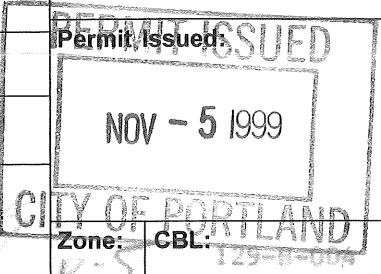


**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 59 Ocean Avenue		Owner: Scott Freedman		Phone: 781-4615		Permit No: 991223	
Owner Address: 12 Kelly Road Falmouth, ME		Lessee/Buyer's Name: N/A		Phone: SAA		Business Name: N/A	
Contractor Name: ADT Security Attn: Phil Hamil		Address: P.O. Box 1239 Scarborough, ME		Phone: 369-5700		Permit Issued: NOV - 5 1999	
Past Use: Commercial		Proposed Use: Same		COST OF WORK: \$ 1,050.00		PERMIT FEE: \$ 36.00	
				FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:	
				Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>	
Proposed Project Description: Install Fire Alarm System				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied			
				Signature: _____ Date: _____			
Permit Taken By: NW		Date Applied For: 11-4-99					



1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

\*\*\*Send To ADT Security  
Attn: Phil Hamil  
P.O. Box 1239  
Scarborough, ME 04074

PERMIT ISSUED WITH REQUIREMENTS

Zoning Approval:

**Special Zone or Reviews:**

Shoreland  
 Wetland  
 Flood Zone  
 Subdivision  
 Site Plan maj  minor  mm

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**Action:**

Approved  
 Approved with Conditions  
 Denied

Date: \_\_\_\_\_

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

11-4-99

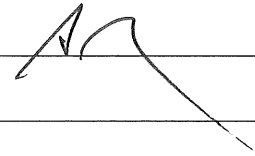
SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS: \_\_\_\_\_ DATE: \_\_\_\_\_ PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_



COMMENTS

2/14/02 OK as per Lt MacPogals



Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

LAND USE - ZONING REPORT

ADDRESS: 59 Ocean Avenue DATE: 11/4/99

REASON FOR PERMIT: install fire Alarm System

BUILDING OWNER: Scott Freedman C-B-L: 129-H-4

PERMIT APPLICANT: ADT Security

APPROVED: with conditions DENIED: \_\_\_\_\_

#7, #11

CONDITION(S) OF APPROVAL

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. During its existence, all aspects of the Home Occupation criteria, Section 14-410, shall be maintained.
3. The footprint of the existing \_\_\_\_\_ shall not be increased during maintenance reconstruction.
4. All the conditions placed on the original, previously approved, permit issued on \_\_\_\_\_ are still in effect for this amendment.
5. Your present structure is legally nonconforming as to rear and side setbacks. If you were to demolish the building on your own volition, you will **not** be able to maintain these same setbacks. Instead you would need to meet the zoning setbacks set forth in today's ordinances. In order to preserve these legally non-conforming setbacks, you may only rebuild the \_\_\_\_\_ in place and in phases.
6. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
7. Our records indicate that this property has a legal use of five (5) units. Any change in this approved use shall require a separate permit application for review and approval.
8. Separate permits shall be required for any signage.
9. Separate permits shall be required for future decks, sheds, pool(s), and/or garage.
10. This is **not** an approval for an additional dwelling unit. You **shall not** add any additional kitchen equipment, such as stoves, microwaves, refrigerators, or kitchen sinks, etc.
11. Other requirements of condition \_\_\_\_\_

Any other uses in this building are not allowable and should be removed to revert back to the allowable legal use

Marge Schmuckal Marge Schmuckal, Zoning Administrator

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Building or Use Permit Pre-Application  
Attached Single Family Dwellings/Two-Family Dwelling  
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): <b>59 OCEAN AVE</b>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Number Chart# <b>129</b> Block# <b>H</b> Lot# <b>004</b>	Owner: <b>Scott freedman</b>	Telephone#: <b>781-4615</b>
Owner's Address: <b>12 Kelly Rd falmouth, ME</b>	Lessee/Buyer's Name (If Applicable)	Cost Of Work: <b>\$ 1,050.00</b> Fee <b>\$ 30.00</b>
Proposed Project Description:(Please be as specific as possible) <b>Install fire Alarm System</b>		
Contractor's Name, Address & Telephone <b>ADT security P.O.-BOX 1239 Scarborough, Me</b>		Rec'd By <b>369-5700</b>
Current Use: <b>Comm</b>	Proposed Use: <b>Same</b>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventililation and Air Conditioning) installation must comply with the 1993 B.O.C.A. Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

**4) Building Plans**

**Unless exempted by State Law, construction documents must be designed by a registered design professional.**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

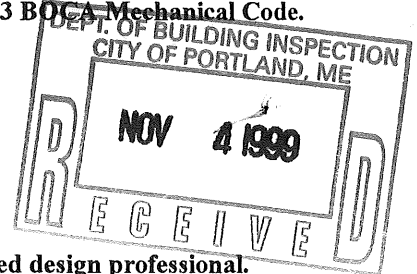
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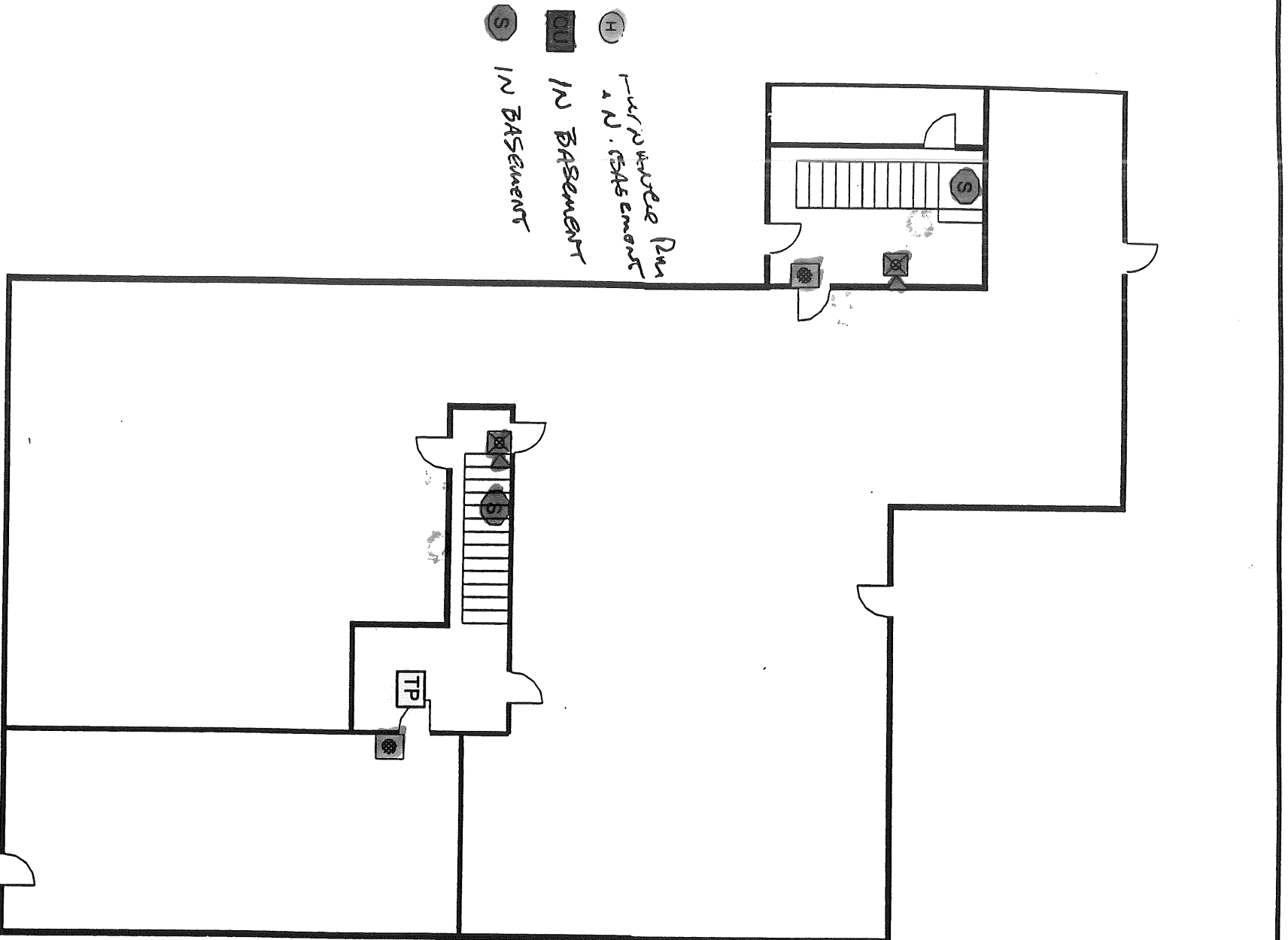
Signature of applicant: <i>[Signature]</i>	Date: <b>11/4/99</b>
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Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

Additional Site review and related fees are attached on a separate addendum



# SYSTEM LAYOUT



Indicate the location of the Control Unit (CU), Touch Pads (TP), Telco Line (TEL), Electric Panel (EP) and all sensors.

**Sensor Legend:**

- Control Unit
- TouchPad
- Contact
- Motion Det.
- Glass Break
- Heat Det.
- Smoke Det.
- Manual Pull
- Horn/Sounder
- Horn/Strobe
- Strobe
- Concealed Wire
- Plenum Ceiling
- Under Construction
- Hazardous Ar

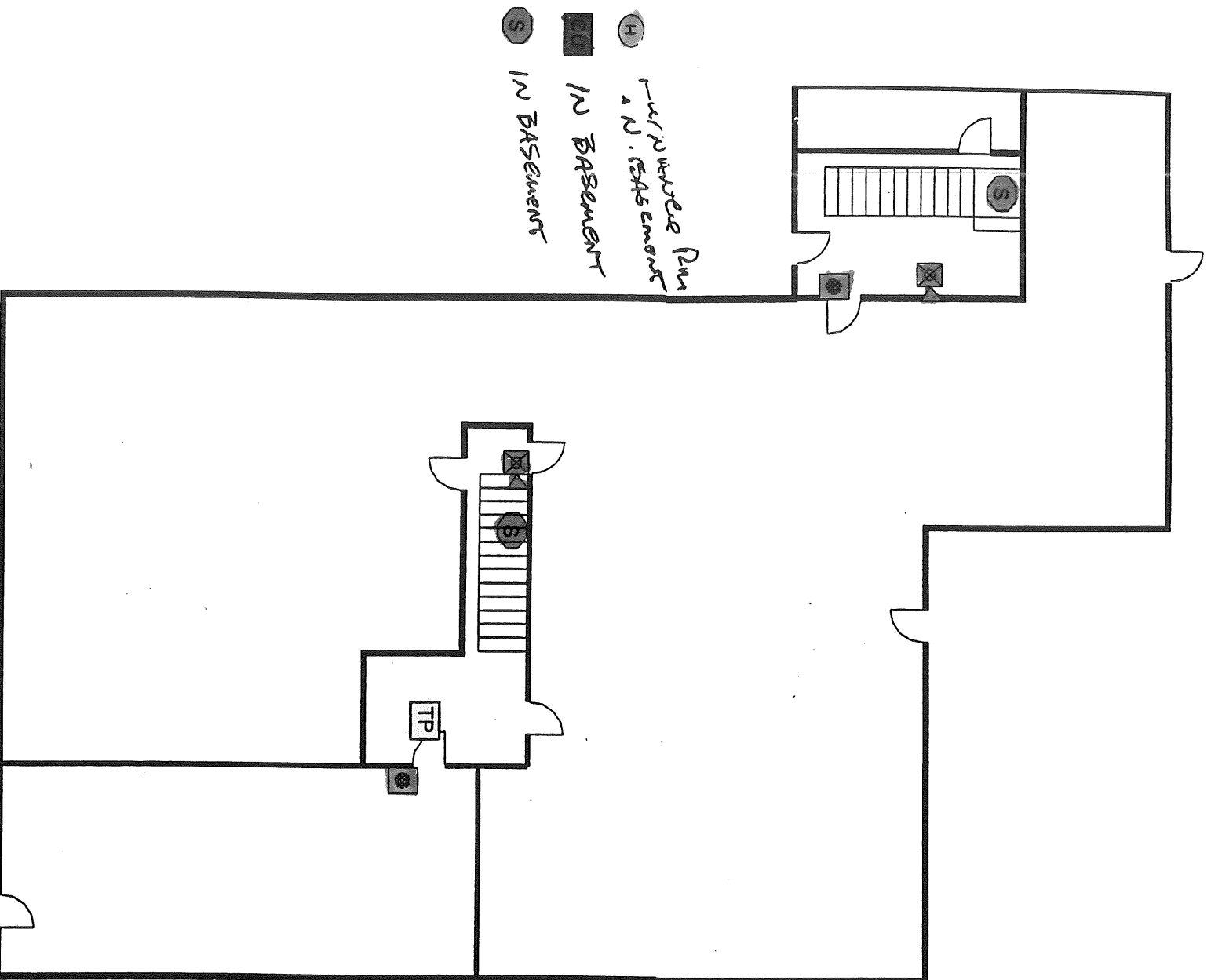
**DESCRIBE BUILDING STRUCTURE / ABNORMAL CONDITIONS**

Building was build around the turn of the century. Control Panel and one Smoke should be placed Elec  
 panels in the basement. One Heat Detector should be placed in the Furnance Room.

**DRIVING DIRECTIONS**

Cross Street is Chenery Street. Go North on Forrest Ave from I-295. Ocean Ave is appr pprox. 3 miles.  
 light on Ocean Ave. There will be a Rite-aid on the left and KFC on the Right, just before the RR Tracks.

# SYSTEM LAYOUT



Indicate the location of the Control Unit (CU), Touch Pads (TP), Telco Line (TEL), Electric Panel (EP) and all sensors.

### Sensor Legend:

- |   |   |   |  |
|---|---|---|--|
| Control Unit                            | Motion Det.                             | Heat Det.                                   | Horn/Sounder                           |
| TouchPad                                | Glass Break                             | Smoke Det.                                  | Horn/Stroke                            |
| <input type="checkbox"/> Concealed Wire | <input type="checkbox"/> Plenum Ceiling | <input type="checkbox"/> Under Construction | <input type="checkbox"/> Hazardous Air |

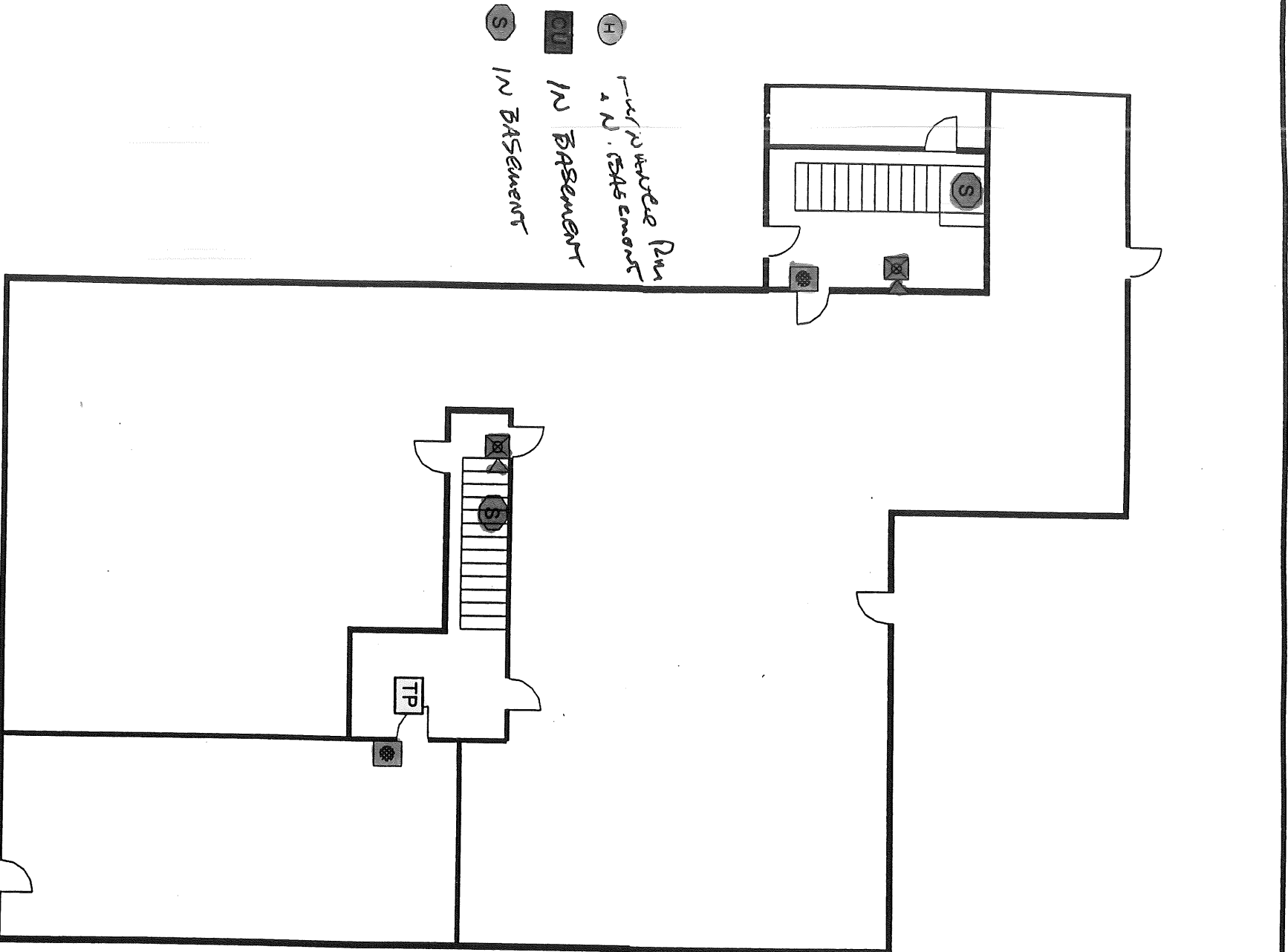
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### DRIVING DIRECTIONS

Cross Street is Cheney Street. Go North on Forrest Ave from I-295. Ocean Ave is appr pprox. 3 miles. Light on Ocean Ave. There will be a Rite-aid on the left and KFC on the Right, just before the RR Tracks.

# SYSTEM LAYOUT



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-  Control Unit
-  TouchPad
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-  Motion Det.
-  Glass Break
-  Manual Pull
-  Heat Det.
-  Smoke Det.
-  Horn/Sounder
-  Horn/Strobe
-  Strobe

- ABNORMAL CONDITIONS:  Concealed Wire  Plenum Ceiling  Under Construction  Hazardous Ar

**DESCRIBE BUILDING STRUCTURE / ABNORMAL CONDITIONS**

Building was build around the turn of the century. Control Panel and one Smoke should be placed Elec Panels in the basement. One Heat Detector should be placed in the Furnance Room.

**DRIVING DIRECTIONS**

Cross Street is Chenery Street. Go North on Forrest Ave from I-295. Ocean Ave is appr pprox. 3 miles. night on Ocean Ave. There will be a Rite-aid on the left and KFC on the right, just before the RR Tracks.