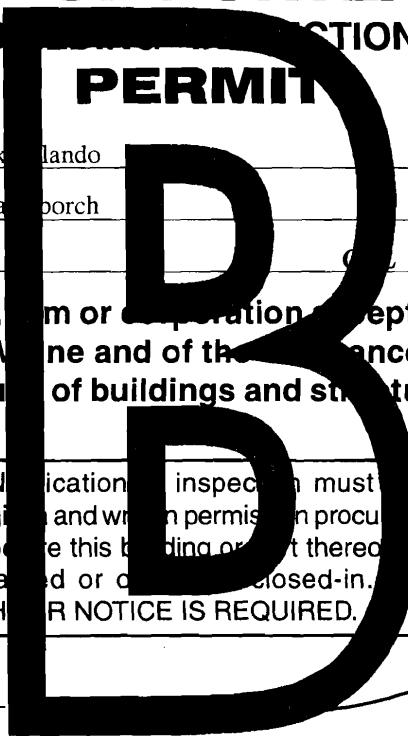


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT



Please Read Application And Notes, If Any, Attached

PERMIT ISSUED

Permit Number: 070887

JUL 23 2007

CITY OF PORTLAND

This is to certify that ORLANDO MARK G /Mark Orlando

has permission to Replace structural beam on balcony porch

AT 25 CODMAN ST

Call 129 G015001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is loaded or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

- Fire Dept.
Health Dept.
Appeal Board
Other

Department Name

Handwritten signature and date 7/23/07

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

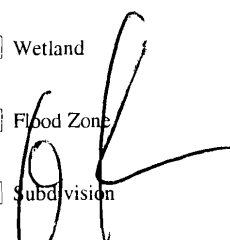
Permit No: 07-0887	Issue Date:	CBL: 129 G015001
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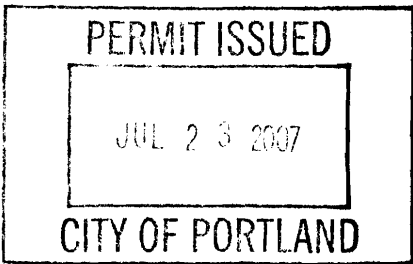
Location of Construction: 25 CODMAN ST	Owner Name: ORLANDO MARK G	Owner Address: 25 CODMAN ST	Phone:
Business Name:	Contractor Name: Mark Orlando	Contractor Address: 25 Codman St. Portland	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone:

Past Use: Residential 2 unit	Proposed Use: Residential 2 unit replace structural beam on back porch	Permit Fee: \$30.00	Cost of Work: \$1,000.00	CEO District: 4
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 2003</i>	

Proposed Project Description: Replace structural beam on back porch	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: dmartin	Date Applied For: 07/20/2007	Zoning Approval
-----------------------------	---------------------------------	------------------------

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>7/23/07</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>7/23/07</i>
			



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0887	Date Applied For: 07/20/2007	CBL: 129 G015001
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Location of Construction: 25 CODMAN ST	Owner Name: ORLANDO MARK G	Owner Address: 25 CODMAN ST	Phone:
Business Name:	Contractor Name: Mark Orlando	Contractor Address: 25 Codman St. Portland	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Residential 2 unit replace structural beam on back porch	Proposed Project Description: Replace structural beam on back porch
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 07/23/2007

Note: **Ok to Issue:**

- 1) The work under this permit is only allowed within the existing footprint. No expansion is permitted.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 07/23/2007

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>25 CORDMAN ST</u>		
Total Square Footage of Proposed Structure <u>63 x 30 = 1890 SF</u>	Square Footage of Lot <u>7123 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>129</u> Block# <u>G</u> Lot# <u>15</u>	Owner: <u>ORLANDO</u>	Telephone: <u>775-1817</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>MARK ORLANDO</u> <u>25 CORDMAN ST</u> <u>PORTLAND, ME 04103</u>	Cost Of Work: \$ <u>1000-</u> Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>TWO FAMILY</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>① REPLACE STRUCTURAL BEAM ON BACK PORCH</u> <u>② REPLACE FIRST FLOOR HANDRAILS/GUARDRAILS</u>		
Contractor's name, address & telephone: Who should we contact when the permit is ready: <u>MARK ORLANDO</u> Mailing address: _____ Phone: <u>653-3460</u> <u>653-3460</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>7/20/07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



Permitting By Appointment

As part of Portland's city-wide effort to improve customer service and help streamline doing business within the City, the Inspections Division has developed a new permitting system for qualified properties and for specific construction projects. Under this new program, you may be eligible to receive a building permit on the day you have a scheduled appointment with Inspection staff.

This permitting program applies only to existing one and two family homes not located within a historic district or shore land zone.

Eligible Projects

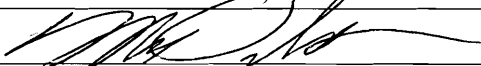
Please submit a complete application with the required plans

- Interior renovations, gut rehabs including structural changes
- Attached and detached garages
- Additions, decks, sheds, pools, dormers (two family addition must be less than 500 s.f.)
- Rebuild of any exterior structure listed above

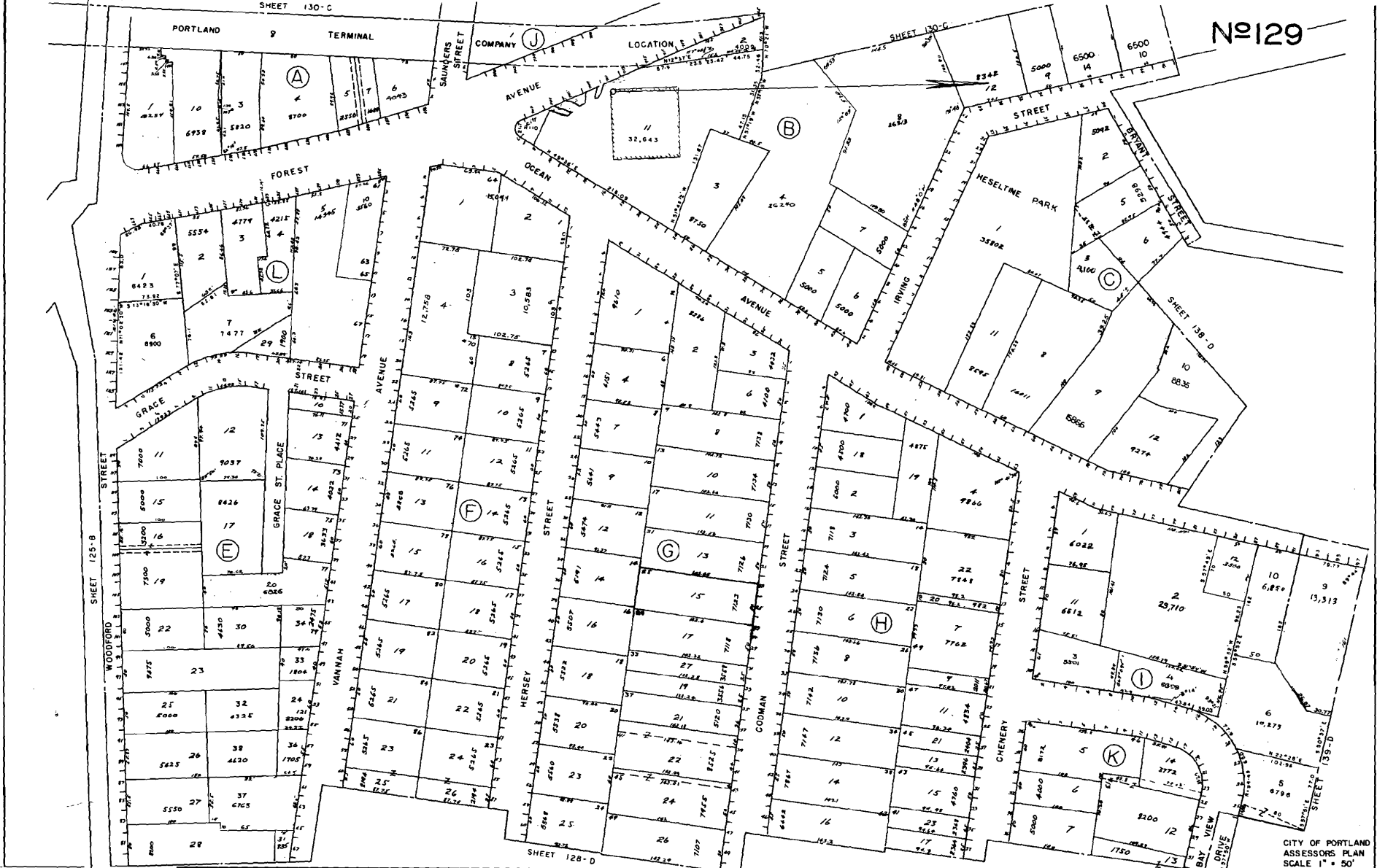
Inspections are still required per City Code of Ordinance.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that this project meets the above criteria and that the work performed will not go beyond these parameters.

Signature of applicant: 	Date: 7/20/07
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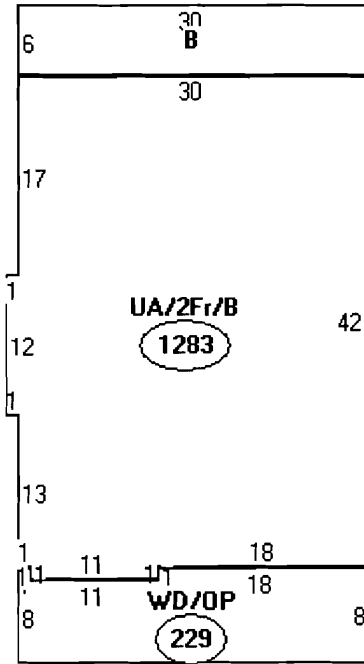
This is not a permit; you may not commence ANY work until the permit is issued.



No 129

CITY OF PORTLAND
 ASSESSOR'S PLAN
 SCALE 1" = 50'

RETRACED FEB 23, 1967 Revised 8/31/06



Descriptor/Area

A: UA/2Fr/B
1283 sqft

B: WD/OP
180 sqft

C: WD/OP
229 sqft

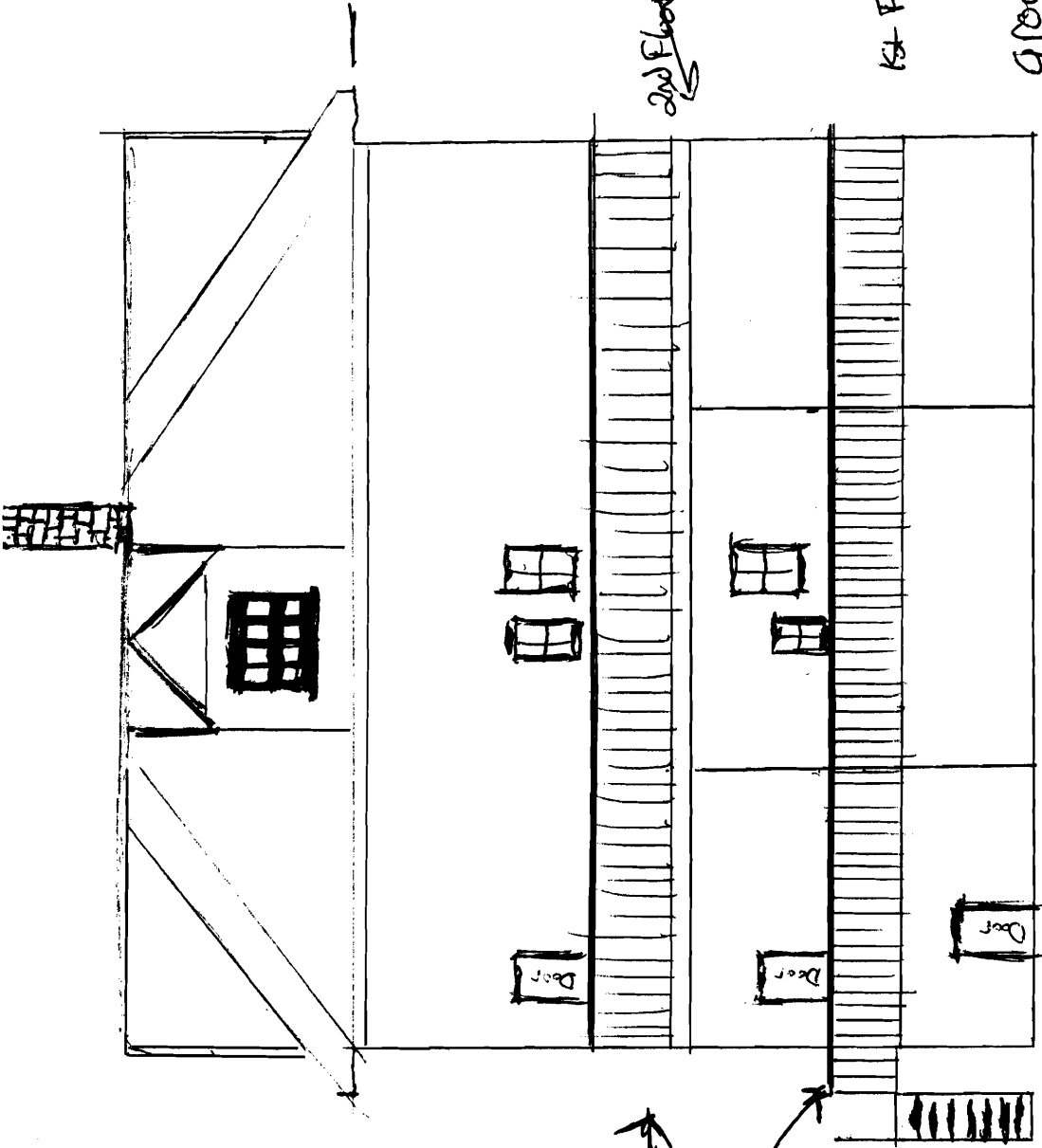
2-2

location of new
LVU carrier
w/ small horizontal

2nd Floor

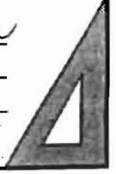
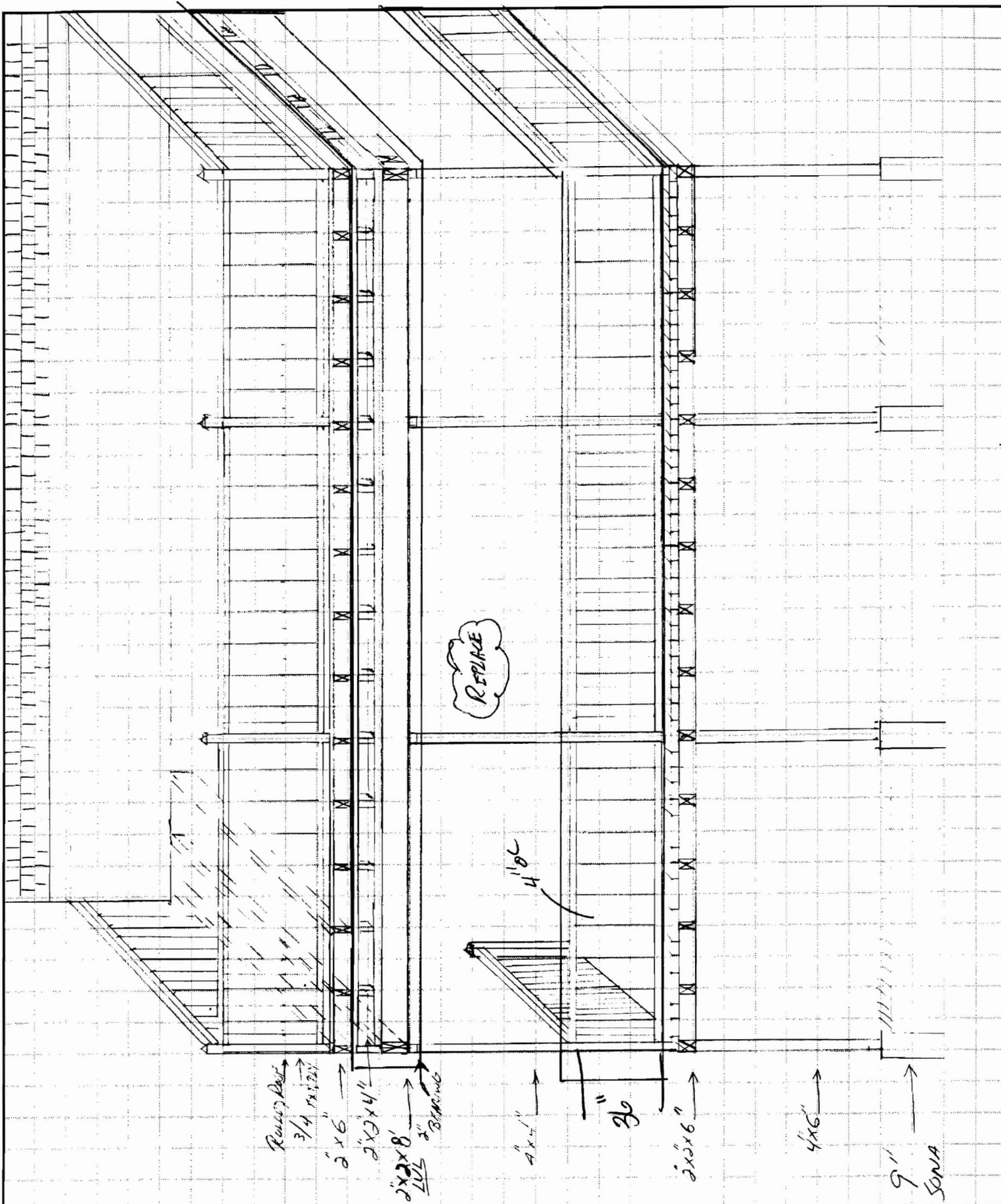
1st Floor

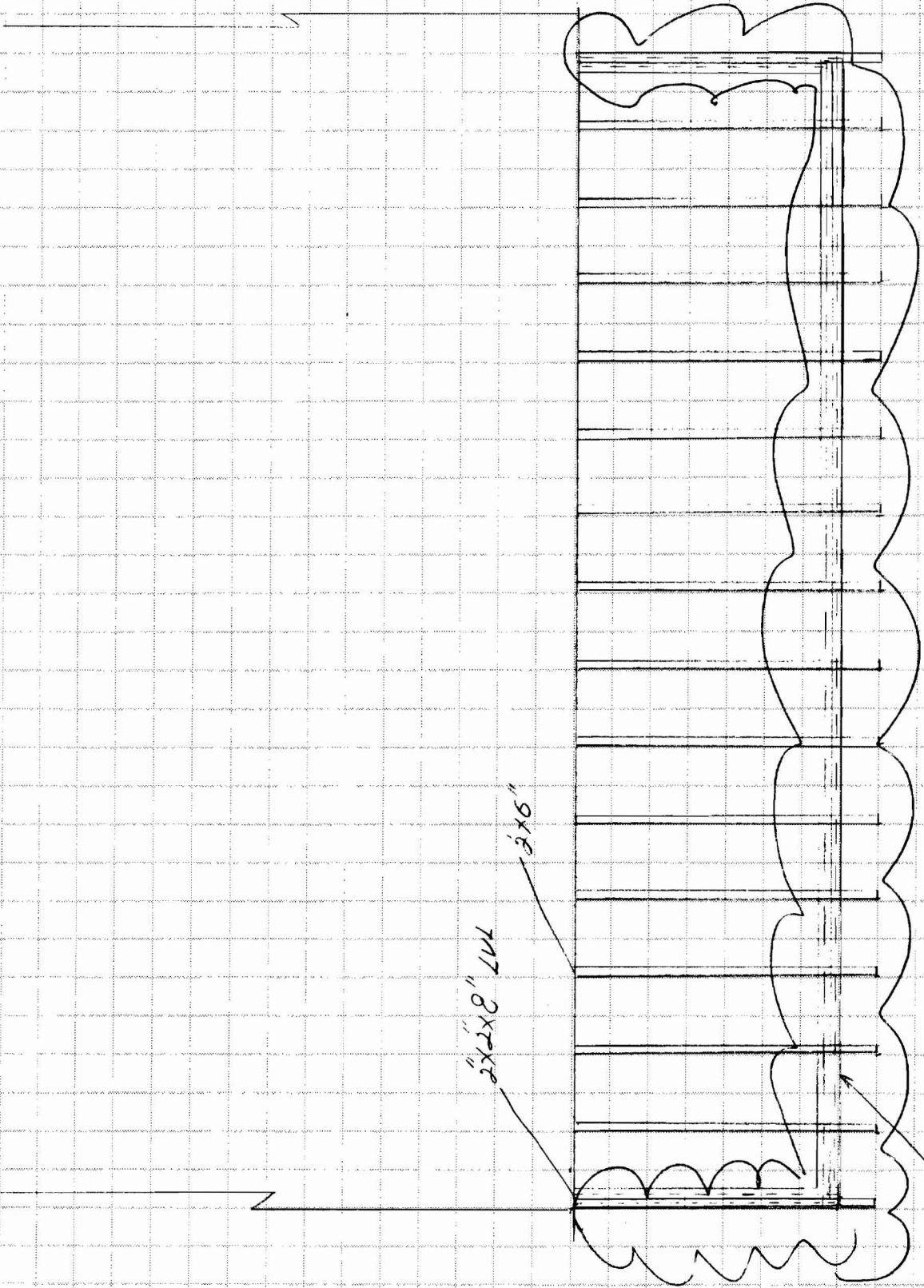
ground level



NEW HANDRAILS
Built to code







1 1/2" x 1 1/2" x 8"

SILVER WIRE 2"x4"





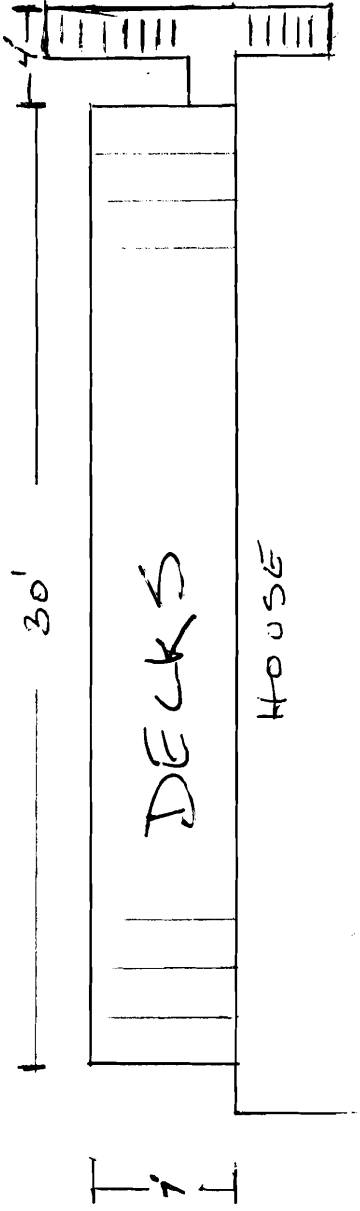
REPLACE



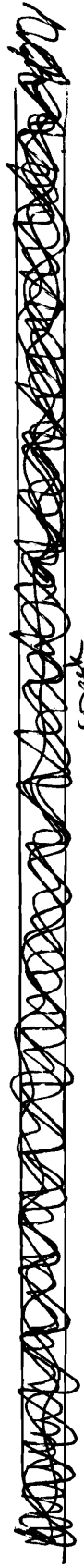
**25 Codman
Porch Repair**
07/20/2007

1st story Rafters are second story joists 2' on center

1-2

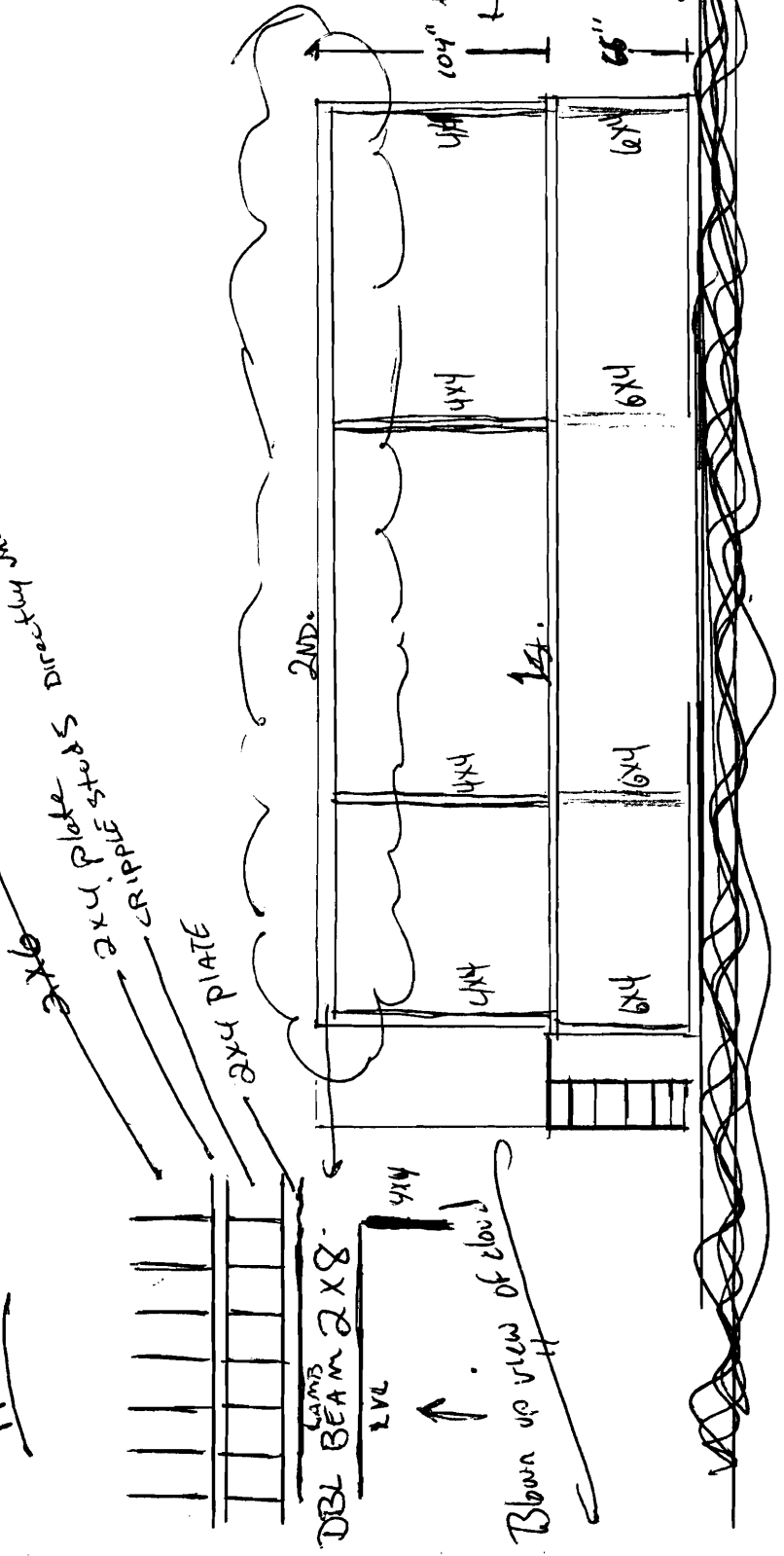


OVERVIEW



Joists and Floor Deck

FRONT VIEW



NEW lamb beam
w/ small (WEG) wall
to act as carrier
for existing joists
24 on center
2nd story

104" to bottom of joists also
top of beam

66" All Posts are existing
connect tubes existing

Blown up view of cloud