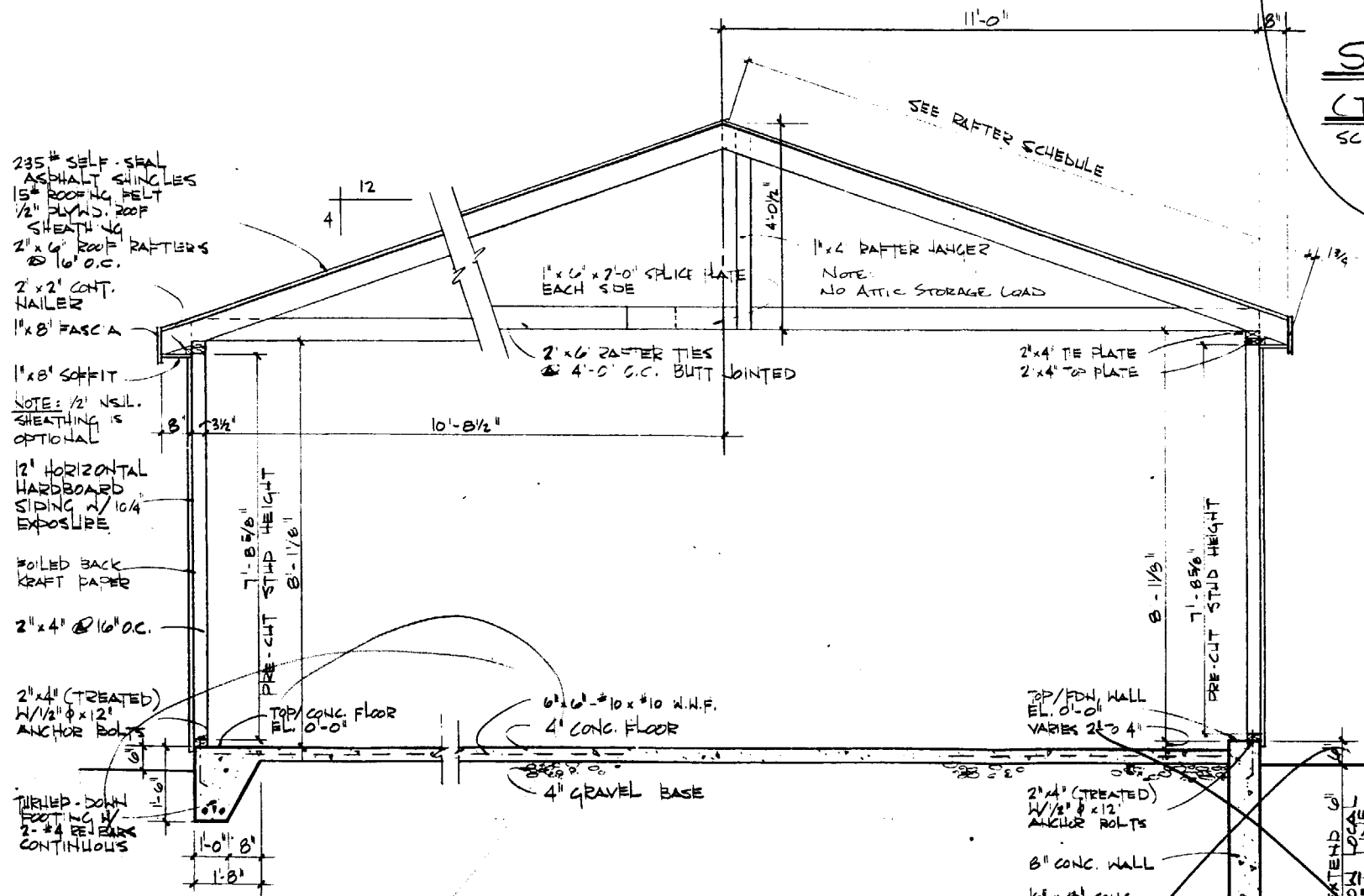
Roof: 30 p.s.f. live load  
Allowable soil bearing pressure is assumed to be 2,500 p.s.f. or greater.

**3. CONCRETE**

All concrete foundations and slabs shall be constructed using 3,000 p.s.i. (28-day compression strength) concrete.

**4. LUMBER**

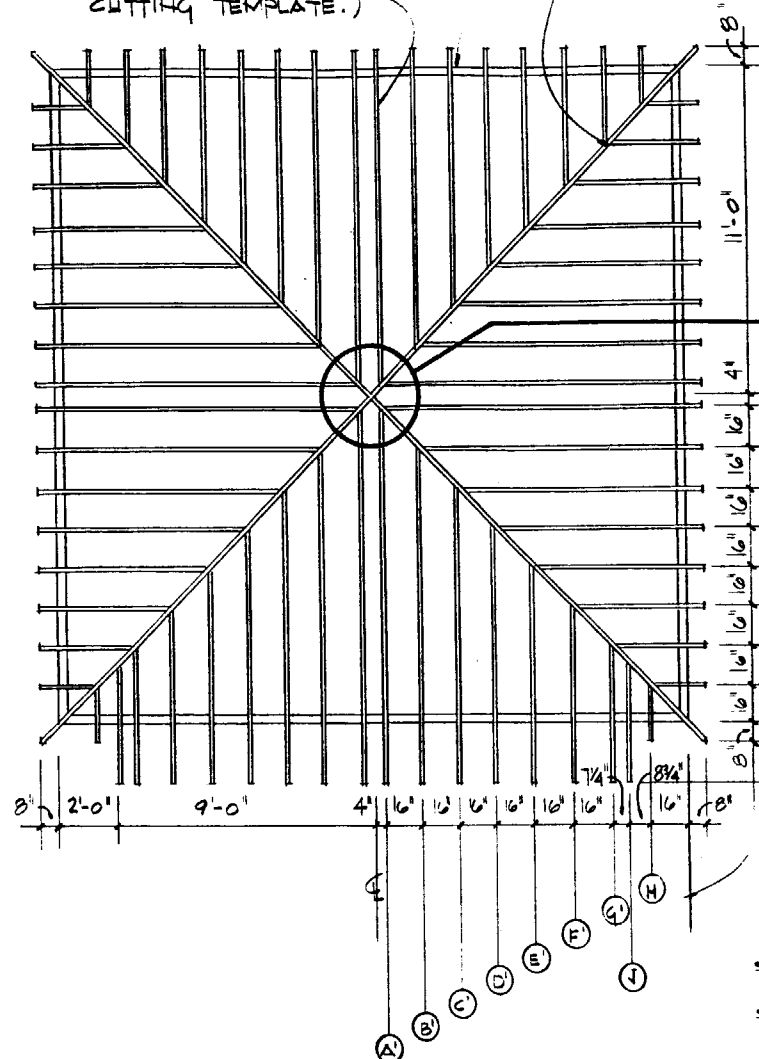
All plywood should be exterior grade. Exposed lumber should be weather protected with stain/sealer or paint. Any lumber touching concrete is to be pressure treated. Framing lumber, unless noted otherwise, should be No. 2 Spruce-Pine-Fir or equal.



2'x4' TIE PLATE  
 2'x6' JACK RAFTERS  
 @ 16" O.C. (SEE  
 SCHEDULE BELOW FOR  
 LENGTH. SEE SHEET 6  
 FOR FULL SIZE  
 CUTTING TEMPLATE.)

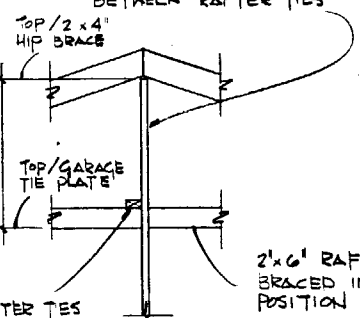
2'x8' HIP RAFTER (SEE  
 SHEET 6 FOR FULL SIZE  
 CUTTING TEMPLATE)

BEVEL HIP - RAFTERS  
 AT 45° ANGLE IN BOTH  
 DIRECTIONS FROM  
 CENTER LINE

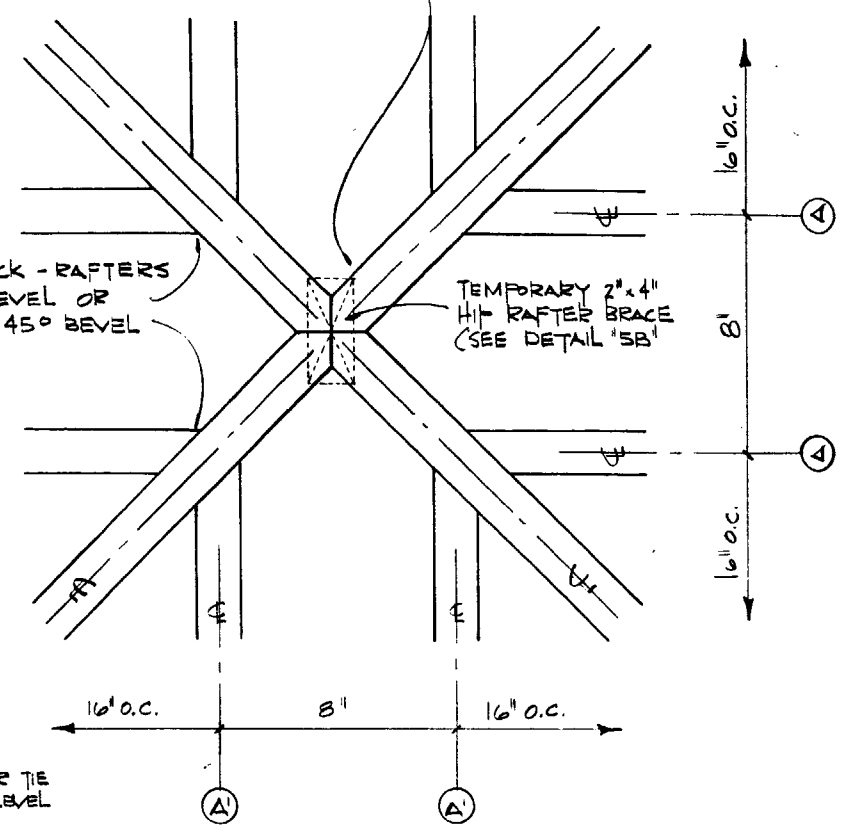


BEVEL JACK - RAFTERS  
 AT 45° BEVEL OR  
 REVERSE 45° BEVEL

RUN TEMPORARY  
 2'x4' HIP BRACE  
 DOWN TO CONC. SLAB.  
 TACK NAIL TO 2'x4' NAILER  
 BETWEEN RAFTER TIES

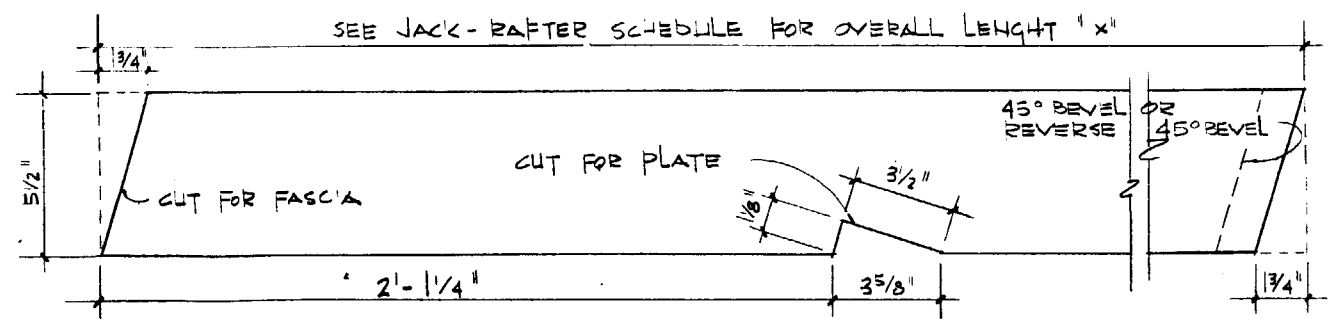


**HIP RAFTER  
 BRACING DETAIL "5B"**  
 SCALE 3/8" = 1'-0"



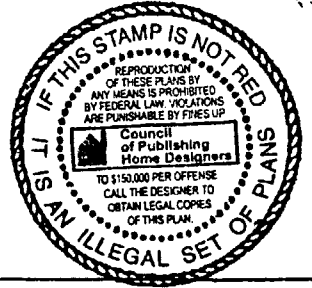
**RAFTER PEAK DETAIL "5A"**  
 SCALE 3" = 1'-0"

**RAFTER FRAMING PLAN**  
 SCALE 1/4" = 1'-0"



**A', B', C', D', E', F', G', and J JACK - RAFTER DIMENSIONAL DIAGRAM**  
 SCALE 3" = 1'-0"

JACK - RAFTER SCHEDULE		A	A'	B	B'	C	C'	D	D'	E	E'	F	F'	G	G'	H	J
OVER ALL LENGTH = "X"		2'-1"	3'-5 7/8"	10'-8 1/8"	12'-1"	9'-3 3/4"	10'-8 1/8"	7'-10 7/8"	9'-3 3/4"	6'-5 1/2"	7'-10 7/8"	5'-0 3/8"	6'-5 1/2"	3'-7 3/4"	5'-0 3/8"	2'-2 7/8"	4'-6"
NO. REQUIRED AT 45° BEVEL		3	1	3	1	3	1	3	1	3	1	3	1	3	1	4	1
NO. REQ'D AT REVERSE 45° B.		3	1	3	1	3	1	3	1	3	1	3	1	3	1	4	1







# CITY OF PORTLAND, MAINE

Department of Building Inspections

Oct 29 2004

Received from Alicia Coyne

Location of Work 29 Calman

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ 129<sup>00</sup>/00

Building (IL) \_\_\_\_\_ Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 129-116

Check #: 583

Total Collected \$ 129<sup>00</sup>/00

## THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy