Form # P 04	DISPLAY	THIS	CARD	ON	PRINCIPA	L FROM	ITAGE	OF	WORK
Please Read Application Ar Notes, If Any Attached	nd	C	B		ERMI	TION		Nump	PERMIT ISSUED er: 070887 JUL 2 3 2007
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AT _25_CODN	MAN ST						<u>G015001</u>	·	
of the pro the const this depa Apply to F	Public Works for a if nature of wor	ne Statum ntenanc street line	tes of Ñ e and u	ne a of b icatio and v e this d or	nd of the uildings and numinspection with permission to ding or not t	musti procu hereo	of the Ci s, and of A cer procu	ty of the a tificate red by	shall comply with all Portland regulating application on file in of occupancy must be owner before this build- nereof is occupied.
Fire Dept Health Dept Appeal Board	Department Name			TY FO	R REMOVING	THIS CAR		r - Building	a Inspection Services

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389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716 07-0887 129 G015001 Location of Construction: Owner Name: Owner Address: Phone: 25 CODMAN ST ORLANDO MARK G 25 CODMAN ST Phone: Business Name: Contractor Name: Contractor Address: Phone Mark Orlando 25 Codman St. Portland Portland Zone: Lessee/Buyer's Name Phone: Permit Type: Alterations - Commercial Zone: Past Use: Residential 2 unit Proposed Use: Residential 2 unit replace structual beam on back porch Permit Fee: Cost of Work: CEO District: Signature: Yupe: B Proposed Project Description: Signature: Signature: Signature: Signature: Signature: Signature: Date:	City of Portland, Main	e - Building or Use	Permit Applicatio	n Per	mit No:	Issue Date:	CBL:	
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Lesse/Buyer's Name Phone: Permit Type: Alterations - Commercial Zone: Past Use: Residential 2 unit Proposed Use: Residential 2 unit replace structual beam on back porch Permit Fee: Signature: Cost of Work: Signature: CEO District: Alterations - Commercial Proposed Project Description: Replace structual beam on back porch Residential 2 unit replace structual beam on back porch Permit Fee: Signature: Cost of Work: Signature: CEO District: Approved Proposed Project Description: Replace structual beam on back porch Signature: Detect INSPECTION: Signature: Type: SB Signature: Permit Taken By: dmartin Date Applied For: 07/20/2007 Signature: Date: Permit Taken By: dmartin Optication does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Special Zone or Reviews Zoning Approval 1. This permit application does not include plumbing, septic or electrical work. Shoreland Wetland Miscelaneous Does Not Require Review 2. Building permits are void if work is not started within sit (6) months of the date of is started within sit (6) months of the date of is started within sit (6) months of the date of a started bate: Misor' MM Denied Approved Approved wt/Conditions 2. Duilding permits and stop all work Misor' MM Den	Business Name:	Contractor Name	:	Contra	Contractor Address:		Phone	
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	JUL 2	3 2007						
CITY OF DODTLAND			·					
	CITY OF PI	ORTIAND						

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	<u> </u>	DATE	PHONE

City of Portland, Maine - I	Building or Use Permit	Permit No:	Date Applied For:	CBL:			
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716 07-0887 07/20/2007 129 G015001							
Location of Construction:	Owner Name:	Owner Address: Phone:					
25 CODMAN ST	ORLANDO MARK G		25 CODMAN ST				
Business Name:	Contractor Name:	(Contractor Address:	Phone			
	Mark Orlando	1	25 Codman St. Po				
Lessee/Buyer's Name	Phone:	P	ermit Type:				
			Alterations - Commercial				
Proposed Use:		Proposed	Project Description:				
Residential 2 unit replace structu	al beam on back porch	Replac	e structual beam o	n back porch			
Dept: Zoning Statu	s: Approved with Condition	s Reviewer:	Tammy Munson	Approval D	ate: 07/23/2007		
Note: Ok to Issue:					Ok to Issue: 🗹		
1) The work under this permit is only allowed within the existing footprint. No expansion is permitted.							
Dept: Building Statu	s: Approved with Condition	s Reviewer:	Tammy Munson	Approval D	ate: 07/23/2007		
Note:			-		Ok to Issue: 🔽		
 Separate permits are required Separate plans may need to b 		•					
 Permit approved based on the noted on plans. 	 Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans. 						



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any roperty within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 25	CODMANI ST						
Total Square Footage of Proposed Structure	Square Footage of L	ot 7.					
6x30 100 2	7123	近					
Tax Assessor's Chart, Block & Lot	Owner:		Telephone:				
Chart# Block# Lot#	\square		רוטו ארר				
129 6 15	ORLAND		775-1817				
Lessee/Buyer's Name (If Applicable)	Applicant name address & teleph MARK OF 12 NO	one: Co	ost Of				
	MARICOFIZINSO	W	ork: \$ /000-				
	25 COMANSI		¢				
	FondiAND, ME 04	1/D7 F	ee: \$				
· · · · · · · · · · · · · · · · · · ·		-	of O Fee: \$				
Current legal use (i.e. single family)	10 FAMILY		<u></u>				
If vacant, what was the previous use?							
Proposed Specific use:							
Is property part of a subdivision?	If yes, please name						
Design the state of the state o							
BEALTE STANCTURAL BEAM ON BACK, PORCH							
DREPLACE FIRST FLOOR	HARD RAILS/ was	KAILS:	UNDER TION				
·			BUILDING INSPECTION				
Contractor's name, address & telephone:	$1 \sim$		JET CHILD HE T				
	Mone RAND						
Who should we contact when the permit is read	Phone: 6 53-346	J]	UL 2 0 2007				
Mailing address:	(53-3960	1-1					
			FORMED				
			ECEIVED				
1							

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at <u>www.portlandmaine.gov</u>, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant Date:

This is not a permit; you may not commence ANY work until the permit is issued.



Permitting By Appointment

As part of Portland's city-wide effort to improve customer service and help streamline doing business within the City, the Inspections Division has developed a new permitting system for qualified properties and for specific construction projects. Under this new program, you may be eligible to receive a building permit on the day you have a scheduled appointment with Inspection staff.

This permitting program applies only to existing one and two family homes not located within a historic district or shore land zone.

Eligible Projects

Please submit a complete application with the required plans

- D Interior renovations, gut rehabs including structural changes
- □ Attached and detached garages
- Additions decks, sheds, pools, dormers (two family addition must be less than 500 s.f.)
- Rebuild of any exterior structure listed above

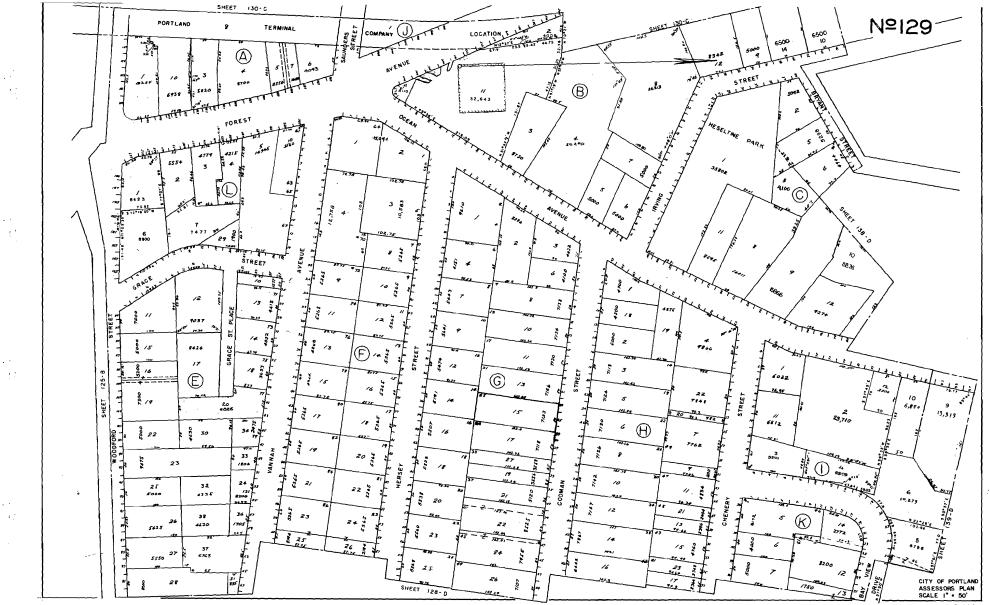
Inspections are still required per City Code of Ordinance.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at <u>www.portlandmaine.gov</u>, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

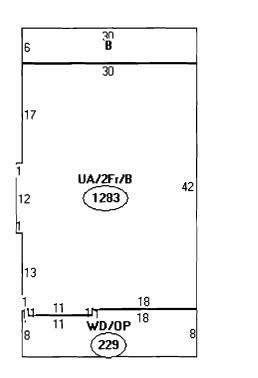
I hereby certify that this project meets the above criteria and that the work performed will not go beyond these parameters.

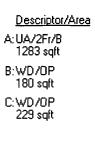
	/ / / /
Signature of applicant:	Date: 7/30/37

This is not a permit; you may not commence ANY work until the permit is issued.

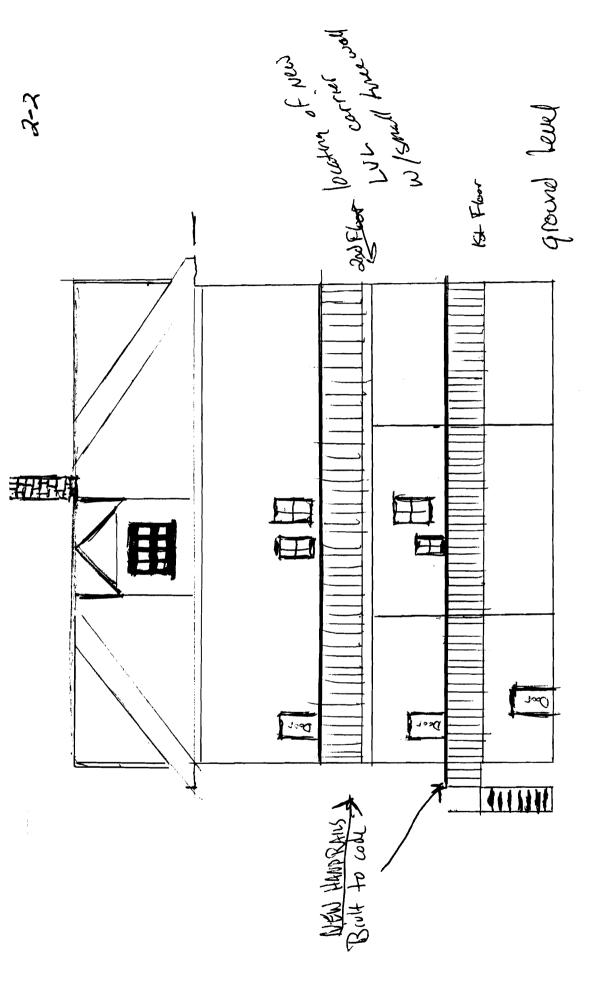


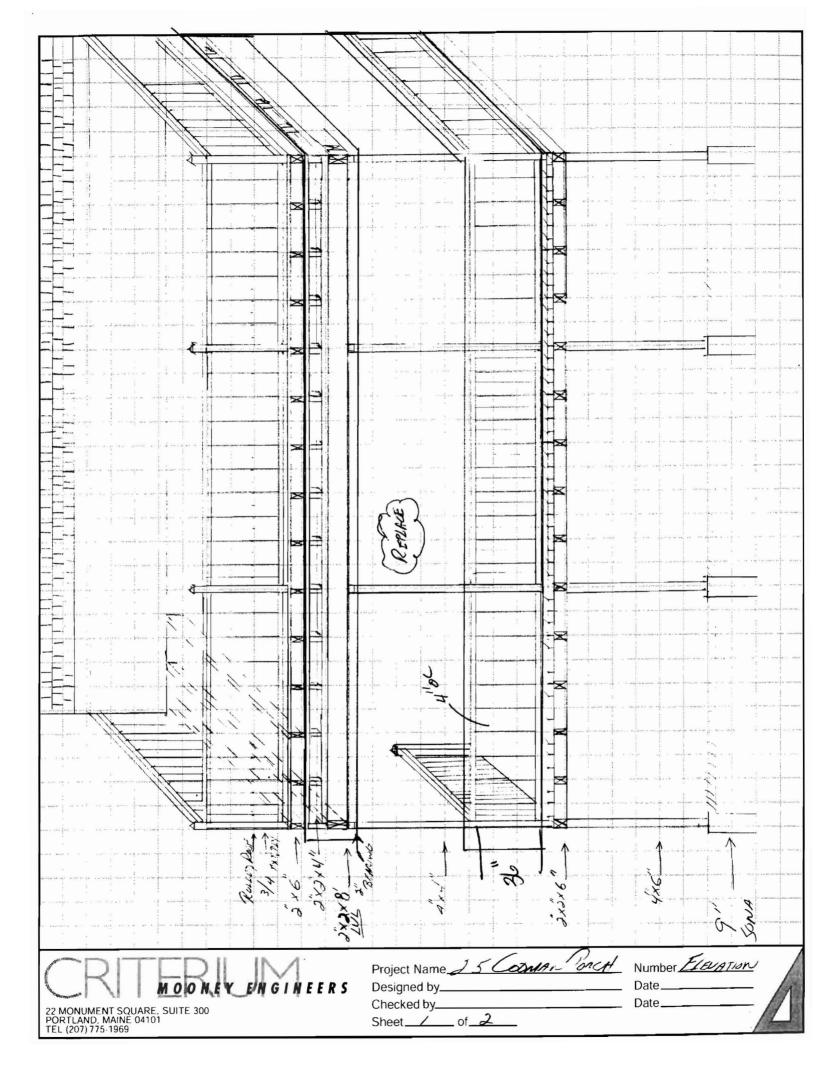
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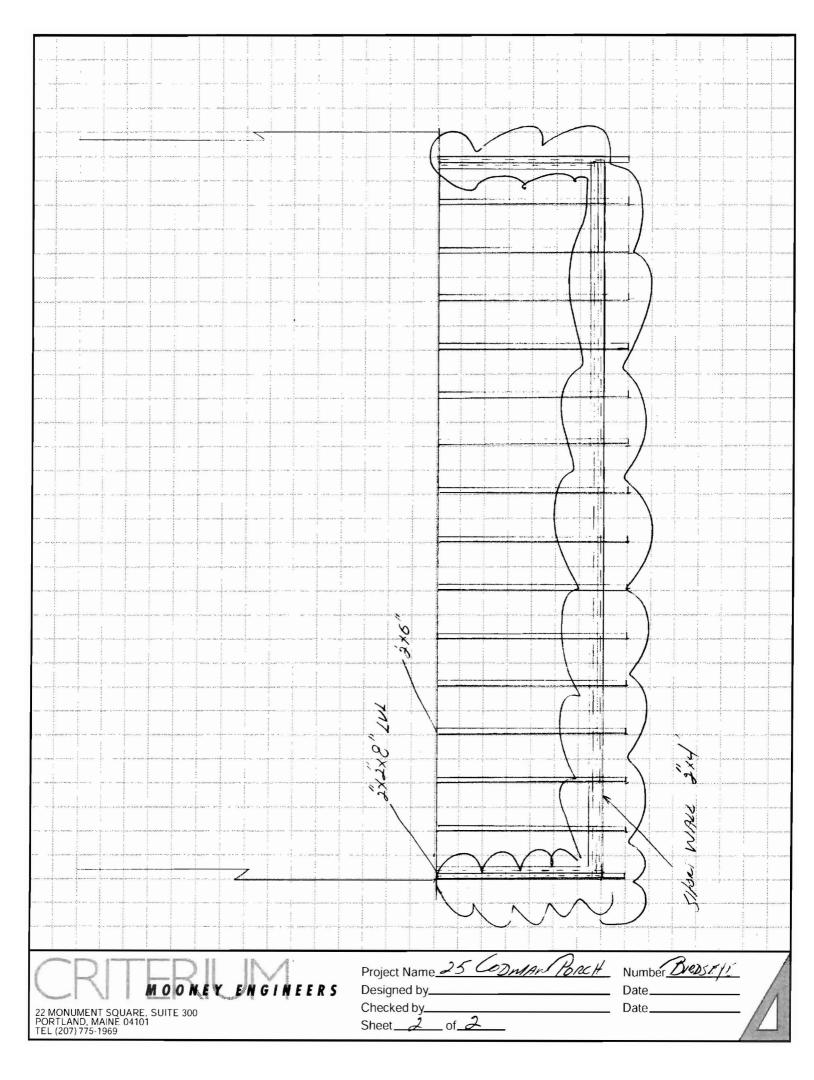




7/12/2007











25 Codmam Porch Repair

07/20/2007

