

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: <b>2011-07-1712-ALTCOMM</b>	Date Applied: <b>7/15/2011</b>	CBL: <b>129 - - G - 011 - 001 - - - - -</b>	
Location of Construction: <b>17 CODMAN ST</b>	Owner Name: <b>CHEUNGLUI YEE</b>	Owner Address: <b>17 CODMAN ST PORTLAND, ME 04103</b>	Phone: <b>207-879-7600</b>
Business Name:	Contractor Name: <b>Therhault, John</b>	Contractor Address: <b>22 Hawthorn ST Portland ME 04103</b>	Phone: <b>(207) 615-1799</b>
Lessee/Buyer's Name:	Phone:	Permit Type: <b>Building</b>	Zone: <b>R-3</b>
Past Use: <b>Three family</b>	Proposed Use: <b>Same – Three family – interior renovations, rebuild back deck (12’5” x 19’) w/landing &amp; stairs, rebuild basement entry, install hot tub with deck (15’5” x 15’5”) &amp; stairs</b>	Cost of Work: <b>130000.00</b>	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	Inspection: Use Group: <b>R-2</b> Type: <b>SB</b> <b>IBC 09</b>
Proposed Project Description: <b>Remodel existing 3 unit apartment, chsnge rear deck, install hot tub with deck</b>		Pedestrian Activities District (P.A.D.)	
Signature:		Signature:	

Permit Taken By:	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p> <p style="font-size: 2em; font-weight: bold; margin-top: 20px;">CLOSED</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/condition</i> <i>4/3/12 ABM</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
	<b>CERTIFICATION</b>		

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application shall have the authority to enter all areas covered by such permit at any reasonable hour

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

1-31-13 GF - BKL \*PRIOR WORK DONE WITHOUT PERMIT & INSPECTIONS

FAIL - FINAL

- OK ① PLUMBING IN KITCHENS NEEDS CORRECTION
- OK ② SMOKE NOT HARDWIRED
- OK ③ HAND RAILS NEED RETURNS (INT. STAIRWELLS)
- OK ④ HAND RAIL MUST BE CONTINUOUS IN WINDING STAIRWELL
- OK ⑤ NEED EXT. GRASPABLE HANDRAIL

2-19-13 GF / BKL - NOT READY RAILS & ELECTRIC NOT FINISHED

2-28-13 GF = OK - FINAL [PASS]  
OK - MOVE IN

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT

This is to certify that CHEUNGLUI YEE

Located At 17 CODMAN ST

Job ID: 2011-07-1712-ALTCOMM

CBL: 129-G-011-001

has permission to Interior & Exterior Renovations

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

**Fire Prevention Officer**

**Code Enforcement Officer / Plan Reviewer**

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

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Acting Director of Planning and Urban Development  
Gregory Mitchell

Job ID: 2011-07-1712-ALTCOMM

Located At: 17 CODMAN ST

CBL: 129- G-011-001

## **Conditions of Approval:**

### **Building**

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
1. Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
2. All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating per Sec. 712 of IBC and R317.3.1.2 of the IRC.
3. As discussed and reviewed, the stair treads shall be constructed per the enclosed detail.

### **Zoning**

1. This permit is being approved on the basis of plans submitted 4/3/12. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval.

7-19-11 Permit is on hold. Emailed Penny.

8-2-11 Met with Penny & Danielle. See letter.

8-5-11 Permit is in Tammy's review area.

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

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Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

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- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Required inspections:

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



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Acting Director of Planning and Urban Development  
Gregory Mitchell

Job ID: 2011-07-1712-ALTCOMM

Located At: 17 CODMAN ST

CBL: 129- G-011-001

## **Conditions of Approval:**

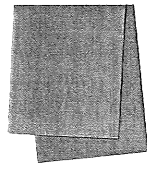
### **Building**

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
3. Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
4. All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating per Sec. 712 of IBC and R317.3.1.2 of the IRC.
5. As discussed and reviewed, the stair treads shall be constructed per the enclosed detail.
6. All work must be in compliance with the Consent Order from the court.

### **Zoning**

1. This permit is being approved on the basis of plans submitted 4/3/12. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval.





1009.4.2 is set aside for spiral stairways conforming to Section 1009.9 (see Exception 3). However, Exception 5 allows a different maximum riser and minimum tread under limited conditions, but retains the minimum riser height and measurement method of Section 1009.4.2.

The requirements for dimensional uniformity are found in Section 1009.4.4.

Exceptions 1 and 2 are for unique elements of vertical egress. Section 1009.4.2 is not applicable to these elements because of their construction issues and limited application. For a discussion on alternating tread devices, see Section 1009.10. For ships ladders, see Section 1009.11.

Exception 3 is for spiral staircases, a unique type of stairway. Section 1009.4.2 is not applicable to this stair type, again because of construction issues and limited applications. For a discussion on spiral staircases, see Section 1009.9.

Exception 4 provides a practical exception where assembly facilities are designed for viewing. See Sections 1028.11 through 1028.11.3 for assembly aisle stair-limiting dimensions.

Exception 5 allows revisions to the 7 inches/11 inches (178 mm/279 mm) riser/tread requirements for Group R-3 and any associated utility (such as barns, connected garages or detached garages) and within individual units of Group R-2 and their associated utility areas (such as attached garages). This change is allowed because of the low occupant load and the high degree of occupant familiarity with the stairways. When this exception is taken for stairways that have solid risers, each tread is required to have a nosing projection with a minimum dimension of 3/4 inch (19.1 mm) and maximum dimension of 1 1/4 inches (32 mm) where the tread depth is less than 11 inches (279 mm). Nosing projections are created where the nosing of the tread above extends beyond the trailing edge of the tread below or when a solid riser is angled under the tread above and connected to the trailing edge of the

tread below. Nosing projections are not required for residential stairs with open risers and 10-inch (254 mm) treads. A nosing projection provides a greater stepping surface for those ascending the stairway. For users descending the stairway, the nosing projection allows the toe of the foot to be placed further away from the riser above, providing the necessary clearance for the heel of the foot as it swings down in an arc to its position on the tread [see Figure 1009.4.3].

Exception 6 allows for the replacement of an existing stair. Where a change of occupancy would require compliance with current standards, this exception allows a stairway that may be steeper than that permitted, provided it does not constitute a hazard (see Section 3404.1). This language is consistent with that found for existing stairways in the *International Existing Building Code*® (IEBC®).

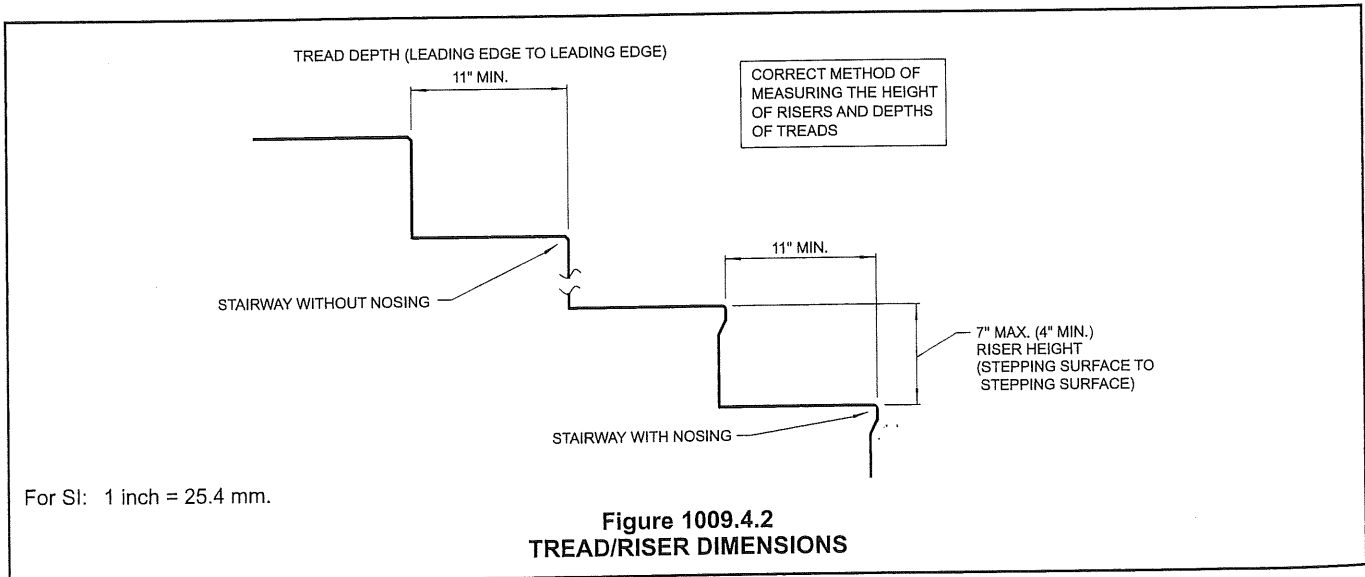
Exception 7 allows steeper stairs in spaces of not more than 250 square feet (23 m<sup>2</sup>) in correctional facilities (Group I-3) with a maximum riser height of 8 inches (203 mm) and a minimum tread depth of 9 inches (229 mm) because of the minimal occupant load and the familiarity of the users with the stairway.

**1009.4.3 Winder treads.** *Winder* treads are not permitted in means of egress stairways except within a dwelling unit.

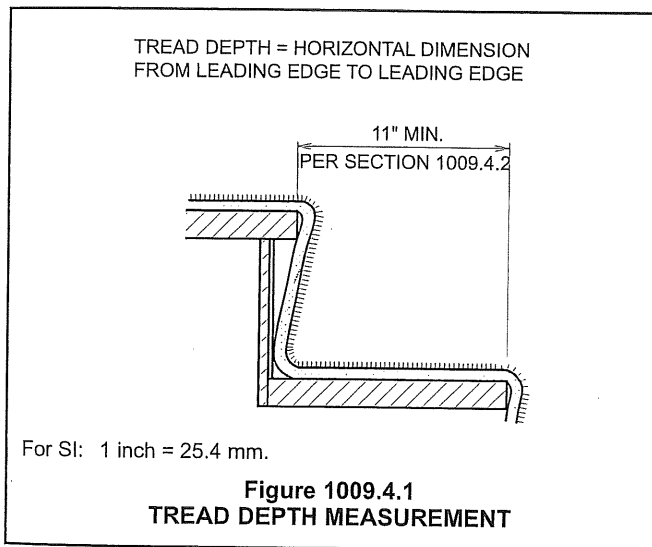
**Exceptions:**

1. Curved stairways in accordance with Section 1009.8.
2. Spiral stairways in accordance with Section 1009.9.

❖ The intent of this section is to coordinate the general provisions for stairway tread and riser dimensions in Section 1009.4.2 with the provisions for winder treads permitted in curved and spiral stairways (see Sections 1009.8 and 1009.9). Winders are permitted in means of egress stairways within dwelling units where occupant loads are smaller and do not block visual clues that prompt the automatic adjustments in the gait of the user as well as increased familiarity. This is typically fan-shaped treads at the turning of an L-shaped



tion due to the removal of nonpermanent carpeting throughout the life of a structure and provides a standard enforcement methodology that will provide consistency across the build environment for all users. When owners or occupants add carpeting, rugs or runners, they need to add it to all tread and landing surfaces in the stairway. It is important that the tread and landing surfaces are consistent and comply with the code prior to the addition of carpet. This methodology of enforcement makes it unnecessary to reconstruct floor and stair elevations in the stairway when nonpermanent carpet surfaces are changed that do not require a building permit and eliminates the resulting variations in the built environment that will not comply with the tolerance in Section 1009.4.4 (see Figure 1009.4.1).



**1009.4.2 Riser height and tread depth.** *Stair* riser heights shall be 7 inches (178 mm) maximum and 4 inches (102 mm) minimum. The riser height shall be measured vertically between the leading edges of adjacent treads. Rectangular tread depths shall be 11 inches (279 mm) minimum measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. *Winder* treads shall have a minimum tread depth of 11 inches (279 mm) measured between the vertical planes of the foremost projection of adjacent treads at the intersections with the walkline and a minimum tread depth of 10 inches (254 mm) within the clear width of the *stair*.

**Exceptions:**

1. *Alternating tread devices* in accordance with Section 1009.10.
2. Ship ladders in accordance with Section 1009.11.
3. *Spiral stairways* in accordance with Section 1009.9.
4. *Aisle stairs* in assembly seating areas where the *stair* pitch or slope is set, for sightline reasons, by the slope of the adjacent seating area in accordance with Section 1028.11.2.

5. In Group R-3 occupancies; within dwelling units in Group R-2 occupancies; and in Group U occupancies that are accessory to a Group R-3 occupancy or accessory to individual dwelling units in Group R-2 occupancies; the maximum riser height shall be  $7\frac{3}{4}$  inches (197 mm); the minimum tread depth shall be 10 inches (254 mm); the minimum *winder* tread depth at the walkline shall be 10 inches (254 mm); and the minimum *winder* tread depth shall be 6 inches (152 mm). A *nosing* not less than  $\frac{3}{4}$  inch (19.1 mm) but not more than  $1\frac{1}{4}$  inches (32 mm) shall be provided on *stairways* with solid risers where the tread depth is less than 11 inches (279 mm).
6. See Section 3404.1 for the replacement of existing *stairways*.
7. In Group I-3 facilities, *stairways* providing access to guard towers, observation stations and control rooms, not more than 250 square feet (23 m<sup>2</sup>) in area, shall be permitted to have a maximum riser height of 8 inches (203 mm) and a minimum tread depth of 9 inches (229 mm).

❖ The riser height—the vertical dimension from tread surface to tread surface or tread surface to landing surface—is typically limited to no more than 7 inches (178 mm) nor less than 4 inches (102 mm). The minimum tread depth—the horizontal distance from the leading edge (nosing) of one tread to the leading edge (nosing) of the next adjacent tread or landing—is typically limited to no less than 11 inches (279 mm) [see Figure 1009.4.2]. The minimum tread depth of 11 inches (279 mm) is intended to accommodate the largest shoe size found in 95 percent of the adult population, allowing for an appropriate overhang of the foot beyond the tread nosing while descending a stairway. Tread depths under 11 inches (279 mm) could cause a larger overhang (depending on the size of the foot) and could force users with larger feet to descend a stairway increasing the angle of their foot to the line of travel. Based on the probability of adequate foot placement, the rate of misstep with various step sizes and consideration for the user's comfort and energy expenditure, it was agreed that the 11-inch (279 mm) minimum tread depth and maximum 7-inch (178 mm) riser height resulted in the reasonable proportion of riser height and tread depth for stairway construction. A minimum riser height of 4 inches (102 mm) is considered to allow the visual identification of the presence of the riser in ascent or descent.

The precise location of rectangular tread depth and riser measurements is to be perpendicular to the tread's nosing or leading edge. This is to duplicate the user's anticipated foot placement in traveling the stairway.

The size for a winder tread is also considered for proper foot placement along the walkline [see Figure 1009.8 and the commentary for Section 1009.3]. The dimensional requirements are consistent with the straight tread.

The exceptions apply only to the extent of the text of each exception. For example, the entire text of Section



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

7-15 20 11

Received from

Bac Bo

Location of Work

17 Colman

Cost of Construction

\$ \_\_\_\_\_

Building Fee:

1320

Permit Fee

\$ \_\_\_\_\_

Site Fee:

100

Certificate of Occupancy Fee: \_\_\_\_\_

Total:

1420

Building (IL) \_\_\_\_\_

Plumbing (I5) \_\_\_\_\_

Electrical (I2) \_\_\_\_\_

Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL:

119-5-11

Check #:

11667

Total Collected \$

1420

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by:

*[Signature]*

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy

2011-07-17

XYS ✓



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>17 CONMAN ST., PORTLAND, ME 04103</u>		
Total Square Footage of Proposed Structure/Area <u>3,096</u>	Square Footage of Lot <u>7,130</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>MAP 129</u> Block# <u>Plot 11</u> Lot# <u>6</u> <u>129-6-11</u>	Applicant * <b>must</b> be owner, Lessee or Buyer* Name <u>HOWARD YEE</u> Address <u>120 BAXTER BLVD.</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>(207) 879-7600</u> WORK → CELL <u>(310) 897-3333</u>
Lessee/DBA (If Applicable) <u>BAD BAD INVESTMENTS</u>	Owner (if different from Applicant) Name <u>NA</u> Address _____ City, State & Zip _____	Cost Of Work: \$ <u>130,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>MULTIPLE FAMILY - legal vs 3 dwelling units</u> If vacant, what was the previous use? <u>APARTMENT HOUSE</u> Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name <u>N/A</u> Project description: <u>REMODEL OF EXISTING 3 UNIT APARTMENT HOUSE</u>		
Contractor's name: <u>JOHN THERIAULT</u> Address: <u>22 HAWTHORN ST.</u> City, State & Zip: <u>PORTLAND, ME 04103</u> Telephone: <u>(207) 615-1779</u> Who should we contact when the permit is ready: <u>SAME</u> Telephone: <u>SAME</u> Mailing address: <u>SAME</u>		

11.81.7

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED  
JUL 15 2011  
City of Portland  
Building Inspections

Signature: John Theriault Date: 7/15/11

This is not a permit; you may not commence ANY work until the permit is issue



# PORTLAND MAINE

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*Penny St. Louis - Director of Planning and Urban Development  
Marge Schmuckal, Zoning Administrator*

August 5, 2011

Howard Yee  
120 Baxter Boulevard  
Portland, ME 04101

Re: 120 Baxter Boulevard – 111 B006 – R-5 – Permit #2011-07-1709  
17 Codman Street – 129 G011 – R-3 – Permit #2011-07-1712  
209 Stevens Avenue - 177 I010 – R-5 – Permit #2011-07-1708

Dear Mr. Yee,

Our office is in receipt of your three building permits, one for each property listed above. At this point the permits for 120 Baxter Boulevard and 17 Codman are on hold, and the permit for 209 Stevens Avenue is denied.

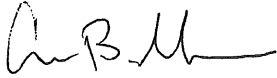
120 Baxter Boulevard, Permit #2011-07-1709

We need the following information for 120 Baxter Boulevard in order to process the permit.

1. a specific list as part of the project description that encompasses the complete scope of work that the permit covers. In other words, we need an exact, detailed list that spells out all the remodeling details that are included as part of the permit application.
2. as part of the removal of the kitchen in the basement level, all the kitchen equipment has to be removed including the sink, refrigerator and any appliances used for cooking. This needs to be indicated on the plan.
3. the area labeled "Artist Studio" in the basement needs to be removed
4. identify all the individuals who are currently residing at the property and indicate on the plan which bedroom each individual occupies.
5. under permit #10-1233 which was applied for last year and has expired, you proposed to put a roof over the existing entry stairs on the left side of the building. Are you still planning to build the roof, and if so, is it part of this permit application?

fail to do so, our decision is binding and no longer subject to appeal. If you decide to file an appeal you may contact our office for the necessary paper work.

Yours truly,

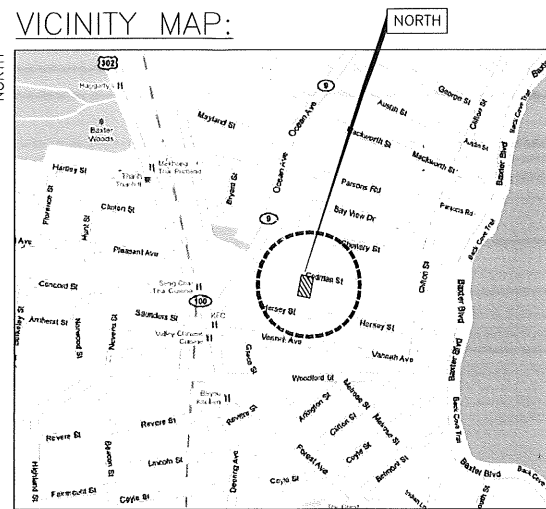
A handwritten signature in black ink, appearing to read 'Ann B. Machado', with a long horizontal flourish extending to the right.

Ann B. Machado  
Zoning Specialist  
207-874-8709

Cc. Penny St Louis, Director of Planning and Development  
Tammy Munson, Director of Inspections Division  
file

# A REMODEL OF EXISTING: MAN STREET APARTMENTS FOR AO BAO INVESTMENTS, INC.

A-1.0  
Treads @ 10 3/4" - A.S  
Need 11" → Shows 11" + 7/8" w/prosiding  
Halls - common areas  
1 hour?  
Hot tub stairs - 11"



- LEGEND:**
- ☐ CO CARBON MONOXIDE DETECTOR CEILING / WALL LOCATION (SEE FLOOR PLANS)
  - ⊙ S.D. SMOKE DETECTOR CEILING LOCATION CEILING / WALL LOCATION (SEE FLOOR PLANS)
  - ⊙ EXHAUST FAN VENTED TO OUTSIDE
  - ⊠ ILLUMINATED EMERGENCY EXIT SIGN WITH WAYFINDING LIGHTS
  - ▬ INTERIOR WALL CONSTRUCTION 2X4 WOOD STUD @ 16" O.C. WITH 1/2" GWS EA SIDE. PATCH AND PAINT TO MATCH ADJACENT EXISTING CONDITION TO REMAIN
  - ▬ EXTERIOR WALL CONSTRUCTION 2X6 WOOD STUD FRAMING @ 16" O.C. WITH 1/2" INT GWS & 3/8" EXT WOOD SHEATHING, MOISTURE BARRIER & SIDING TO MATCH EXISTING
  - ▬ EXISTING WALL TO REMAIN
  - ▬ EXISTING WALL TO BE DEMOLISHED
  - ⊠ MEANS OF EGRESS #1
  - ⊠ MEANS OF EGRESS #2
  - ⊙ ELEVATION TAG
  - ⊙ SECTION TAG (MIRRORED TAG AT END OF SECTION)
  - ⊙ SECTION DETAIL TAG
  - ⊙ VERTICAL ELEVATION HEIGHT MARKER

- DETAILED GENERAL NOTES:**
- DETAILED SCOPE AS REQUIRED BY CITY OF PORTLAND, MAINE'S PLANNING AND URBAN DEVELOPMENT DEPARTMENT ZONING SPECIALIST MS. ANN MACHADO IN HER LETTER, DATED AUGUST 5, 2011 ADDRESSED TO THE PROJECT OWNER AND CLIENT HOWARD (A.K.A. CHENGLU) YEE, RESIDING AT 120 BAXTER BOULEVARD, PORTLAND, MAINE 04101. THIS IS A REMODEL OF AN EXISTING APARTMENT HOUSE, ALL NEW FIXTURES, FURNISHINGS, CASEWORK, HARD FLOOR FINISHES, CASEWORK AND REPLACEMENT WINDOWS, SOME MINOR WALL REMOVAL AND MINOR WALL INSTALLATION, AND INTERIOR PAINTING. NO CHANGE OF OCCUPANCY USE. QUANTITY OF THREE (3) LIVING UNITS ASSOCIATED WITH PORTLAND'S EXPIRED PREVIOUS BUILDING PERMIT #: 100317 ISSUED MAY 5, 2010 AND SIGNED BY BOTH THE CITY OF PORTLAND, MAINE'S FIRE DEPARTMENT CAPTAIN AND CITY OF PORTLAND DIRECTOR OF BUILDING AND INSPECTION SERVICES.
  - REMOVE ALL EXISTING AND REPLACE AS REQUIRED (UNLESS OTHERWISE NOTED):
    - WINDOWS, EXCEPT UPPERMOST FLOOR, WITH ELLISON SERIES 1300 VINYL CLAD DOUBLE HUNG NFRC CERTIFIED UNITS WITH INSULATED ENERGY STAR RATED UNITS, WITH LOW-E, ARGON FILLED UNITS WITH A VISIBLE TRANSMITTANCE FACTOR OF 0.49, U-FACTOR OF 0.32, AND SOLAR HEAT GAIN COEFFICIENT OF 0.29 GLAZING. EXTERIOR 5/8" VINYL APPLIED MUNTINS.
    - DOORS WITH EXTERIOR METAL CLAD INSULATED BY TIMELY MANUFACTURING OF LOS ANGELES, CALIFORNIA, WITH INTERTEX'S WARLOCK HERSHEY 1-1/2 HOUR FIRE RESISTANCE RATING. INTERIOR DOORS ARE 1-3/8" THICK, 6"-8" TALL SOLID POPLAR WOOD STILE & RAIL UNITS AND CERTIFIED UNITS. ALL DOORS AND DOOR FRAMES LOCATED IN FIRE RATED WALL ASSEMBLIES (AS SHOWN ON PLAN) ARE TO BE MANUFACTURED BY JELD-WEN, INC. WITH INTERTEX'S WARLOCK HERSHEY 90 MIN FIRE RESISTANCE RATING OF 90 MINUTES, GRADE B DOOR, WHICH MEETS UL 10B OR UL 10C/ NFPA 252 RATING STANDARDS, WITH THREE SPRING-LOADED, SELF-CLOSING ACTION HINGES.
    - KITCHEN CABINETS ARE STOCK WOOD PREFABRICATED UNITS MANUFACTURED BY AMERICAN WOODMARK CORPORATION, WITH KITCHEN CABINET MANUFACTURER'S ASSOCIATION (KCA) CERTIFICATION, MEETING ANSI/KCMA A161.1-2000 STANDARDS THAT ARE ALSO ENVIRONMENTAL STEWARDSHIP PROGRAM ESP 01-06 KCMA CERTIFIED. LAYOUT DESIGNED ON SEPTEMBER 24, 2009, SUPPLIED AND INSTALLED BY HOME DEPOT.
    - COUNTER TOPS WITH DARK CUSTOM CUT SOLID MARBLE SLABS
    - PLUMBING FIXTURES WITH KOHLER MANUFACTURES UNITS
    - APPLIANCES WITH U.L. LISTINGS LABELS CONSPICUOUSLY DISPLAYED, BY MANUFACTURERS OF EITHER OR COMBINATION OF GENERAL ELECTRIC, LG, INCORPORATED, NUTONE, OR INSINKERATOR. ALL APPLIANCES TO HAVE STAINLESS STEEL EXTERIOR FINISH WITH BLACK ACCENTS.
    - KITCHEN AND BATHROOM FLOOR FINISHES ARE EITHER CERAMIC OR STONE TILE.
  - PATCH AND PAINT ALL WALLS AND CEILINGS WITH ONE COAT PRIMER AND TWO COATS OF LATEX PAINT
  - REMOVE ALL NON-FUNCTIONAL, BROKEN, NON-CODE COMPLIANT AND UNSAFE ELECTRICAL ITEMS AND REPLACE AS NEEDED (INCLUDING BUT NOT EXCLUSIVELY):
    - LIGHT FIXTURES MEETING U.L. LISTING CERTIFICATION
    - ELECTRICAL PANELS AND SUB-PANELS MANUFACTURED BY SIEMEN'S OR SQUARE D AND HAVE A U.L. LISTED CERTIFICATION LABEL CONSPICUOUSLY DISPLAYED.
    - WALL OUTLETS MEETING U.L. LISTING CERTIFICATION
    - WALL SWITCHES MEETING U.L. LISTING CERTIFICATION
  - REMOVE ALL EXISTING SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS.
  - INSTALL NFPA COMPLIANT, U.L. LISTED PHOTO-EYE SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS, AND EMERGENCY EXIT LIGHTING WITH DUAL POWERED HARDWIRED AC / BATTERY BACKUP UNITS, ALL WIRED WITH INTERCONNECTING ALARMS TO EACH LEVEL AS INDICATED ON DRAWINGS PER CITY OF PORTLAND MAINE'S FIRE SAFETY ORDINANCE.
  - REMOVE ALL INTERIOR WALL BOARD WITH, OR SUSPICION OF, MOLD, MILDEW, OR MOISTURE DAMAGE. REPLACE WITH BLUEBOARD IN TILED AREAS, CEMENTITIOUS BOARD IN WET AREAS, AND MOISTURE RESISTANT GYPSUM WALL BOARD IN ALL REMAINING AREAS.
  - INSTALL FRONTPOINT SECURITY SOLUTIONS ANTI-INTRUSION HOME ALARM SYSTEM TIED BACK TO FRONTPOINTS CENTRAL SYSTEM SERVICED WITH PHONE NUMBER (877) 80-ALARM AND WWW.MYFRONTPOINT.COM.
  - BEDROOMS AND INTERIOR STAIRS TO HAVE NEW CARPET. ALL OTHER LIVING AREAS WITH WOOD FLOORS TO BE REFINISHED.

**APPLICABLE BUILDING CODES:**

- M.U.B.E.C. (MAINE UNIFORM BUILDING (AND) ENERGY CODE.
- MAINE PLUMBING CODE
- N.E.C. NATIONAL ELECTRICAL CODE
- N.F.P.A. 101 LIFE SAFETY CODE

ALL CURRENT VERSIONS UNO

OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-2 APARTMENT HOUSE

CONSTRUCTION: TYPE V B, NON-SPRINKLED  
ALLOWABLE HEIGHT: 40 FEET, 2 STORIES (GRAND FATHERED)  
ALLOWABLE AREA: 7,000 SQUARE FEET

**ABBREVIATIONS:**

AFF	ABOVE FINISHED FLOOR
CLG	CEILING
C	CENTERLINE
CONC	CONCRETE
DIA.	DIAMETER
DN	DOWN
EQ	EQUAL
EXT	EXTERIOR
G.C.	GENERAL CONTRACTOR
GWS	GYPSUM WALLBOARD
HTR	HEATER
INT	INTERIOR
ITI	INSIDE TO INSIDE (DIMENSION)
KD	KILN DRIED (WOOD)
MAX	MAXIMUM
MDO	MEDIUM DENSITY OVERLAY (PANEL)
MHT	(APPARENT) MEAN HIGH TIDE
NFRC	NATIONAL FENESTRATION RATING COUNCIL
OD	OUT DIAMETER
O.T.O.	OUT TO OUT (DIMENSION)
PCDD	POST CURRENT OWNER DEVELOPMENT
P	PROPERTY LINE
PT	PRESSURE TREATED (WOOD)
REF	REFRIGERATOR
ROW	RIGHT OF WAY
T.O.	TOP OF
UNO	UNLESS NOTED OTHERWISE
W/	WITH
WD	WOOD
WWF	WELDED WIRE FABRIC
WTR	WATER

**NOTE:**

THE DEMISING WALLS BETWEEN THE UNITS ON CODMAN ARE 1-HOUR FIRE-RATED SEPARATION ASSEMBLIES ON THE FIRST THROUGH THIRD LEVELS. THE EXISTING WALLS & CEILING ARE CEMENTITIOUS PLASTER. EXISTING WALLS ARE PLASTERED ON EACH SIDE. THE FLOOR DECKING IS EXISTING 3/4" BOARD WITH EITHER NEW FIRE RESISTANT TILE OR ENGINEERED FIRE-FINISHED WOOD OVER A HOMOSOTE FIRE-RESISTANT UNDERPAYMENT.

ALL CONDITIONS ARE DOCUMENTED AS EXISTING ON DEC 25, 2010 BY PROJECT ARCHITECT OF THAT SAME DATE HIRE AFTER CITY OF PORTLAND'S PLANNING & DEVELOPMENT DEPARTMENT INSPECTIONS DIVISION FIELD INVESTIGATION AND AFTER ACTUAL CONSTRUCTION. PRIOR TO THAT DATE CONDITIONS ARE UNKNOWN BY ARCHITECT WHO ASKED BOTH OWNER AND PORTLAND CEO. NEITHER PARTY GAVE ADDITIONAL INFORMATION TO ARCHITECT TO DOCUMENT IN THIS SET OF DRAWINGS ARE TO THE BEST OF THE ARCHITECT'S LIMITED PAST PROJECT KNOWLEDGE.

- SHEET INDEX:**
- G-0.0 COVER SHEET
  - C-0.1 SITE PLAN
  - D-1.0 BASEMENT AND FIRST FLOOR DEMO PLANS
  - D-1.1 SECOND FLOOR DEMO PLAN
  - A-1.0 BASEMENT AND FIRST FLOOR PLANS
  - A-1.1 SECOND AND THIRD FLOOR PLANS
  - A-5.0 SOUTH DECK FRAMING DETAILS
  - A-5.1 HOT TUB DECK PLANS, ELEVATIONS, AND DETAILS
  - A-6.0 DOOR AND WINDOW TYPES AND SCHEDULES

Sheet Notes

- SEE GENERAL NOTES ON COVER SHEET.
- ALL PCDD WAS DONE WITHOUT A BLDG. PERMIT AND IS DOCUMENTED IN THIS SET RETROACTIVELY FOR CITY CEO.
- ALL WORK PREVIOUSLY DONE (WITHOUT BUILDING PERMIT) AFTER CURRENT OWNER IS SHOWN AS NEW WORK EVEN IF IT CURRENTLY EXISTS, PER PORTLAND CODE ENFORCEMENT OFFICE.

No.	Revision / Issue	Date

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**AN APARTMENT RENOVATION FOR:**  
**CODMAN ST. APARTMENTS**  
17 CODMAN STREET  
PORTLAND, ME 04103

**REVISIONS:**

- ▲ AUGUST 31, 2011
- ▲ JUNE 7, 2012

**Issued:** JULY 15, 2011

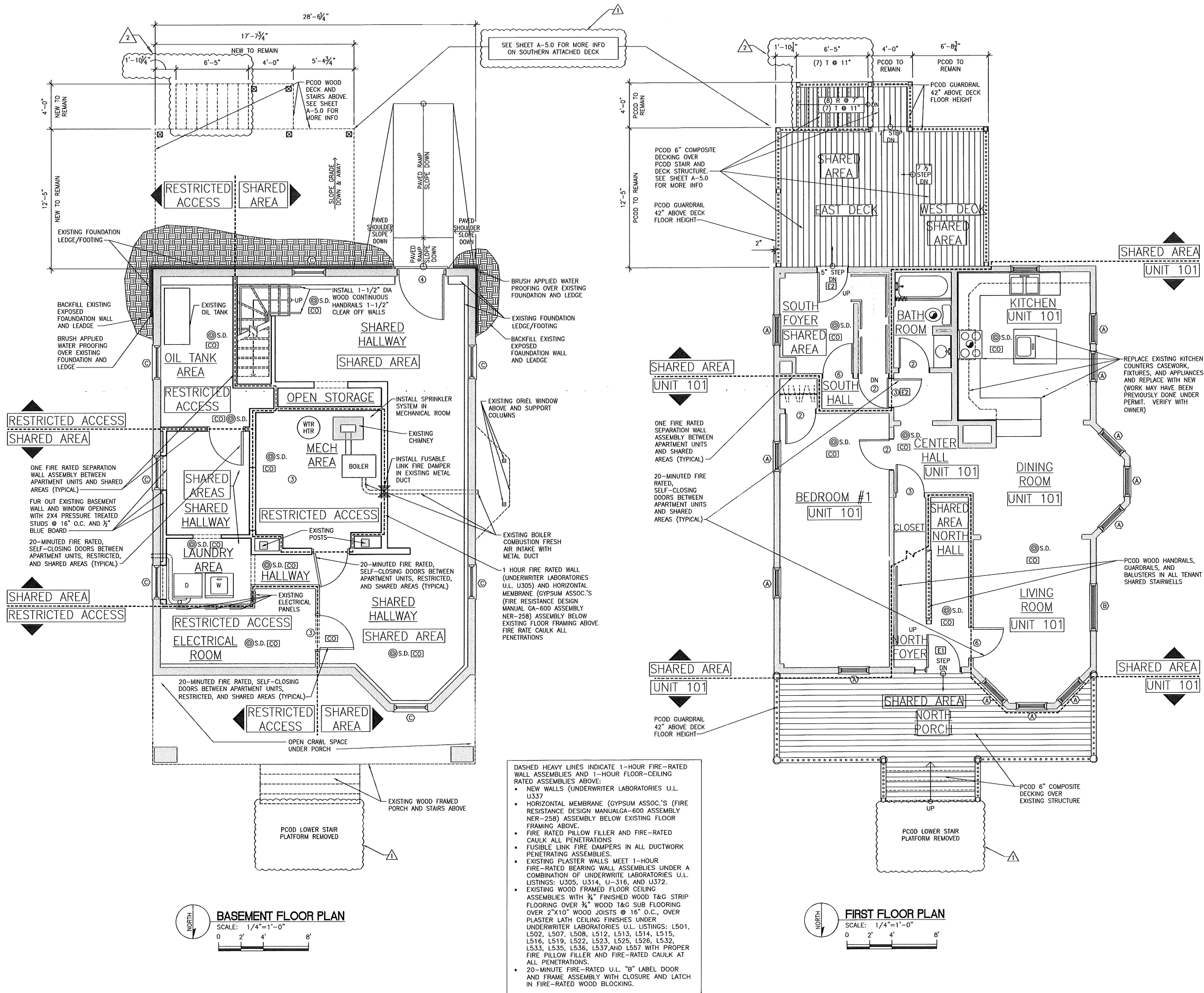
**Scale:** AS NOTED 0 1/2" = 1"

**Drawn By:** MA & SPR

**Reviewed By:**

GENERAL COVER

# G-0.0



**BASEMENT FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

DASHED HEAVY LINES INDICATE 1-HOUR FIRE-RATED WALL ASSEMBLIES AND 1-HOUR FLOOR-CEILING RATED ASSEMBLIES ABOVE:

- NEW WALLS (UNDERWRITER LABORATORIES U.L. U337)
- HORIZONTAL MEMBRANE (GYPSUM ASSOC.'S (FIRE RESISTANCE DESIGN MANUAL GA-600 ASSEMBLY NER-258) ASSEMBLY BELOW EXISTING FLOOR FRAMING ABOVE.
- FIRE RATED PILLOW FILLER AND FIRE-RATED CAULK ALL PENETRATIONS
- FUSIBLE LINK FIRE DAMPERS IN ALL DUCTWORK PENETRATING ASSEMBLIES.
- EXISTING PLASTER WALLS MEET 1-HOUR FIRE-RATED BEARING WALL ASSEMBLIES UNDER A COMBINATION OF UNDERWRITER LABORATORIES U.L. LISTINGS: U305, U314, U-316, AND U372.
- EXISTING WOOD FRAMED FLOOR CEILING ASSEMBLIES WITH 3/4" FINISHED WOOD T&G STRIP FLOORING OVER 3/4" WOOD T&G SUB FLOORING OVER 2"x10" WOOD JOISTS @ 16" O.C., OVER PLASTER LATH CEILING FINISHES UNDER UNDERWRITER LABORATORIES U.L. LISTINGS: L501, L502, L507, L508, L512, L513, L514, L515, L516, L519, L522, L523, L525, L526, L532, L533, L535, L536, L537, AND L557 WITH PROPER FIRE PILLOW FILLER AND FIRE-RATED CAULK AT ALL PENETRATIONS.
- 20-MINUTE FIRE-RATED U.L. "B" LABEL DOOR AND FRAME ASSEMBLY WITH CLOSURE AND LATCH IN FIRE-RATED WOOD BLOCKING.

Sheet Notes

- SEE GENERAL NOTES ON COVER SHEET.
- ALL PCOD WAS DONE WITHOUT A BLDG. PERMIT AND IS DOCUMENTED IN THIS SET RETROACTIVELY FOR CITY CEO.
- ALL WORK PREVIOUSLY DONE (WITHOUT BUILDING PERMIT) AFTER CURRENT OWNER IS SHOWN AS NEW WORK EVEN IF IT CURRENTLY EXISTS, PER PORTLAND CODE ENFORCEMENT OFFICE.
- SEE SITE PLAN FOR DECK, PORCH AND STAIR LOCATION DIMENSIONS

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Drawn By: MA & SPR  
Reviewed By:  
BASEMENT & FIRST FLOOR PLANS  
**A-1.0**



**SHEET / KEY (OVALED) NOTES:**

- SEE ARCHITECTURAL SITE PLAN FOR LOCATION OF HOT TUB DECK.
- G.C. TO FIELD VERIFY DIMENSIONS OF HOT TUB EXTERIOR LIMITS.
- ALL STRUCTURAL COLUMNS AND BRACES WILL BE ATTACHED WITH THROUGH BOLTED WITH GRADE 5 GALVANIZED W/ 3/8" 24 PITCH THREADED ROD, FLAT RING WASHERS AND NYLON INSERT LOCKWASHERS TO STRUCTURE.
- ALL THREADED ROD CONNECTIONS WILL HAVE NUTS AND WASHERS RECESSED MINIMALLY INTO STRUCTURAL MEMBER TO ALLOW ONE EXPOSED THREAD AND SET FLUSH TO OUTSIDE FACE OF STRUCTURAL ELEMENT MEMBER.
- ALL JOISTS AND HEADERS WILL BE CONNECTED WITH SIMPSON STRONG-TIE Z-MAX COATED CONNECTORS AND GALVANIZED ED COMMON RING SHANKED BOX HEADED NAILS WITH PALM NAILERS AND/OR HAMMER (NO NAIL GUNS - PNEUMATIC, ELECTRIC, NOR CARTRIDGE LOAD) INTO EACH HOLE OF EACH CONNECTOR.
- NO NOTCHING OF STRUCTURAL WOOD MEMBERS, NOR LAG BOLTS ALLOWED. ALL COLUMNS AND POSTS WILL BE A SINGLE CUT MEMBER WITH NO SPLICE, SCARF, OR SISTERING FROM PIER TO HAND OR GUARDRAIL.
- ALL COLUMNS AND POSTS ARE KD (NOT PT) FOR PAINTING PURPOSES. ALL COLUMNS WILL HAVE A SIMPSON STRONG-TIE® STANDOFF BASE CP56 FOR MOISTURE PROTECTION. ALL COLUMNS AND POSTS CONNECTED WITH GALVANIZED, 1/2" DIA. X 1-3/4" LONG THREADED ROD THROUGH STANDOFF BASE WITH 2-1/2" INTO PRE-CAST CONCRETE PIER AND 10" INTO KD POST OR COLUMN FOR STRUCTURAL INTEGRITY. STANDOFF BASE MAY NOT BE SUBSTITUTED NOR ELIMINATED.
- NO KD OR AIR-DRIED WOOD MEMBER WILL BE WITHIN 1-1/4" OF ANY CONCRETE OR 4" FROM GRADE.
- ALL STAIR CARRIAGES WILL BE FASTENED TO DECK SPANDREL JOISTS WITH SIMPSON STRONG-TIE LSC. Z-MAX COATED ADJUSTABLE STRINGER (CARRIAGE) CONNECTOR, FLOOR DECKING TO BE CORRECT DECK® SYSTEM USING SYSTEM'S "FASTENATOR" (TM) HIDDEN SPACER/FASTENERS. EXPOSED EDGE DECKING TO HAVE BULL-NOSED ("STARTER" STYLE) AND FASTENED WITH PRE-PILOTTED HOLES, FOR 6 X 1-1/2" FLAT, TAPERED HEAD, #1 SQUARE BIT, BOAT SILICON BRONZE SCREWS (WWW.MCFEELY.COM (800)443-7937) @ 12" O.C. MAX. DECKING COLOR TO BE OWNER APPROVED BEST MATCH TO SOUTH HOUSE DECKING.
- GUARDRAILS AND HANDRAILS TO BE CORRECT DECK BULL-NOSED EACH SIDE OF BOARD ("CLASSIC" STYLE) WITH WITH PRE-PILOTTED HOLES, 6 X 1-1/2" FLAT, TAPERED HEAD, #1 SQUARE BIT, BOAT SILICON BRONZE SCREWS (WWW.MCFEELY.COM (800)443-7937) @ 12" O.C. MAX. DECKING COLOR TO BE OWNER APPROVED BEST MATCH TO SOUTH HOUSE DECK RAILING.
- GUARD RAIL POSTS TO BE CAPPED TO MATCH SOUTH HOUSE DECK CAPS.
- ALL EXPOSED POSTS AND COLUMNS TO BE PAINTED TO MATCH SOUTH HOUSE DECK.
- SIDE ACCESS PANELS AND HOT TUB TOP COVER PANELS TO BE FULL HINGE LENGTH STAINLESS STEEL PIANO TYPE HINGES WITH TAMPER RESISTANT HEAD SCREW FASTENERS AND STAINLESS STEEL HASP LATCH FOR PADLOCK BY OWNER.
- SINGLE JOISTS FASTENED EACH END BY SIMPSON JOIST HANGER LUS26, Z-MAX COATED WITH (4)10d GALVANIZED NAILS INTO HEADER AND (4)10d GALVANIZED NAILS INTO JOIST.
- DOUBLE JOISTS FASTENED EACH END BY SIMPSON STRONG-TIE® JOIST HANGER LUS26-2, Z-MAX COATED WITH (4)16d GALVANIZED NAILS INTO HEADER AND (4)16d GALVANIZED NAILS INTO JOIST.
- KD WD TURNED SCULPTURAL GUARDRAIL AND HANDRAIL BALUSTERS, TOP BALUSTER 2 X 4" KD WD RAIL, AND 2 X 4" KD WD RAIL TO MATCH EXISTING APARTMENT HOUSE SOUTH DECK. MAX SPACE BETWEEN THINNEST SECTION OF BALUSTER TO BE 3.9" DIAMETER MAXIMUM SPACED, NOT TO LET A 4" DIAMETER SPHERE TO PASS ANYWHERE THROUGH GUARDRAIL AND STAIR BALUSTERS.
- ALL NON-CONTINUOUS RAILS BETWEEN COLUMNS TO BE FASTENED WITH A KREG® JIG WITH 3 KREG SCREWS AND PLUGS. WWW.KREGTOOL.COM (800) 447-8638.

Sheet Notes

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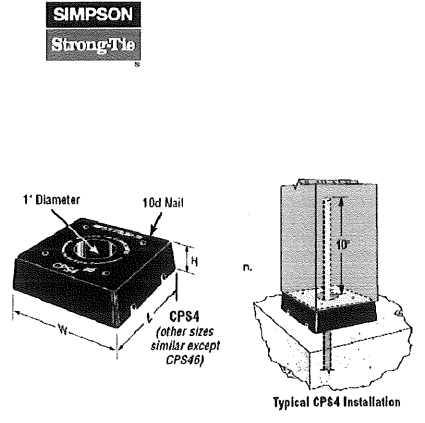
AN APARTMENT RENOVATION FOR:  
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 Reviewed By:

HOT TUB DECK PLAN & DTLS  
**A-5.1**

**STANDOFF BASES**  
 The PBV is a hidden standoff post base. Two different sizes fit a variety of post shapes.  
**MATERIAL:** 14 gauge galvanized steel  
**FINISH:** Textured powder-coated flat black paint or galvanized  
**ORDER:** For powder-coated flat black, order PBV6PC or PBV10PC. For galvanized coating, order PBV6 or PBV10.  
 For fit containing Simpson Strong-Tie® Strong-Drive® screws (SDS), R9B bolt, SET 1, adhesive, and powder-coated PBV, order PBV6KT or PBV10KT.



The CPS is a Composite Plastic Standoff designed for increased concrete surface area.  
**MATERIAL:** Engineered composite plastic  
**INSTALLATION:** PBV and CPS  
**Fast:**  
 • Drill a 1/2" diameter hole, 10" into the center of the post.  
 • Clean out dust. Fill hole halfway with Simpson Strong-Tie® SET Epoxy-Tie® adhesive.  
 • Insert all-thread rod and allow epoxy to set and cure.  
 • Secure standoff to post using four 10d nails except PBV which uses four Simpson Strong-Tie® SDS screws.  
**Concrete:**  
 • Drill a 1/2" diameter hole per anchor design (see footnote 2 below).  
 • Clean out dust. Fill hole halfway with Simpson Strong-Tie® SET Epoxy-Tie® adhesive. Insert post subassembly into hole and allow epoxy to set and cure.  
 • Post bases do not provide adequate resistance to prevent members from rotating about the base and therefore are not recommended for non top-supported installations (such as fences or unbraced carports).  
**CODES:** See page 20 for Code Reference Key Chart.

Model No.	Postor Column Size	Dimensions			Fasteners		Allowable Loads		Code Ref.
		L	W	H	Post	Anchor Bolt	Uplift	Down*	
CP56	6x6	5 3/8"	5 3/8"	11	4-10d	1/2"	4490	7745	170
									13

1. Allowable uplift load capacities are for solid sawn posts with specific gravity of 0.36 minimum except the PBV, which is based on round "Viga" (Ponderosa Pine) wood posts.  
 2. All allowable uplift loads are based on a lowest ultimate load from testing divided by a reduction factor of 4. Concrete anchorage to be designed by others, refer to Simpson Strong-Tie® Anchoring and Fastening Systems for Concrete and Masonry catalog (form C-SAS, see page 212 for details).  
 3. Allowable uplift capacities shall not exceed those shown in the table.  
 4. Downward capacities are calculated based on the standoff bearing area and a concrete strength of 2500 psi except the PBV, which is based on the wood bearing strength (700 psi for Ponderosa Pine).  
 5. Allowable loads may not be increased for short term loading.  
 6. Nails: 10d x 0.148" dia x 3" long.  
 See page 24-25 for other nail sizes and information.

