

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND BUILDING INSPECTION PERMIT

Please Read Application And Notes, If Any, Attached

This is to certify that Yee Cheunglui / Brenden Parker
has permission to Interior renovations, 14' x 14' slab with hot tub surrounded by deck
AT 17 Codman St

Expires or
Withdrawn?

provided that the person or persons, firm or corporation accept
of the provisions of the Statutes of Maine and of the Ordinances
the construction, maintenance and use of buildings and structures
this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

procured by owner before building or part thereof is occupied.

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g
n

OTHER REQUIRED APPROVALS

- Fire Dept. _____
 - Health Dept. _____
 - Appeal Board _____
 - Other _____
- Department Name _____

PENALTY FOR REMOVING THIS



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

_____ 20____

Received from BAU - 100 Commercial

Location of Work 100 Commercial St

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 1200

Building (IL) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other late fees

CBL: 129 6011

Check #: 1121 **Total Collected \$** 1200

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

Nov 19 2011

Received from B. J. P. 3

Location of Work 1107

Cost of Construction \$ _____ Building Fee: 90.00

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 90.00

Building (IL) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 1107 0011

Check #: 1107 1105 Total Collected \$ 90.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

7/26 2010

Received from

17 Codman

Location of Work

Bao Bao Investments
Add'l cost

Cost of Construction

\$ 17,000

Building Fee:

170.00

Permit Fee

\$ _____

Site Fee:

Certificate of Occupancy Fee:

Total:

170.00

Building (IL)

Plumbing (I5) _____

Electrical (I2) _____

Site Plan (U2) _____

Other _____

CBL:

129-G-011

Check #:

1207

Total Collected \$

170.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by:

Jim B

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0686	Issue Date:	CBL: 129 G011001
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Location of Construction: 17 Codman St	Owner Name: Yee Cheunglui	Owner Address: 17 Codman St	Phone:
Business Name:	Contractor Name: Brenden Parker	Contractor Address: 831 Broadway St. South Portland	Phone: 9092340303
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	Zone: R-3

Past Use: Multi Unit / 3 family	Proposed Use: Multi Unit / 3 family - Interior renovations, 14' x 14' slab with hot tub surrounded by deck on three sides covered by roof (14' x 11'8") with set of stairs, rebuild 1st floor rear deck (12' x 28') w/ landing &	Permit Fee: \$680.00	Cost of Work: \$25,800.00	CEO District: 4
<p><i>legal use 3-family</i></p> <p>Proposed Project Description: Interior renovations, 14' x 14' slab with hot tub surrounded by deck on three sides covered by roof (14' x 11'8") with set of stairs, rebuild rear deck (12' x 28') w/ landing & stais</p>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-2 Type: SB JBC-2003	
		Signature:	Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
		Signature:	Date:	

Permit Taken By: gg	Date Applied For: 06/14/2010	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Exemption 10-699 0019 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <div style="text-align: right;"><i>ASM</i></div>
		Date:	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716


Permit No: 10-0686	Date Applied For: 06/14/2010	CBL: 129 G011001
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Location of Construction: 17 Codman St	Owner Name: Yee Cheunglui	Owner Address: 17 Codman St	Phone:
Business Name:	Contractor Name: Brenden Parker	Contractor Address: 831 Broadway St. South Portland	Phone (909) 234-0303
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	


Proposed Use: Multi Unit / 3 family - Interior renovations, 14' x 14' slab with hot tub surrounded by deck on three sides covered by roof (14' x 11'8") with set of stairs, rebuild 1st floor rear deck (12' x 28') w/ landing & stairs	Proposed Project Description: Interior renovations, 14' x 14' slab with hot tub surrounded by deck on three sides covered by roof (14' x 11'8") with set of stairs, rebuild rear deck (12' x 28') w/ landing & stais
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Dept: Zoning Status:  Reviewer: Ann Machado Approval Date:
 Note: Ok to Issue:

- 1) This permit is being issued with the condition that the 9'3" x 5'7" landing at the bottom of the front porch be removed. It was built without a permit and it does not meet the minimum front yard setback.
- 2) This permit is being issued with the condition that coy are not legal in Maine. Before any fish are put in the "fish" pond in front of the building, the Department of Inland Fish and Wild life must be contacted (207.287.8000) to make sure that the species of fish is legal in Maine and that the fish is purchased through a licensed Maine dealer.
- 3) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
- 4) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 5) This property shall remain a three family dwelling. The minimum period a dwelling unit can be rented is one month. It cannot be rented on a weekly or daily basis. Any change of use shall require a separate permit application for review and approval.
- 6) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building Status:  Reviewer: Jeanine Bourke Approval Date:
 Note: Ok to Issue:

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 4) Application approval based upon information provided by applicant including all revisions. Any deviation from approved plans requires separate review and approval prior to work.
- 5) Those renovating residential dwellings shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

Dept: Fire Status: Pending  Reviewer:
 Note: Approval Date:
 Ok to Issue:

Location of Construction: 17 Codman St	Owner Name: Yee Cheunglui	Owner Address: 17 Codman St	Phone:
Business Name:	Contractor Name: Brenden Parker	Contractor Address: 831 Broadway St. South Portland	Phone (909) 234-0303
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	

Comments:

6/15/2010-gg: Still owes \$200.00 for belated fees working without permt. /gg

6/15/2010-gg: paid the additional \$200.00 for belated fees, check # 1121. /gg

6/15/2010-amachado: Spoke to Brenden Barker at the counter. The 8' side setback for the "gazebo" (14' x 14' slab with hot tub surrounded by a deck and stairs all covered by a roof) is not being met. The concrete slab can be located into the setback but the deck and roof must meet the 8' side setback. The rear setback of 25'1" just meets what is required. Needs to apply for a siteplan exemption for the "gazebo". The lot lines will have to be identified at the inspection. The proposed bridge in the front does not meet the front setback of 25'. Also need to confirm that the landing at the bottom of the stairs is permitted. Permit on hold until receive revised siteplan. Told him that coy fish are illegal in Maine. If the owner plans to "stock" the pond, they need to check with Inland Fish and Wildlife to make sure that the fish is legal in Maine and that the dealer is a licensed Maine dealer. Gave him the number for Inland Fish and Wildlife.

6/16/2010-amachado: Received revised site plan.

6/28/2010-jmb: Brendan submitted a new application page with revised scope of work. I reviewed the plans and advised of the required details and code deficiencies. Section of rear deck rebuild does not show the split level deck, bearing points and beams of hot tub platform, hot tub cover specs, and heights of all railings on decks and stairs not correct.

6/25/2010-jmb: Inspected property with Nick A. And noted code issues, front porch deck framing was not rebuilt, but added sono tube bearing as required for load bearing of deck above and new guardrails on stairs and deck, not to code. Verified the 5'x9' platform on grade in front is 18' from the sidewalk, rear deck at 1st floor completely rebuilt, stairs and railings not to code, rim joist is 2x10 and 2x4 with 2x8 joist hangers, lag bolts are staggered too far apart due to 2 separate boards.

6/28/2010-amachado: I spoke to Brenden at the counter when he submitted the revised project description and plans. I still need a scalable plot plan.

6/18/2010-jmb: Brendan submitted drawings for the front paver walkway over the pond and 5'x9' platform on grade.

6/29/2010-jmb: Brendan submitted revised drawings, but no scalable plot plan.

7/6/2010-jmb: Reviewed the latest plans in preparation for the inspection today, see the memo with the list filed with the application documents.

7/16/2010-jmb: Brendan B. Submitted plans and details as requested, and a scalable plot plan, Ann and I need to review for compliance.

7/22/2010-amachado: Zoning has all the required submittals, but the use is in question. See print out from website. Permit on hold until use is clarified.

7/22/2010-jmb: Reviewed the submissions from 7/16/10, scope of work does not include replacement of front guardrail, also, cost of work not reflective of materials and labor. Need handrail details for all stairs and riser and tread detail all dimensioned, need to clarify the deck framing as the two plans conflict, is the hot tub roof a gazebo or solid roof, need w/d hookup in 2nd floor stair hall on plans, need fire separation of floor ceiling in the basement storage areas, including the under the stairs.

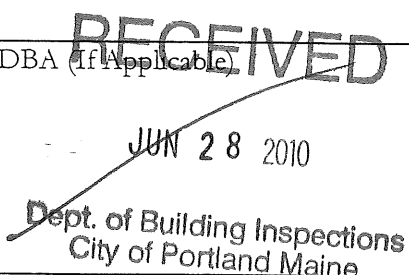
7/23/2010-jmb: Spoke with Brendan B., for details from the latest revisions, he is coming in to submit plans for 209 Stevens and we will review. Requirements per meeting with Brendan: Revised basement plan showing all storage areas, laundry room and fire separations in those areas including under the stair, clarification of the carrying beam for the rear deck as the plans show some discrepancies, 2nd floor plan showing where in the stair hall the new w/d hook up is, and a true cost of labor and materials as the kitchens alone will exceed the 25K that they have submitted thus far.

7/26/2010-jmb: Brendan B. Submitted the revised basement & 2nd floor plans and verified the beam size of the rear deck. Laundry area is not allowed in the rear egress hallway, also discussed existing chimneys and requirement for 2" clearance if active. These walls are already sheetrocked, will need to be exposed. He did clarify that a new furnace was installed which has a side wall vent, I confirmed a permit is required for this work, added a belated fee. Routed to fire for review.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>17 Codman St.</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot <u>7,193.83</u>	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# <u>129</u> Block# <u>6</u> Lot# <u>011001</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Cheunglai Yee</u> Address <u>17 Codman St.</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>909-234-0303</u>
	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>25,800</u> C of O Fee: \$ _____ Total Fee: \$ _____
	Current legal use (i.e. single family) <u>multi-unit</u> Number of Residential Units <u>3</u> If vacant, what was the previous use? <u>multi-unit apartment</u> Proposed Specific use: <u>apartments</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Interior 1st + 3rd - see plans, build 11x14 gazebo, installed landscaping Pond, rebuilt front and back porch, build fence, pour 10x10 and 14x14 concrete slab, front yard landscaping, siding</u>	
Contractor's name: <u>Brenden Barker</u>		
Address: <u>841 Broadway</u>		
City, State & Zip <u>South Portland, ME 04106</u>		Telephone: <u>909-234-0303</u>
Who should we contact when the permit is ready: <u>Brenden Barker</u>		Telephone: <u>909-234-0303</u>
Mailing address: <u>841 Broadway South Portland, ME 04106</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Brenden Barker

Date: 6/29/10

This is not a permit; you may not commence ANY work until the permit is issued



General Building Permit Application

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Lessee/DBA (If Applicable) RECEIVED JUN 14 2010 Dept. of Building Inspections		Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>25,800</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>City of Portland Mainst multi unit - 3</u>			
If vacant, what was the previous use? <u>3 unit home</u>			
Proposed Specific use: <u>apartments</u>			
Is property part of a subdivision? <u>No</u> If yes, please name _____			
Project description: <u>1st floor cosmetic work, 3rd floor redoing bathroom - replace one wall sheet rock. Replace stairway railings, pour 14'x14' concrete slab for hot tub, build deck around hot tubs with open roof, pour 10'x10' slab for dumpster, build fence around property, coppond in front of house with bridge from deck to other side</u>			
Contractor's name: <u>Brenden Barker</u> <u>COO Brenden</u>			
Address: <u>841 Broadway</u>			
City, State & Zip <u>South Portland, ME 04106</u>			Telephone: <u>909-234-0303</u>
Who should we contact when the permit is ready: <u>Brenden Barker</u>			Telephone: <u>909-234-0303</u>
Mailing address: <u>841 Broadway South Portland, ME 04106</u>			

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Signature: Brenden Barker Date: 6/14/10

This is not a permit; you may not commence ANY work until the permit is issue

17 codman st. Scope of work

Exterior

Siding

rebuilt back deck

replaced columns on front porch

replaced deck boards on front porch

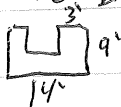
Landscaping front yard

~~built~~ built fence around yard

poured a 10x10 concrete slab for dumpster

poured 14x14 concrete slab for hot tub

proposing to build ~~deck~~ deck around 3 sides of hot tub



* Railings on both decks

Interior

replaced all kitchen cabinets and counters

tiled all kitchens and baths

carpet in 1st and second floor

Painted all walls

replaced all existing fire doors with R90 fire doors

replaced all interior doors

skim coated mud on cracked walls on first and 3rd floor

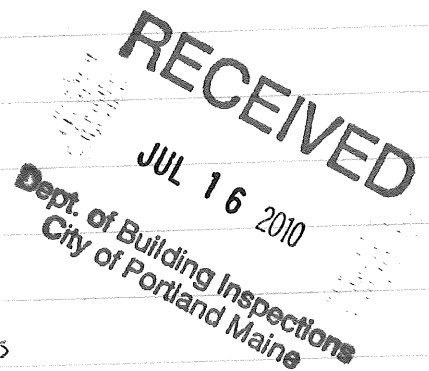
Replaced all baseboard and window trim

Installed washer/dryer hookups back stair well 2nd floor landing

Basement

Built walls for divided storage

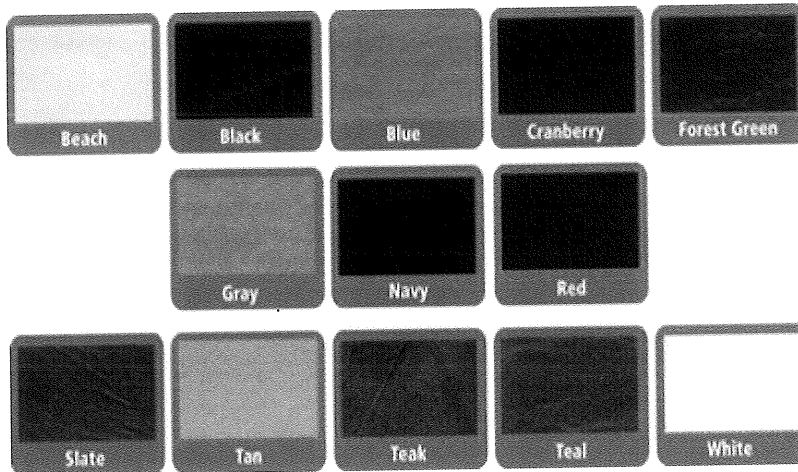
Installed washer/dryer hookups



- All About Pool Chemicals
- How To Cure Algae
- How To Cure Cloudy Water
- Pool Stain Removal
- Pool Heater Sizing Chart
- Solar Heating Installation
- Pool Care FAQ

REBATE CENTER

- PoolGear \$50 APC Rebate.
- PoolGear \$75 APC Rebate.
- Hayward Rebate Forms



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Why Buy Spa Covers From Sanders Industries Inc.?

- Covers are manufactured with secure locks with keys.
- Covers have heat seals at the hinge for added insulation.
- Covers are manufactured with 4" - 2" insulation which is 45.8% more insulation used than other cover manufacturers.
- Vinyls are specially formulated for spa cover use.
- Over 18 Years of experience in manufacturing spa covers to help us meet any need.
- Sanders Industries friendly customer service.

Sanders Industries covers are UL[®] approved safety covers.

Spa Covers Specifications

All Spa Covers are constructed with vinyl especially formulated for spa cover use.

Vinyl

- (Spa Hyde[®]) Especially Formulated for Spa Covers
- Fire retardant
- Mildew and Chlorine Resistant
- UV Stabilized For 1000 Hours On Weatherometer
- Bottom Vinyl Is Chlorine and Bromine Resistant
- - 40F cold crack
- Covers are sewn with 100% polyester thread

Features

- 100% Nylon Zippers
- Handles and Straps double "X" Stitched For Strength
- 4- Secure Locks With Key On Each Cover
- Heat Seals Between Halves to Prevent Heat Loss
- 100% Coated Polyester Thread
- Handles, Straps, and Hinges Are Reinforced With Extra



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 JUL 16 2010
 Dept. of Building Inspections
 City of Portland Maine

Material

- Safety warning labels are attached to all covers
- All Bi-fold spa covers are classified manual safety covers by Underwriters Laboratories, Inc. ® in accordance with ASTM F 1346-91 95SJ
- Handles, straps, and hinge reinforced with extra material

Insulation

- Reinforced With Aluminum "C" Channel
- All covers are tapered 4"-2" for rain runoff
- "R" Value Of 20

Walk-On Model (FRP)

- Sanders Industries Fiber Reinforced Plastic (FRP) cover appears like our other covers in the fact that it is covered in a vinyl skin that is available in your choice of colors. The inside however is quite different. The panels are polystyrene that have been laminated with Fiber Reinforced Plastic sheeting to provide incredible strength and a protective layer against water absorption.
- Sanders Industries Walk-On (FRP) Spa Cover has a full five year warranty against breakage or water absorption.
- Sanders Industries Warranties that any person up to 300 pounds can WALK on this cover and it will not break.
- The vinyl skin on the FRP cover is warrantied for five years, two full years and the last three are pro-rated.

Warranty

- All covers come with a Deluxe one year warranty.
- Walk-On Model (FRP) carries a five year warranty.
- Contact Sanders Industries for warranty details.

Solid Spa covers are custom made and require a dimensioned drawing to be quoted. Please download a Custom Measuring Form and fax to PoolGear Plus at 888-858-7946.

[Spa Supplies > Solid Spa Covers >](#)

RECEIVED
JUL 16 2010
Dept. of Building Inspections
City of Portland Maine

Applicant: Cheung Yee

Date: 6/15/10

Address: 17 Codman St

C-B-L: 129-C-11

Permit # 10-0686

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house built 1890

Zone Location - R-3

Interior or corner lot - interior work - 1st floor - pour slab for hot tub deck also at over 1/2 porch
14x14
10'x10' slab for dumpster - build 8" fish panel.

Proposed Use/Work -

Sewage Disposal - City

Lot Street Frontage -

* Front Yard - 25' min. - 18' to landing - must be removed (9'3" x 5'7")

Rear Yard - 25' min. - 25'1" given on site plan to deck/roof of hot tub

Side Yard - 8' for 1st 1/2 story - 8' given to deck's edge of hot tub.

Projections -
1' " 2 story

Width of Lot -

Height -

Lot Area - 6500 sq ft - 7130 sq ft - assessors.

Lot Coverage Impervious Surface - 35% = 2495.5 sq ft

existing house - 1592 sq ft

Area per Family - 6500 sq ft (legally non conforming 3 unit)

"5 cars" steps - 163.38 sq ft (11.62' x 14')

Steps 264 (6.5' x 4')

1781.38 sq ft

Off-street Parking -

Loading Bays -

Site Plan - site plan exemption #10-699 00019

Shoreland Zoning/Stream Protection - N/A

Flood Plains - N/A

* concrete slab for dumpster does not need to be permitted. No setbacks & no impervious surface in R-3 zone.

Memorandum
Department of Planning and Urban Development



To: Howard Yee

From: Jeanie Bourke

cc: Penny Littell

Date: July 6, 2010

Subject: 17 Codman St., Pending Building Permit

The following is a list of items required to continue the review for approval of the pending permit:

Zoning:

1. Submit a scalable plot plan

Building:

1. Clarify the discrepancy in the plans for the beam size of the reconstructed rear deck and spacing of the bearing posts.
2. Rear deck rise and run of stairs and profile do not meet code for 3 unit building.
3. New railing heights for the existing front porch and stairs do not meet code requirements. Also, graspable handrails need to be noted per code.
4. Hot tub deck framing plan to clarify bearing points or solid wall bearing.
5. Need hot tub cover specifications
6. Scope of work does not include kitchen/bath remodels (including new cabinets and granite countertops on each floor.
7. Scope of work does not include basement work, including floor plan, walls, use of rooms, storage areas, and enclosure of underside of stairs with sheetrock.
8. Scope of work does not include the washer/dryer hookup in the rear common stairwell at each floor.
9. Cost of work should reflect all the time and material of all the work.

Zoning - Am

- site plan exemption
- bridge - width? - setback. 25'
 - attached to front steps?
- may or not legal in Maine
 - IFEW 287-8000.
 - work with licensed maine dealer.
- not meet side setback
setbacks
- " " ~~front~~ setback for
"bridge"

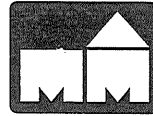
6/15/10 spoke to Brenden Barker
@ center.

17 Godman St.

- full size, 5' x 6' table site plan
- area in front of steps down from front porch not permitted.
 - 5' x 9' - 45 \$

Part 3 existing deck plan.

Building Jenise



Maine Municipal
Association

60 COMMUNITY DRIVE
AUGUSTA, MAINE 04330-9486
(207) 623-8428
www.memun.org

Stairs Not to code

Rails " " " "

split level deck

* also Front porch Rails replaced

36" - & Top deck 36"

Stair Rails replaced 36"
stairs rebuilt

Need Framing detail of Platform

deck for H.T. beam size/bearing
Contractor says slab 11"

Hot tub Specs do not include
cover information

Rails @ H.T. 36" over 30"

7/22/10

? ~~Scope of Wk.~~

~~Replaced Rails Front porch
Cost for all remodel material/Labor~~

~~Handrails on stairs detail /
Hot tub Roof or Gazebo~~

Still need clarity on deck
framing from 7/16 plans will call

~~Stair R & R for deck & H.T.~~

~~W/D Hookups - need to see on
plan~~ will submit

~~F/C separation at basement storage~~
will submit

Permit Nbr	10-0686	Location of Construction	17 Codman St	Appl. Date	06/14/2010
Status	Hold	Permit Type	Additions - Multi Family	Issue Date	
CBL	129 G011001	District Nbr	4	Estimated Cost	\$25,800.00
				Date Closed	

Permit Info | Certificate of Occupancy | Comments | Reviews And Approvals | Inspection Appointment | Documents |

Other Permits Referenced		Census Tract 5, 6 or 10	C Tract:	18.00
Plan Appl Id		Owner	Yee Cheunglui	
Contractor	Brenden Paiker	Address	17 Codman St	
Address	831 Broadway St.	City, State & Zip	Portland, ME 04103	
City, State, Zip	South Portland ME 04106	Phone		
Phone	(909) 234-0303	Pager		
Fax		Past Use	Multi Unit / 3 family	
e-mail				
License Nbrs:				
Electrical		Plumbing		
Gas		Oil Burner		
Reg. Nbr		Professional		
Business Name		Stru		
Lessee/Buyer		Nt		
Phone				

Return to B1

CreatedBy	99	CreateDate	06/15/2010
		Time	9:42 AM

Record: 1 of 1

Site Plan Application - I, D. Number

□ - 1.5 feet

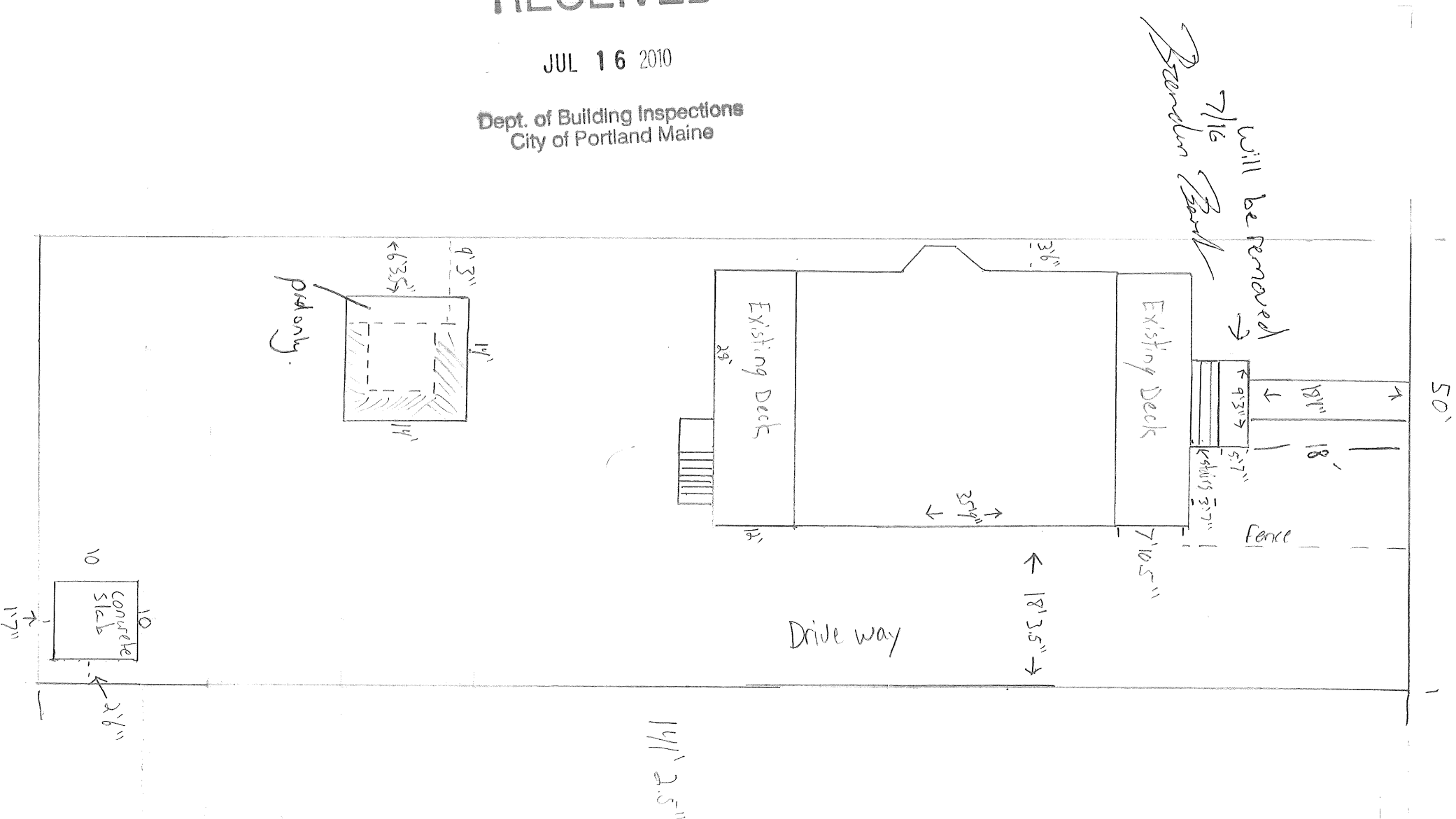
||||| - proposed Gazebo with open roof

Scaled Plot Plan 17 Codm

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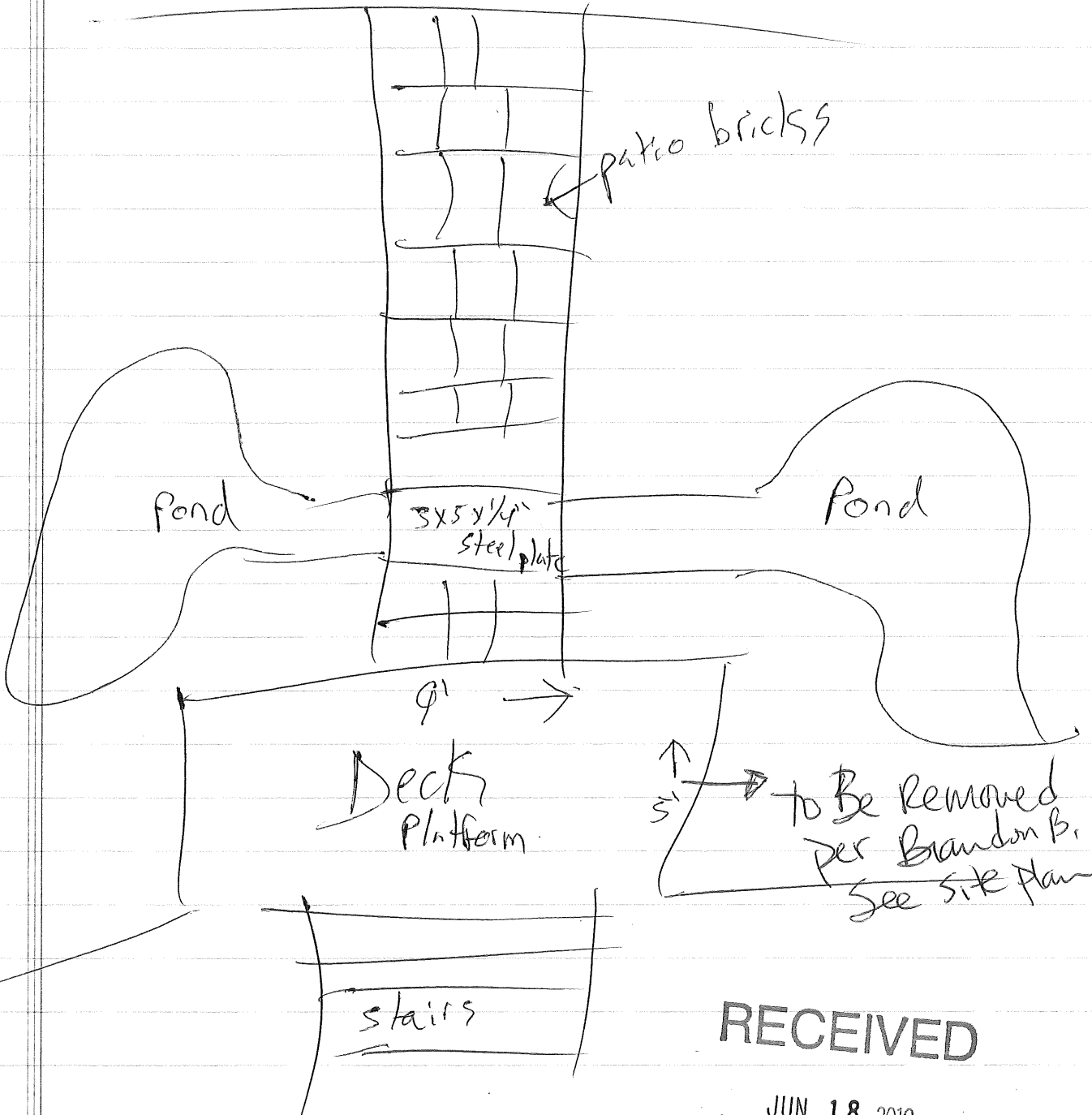
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17 Codman

Side walk



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House

17 Codman St.

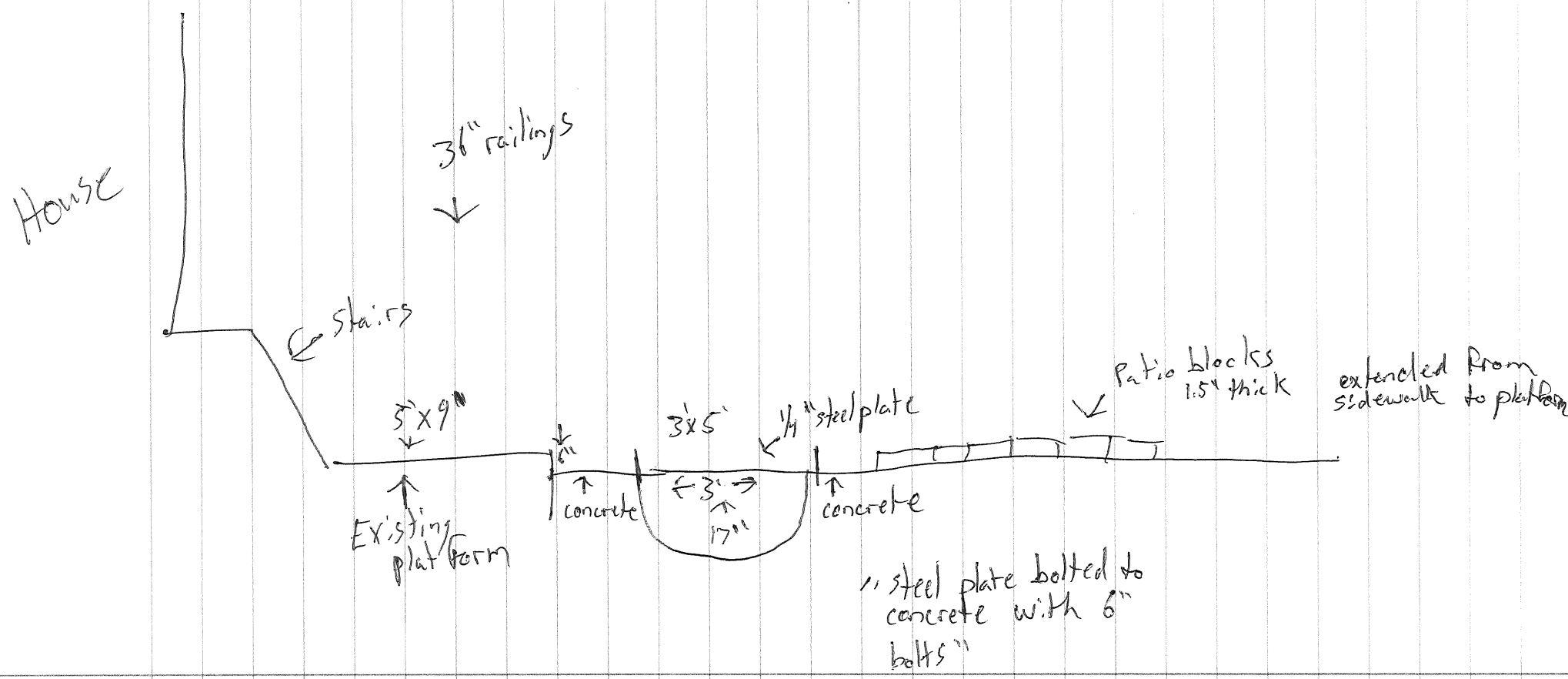
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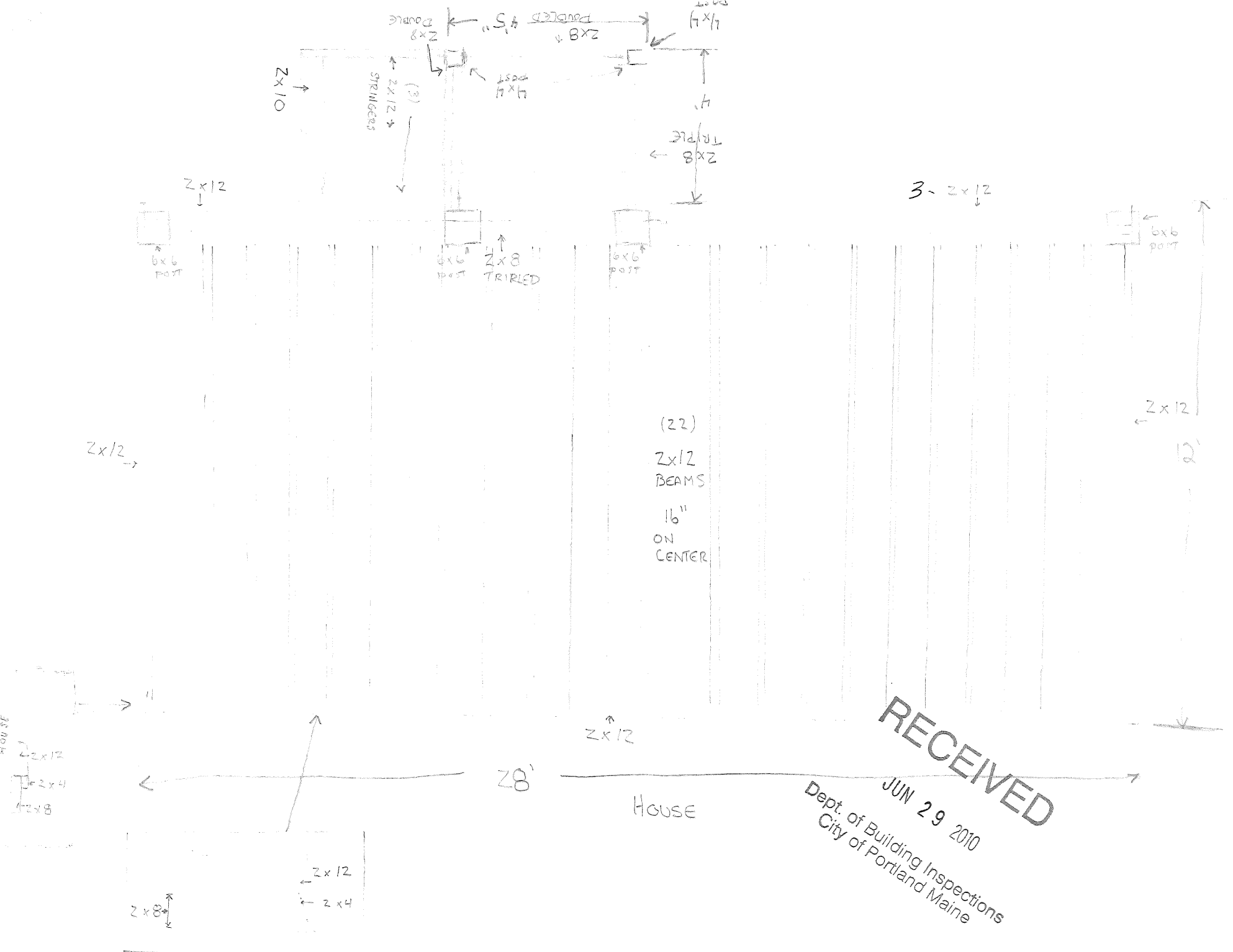
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We added Railing to 5x9' platform
and replaced top deck boards and
wrapped base in primed pine.

BJR



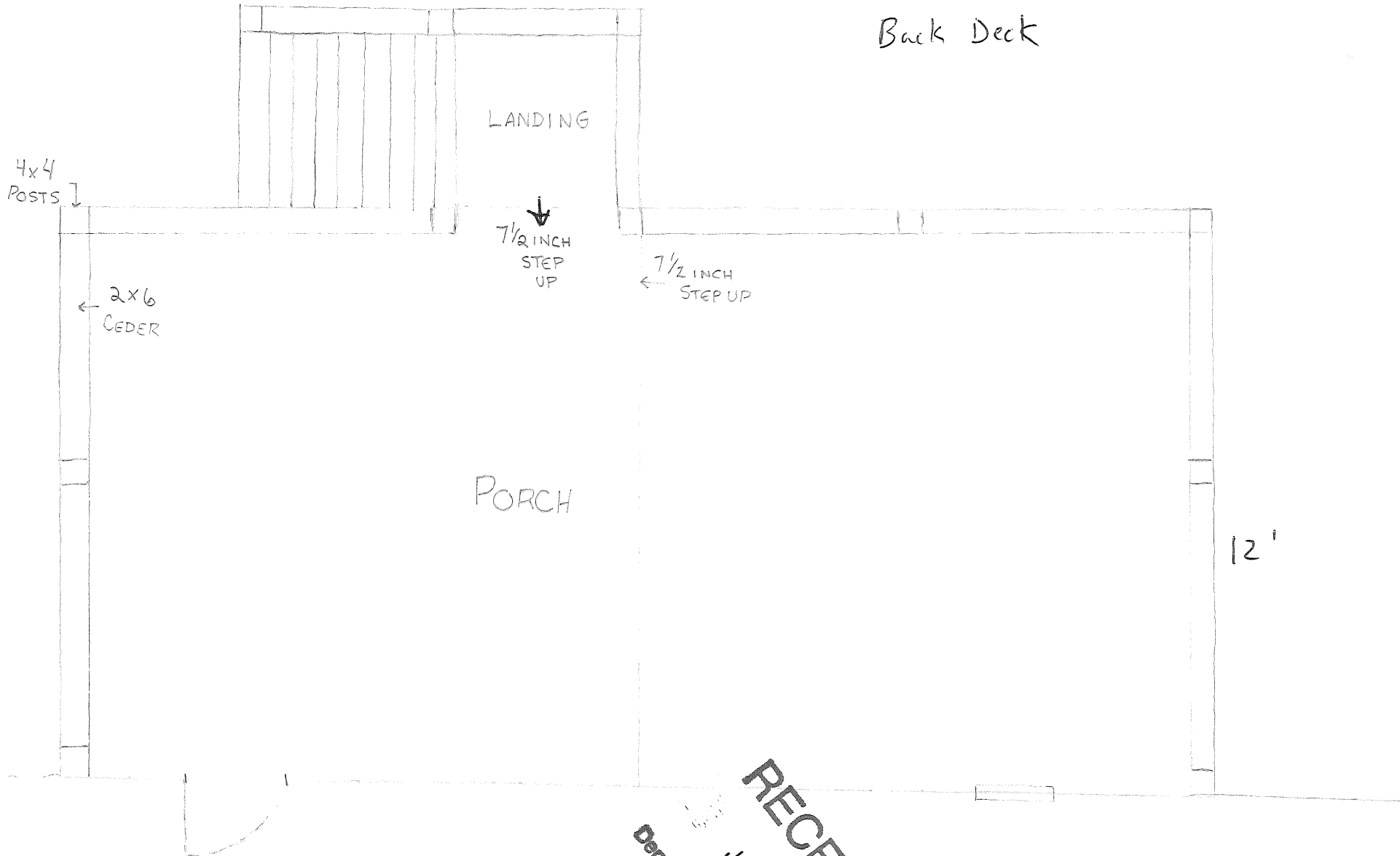


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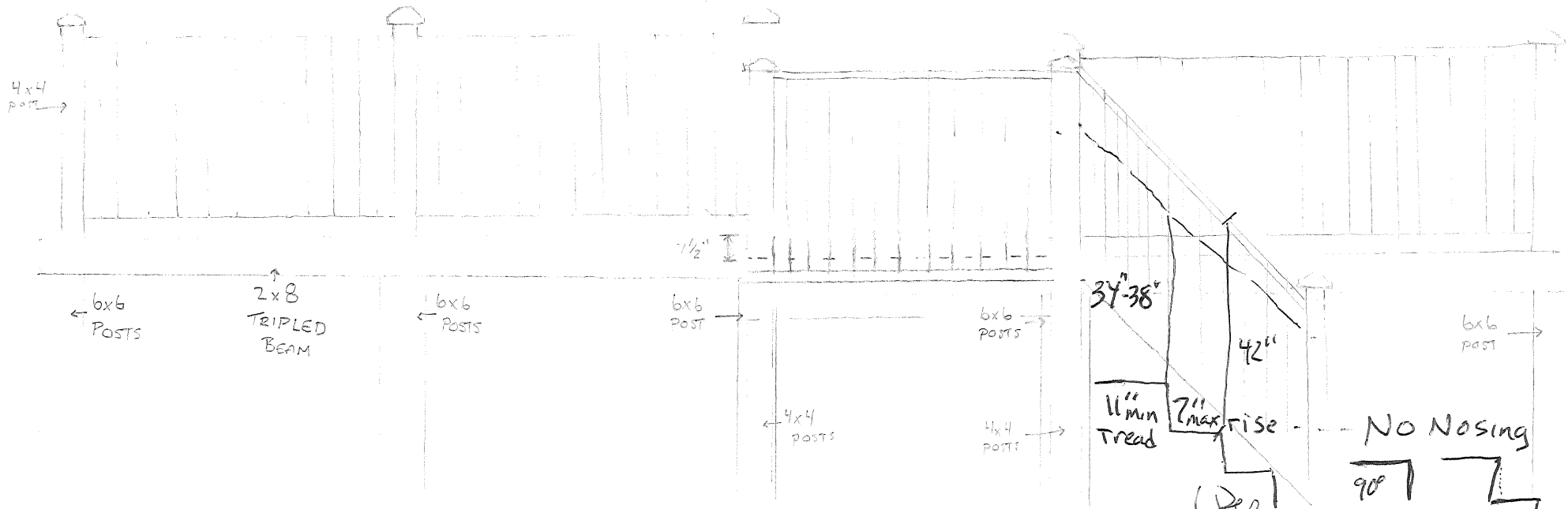
17 Codman St.

Back Deck



HOUSE

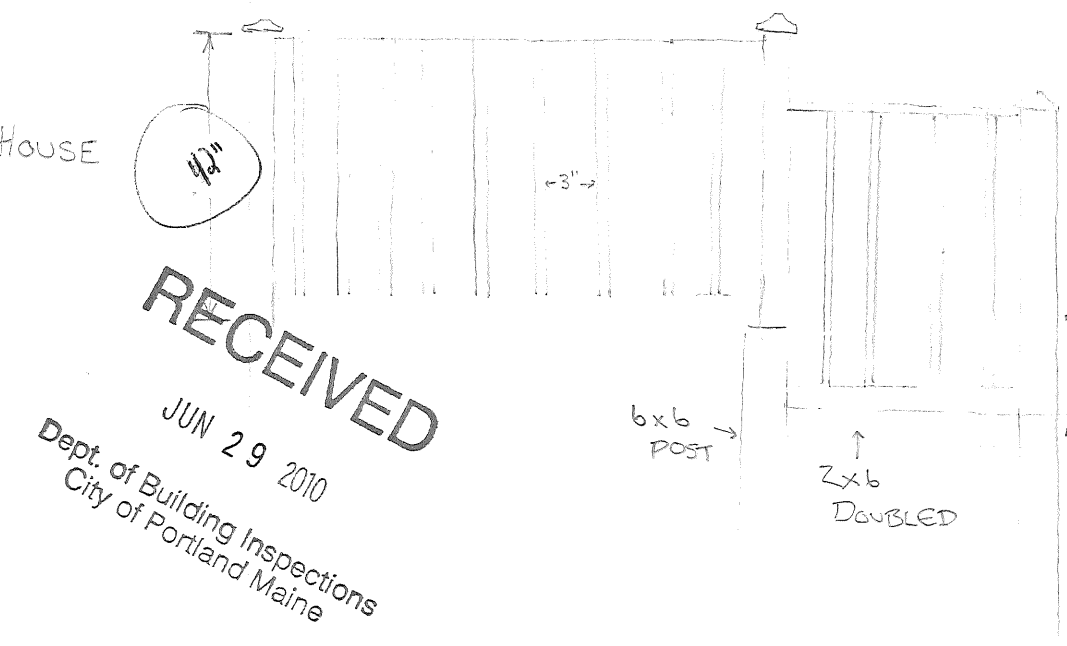
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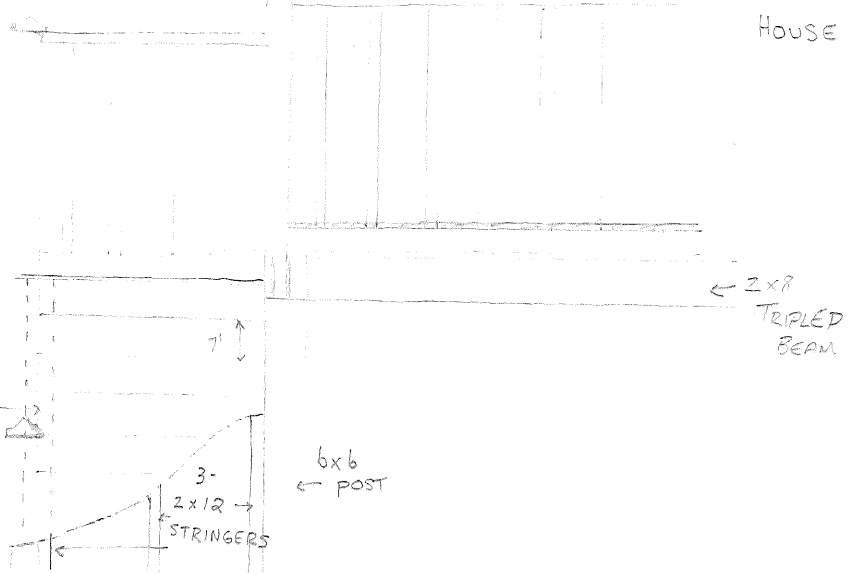
FRONT

34"-38"
 42"
 11" min Tread
 7" max rise
 NO NOSING
 90°
 (Per
 Brandon B 7/23/10
 At counter

All new railings (guards) to be 42"
 All stairs to have graspable handrail 34"-38"
 both sides with ends returned



LEFT



RIGHT

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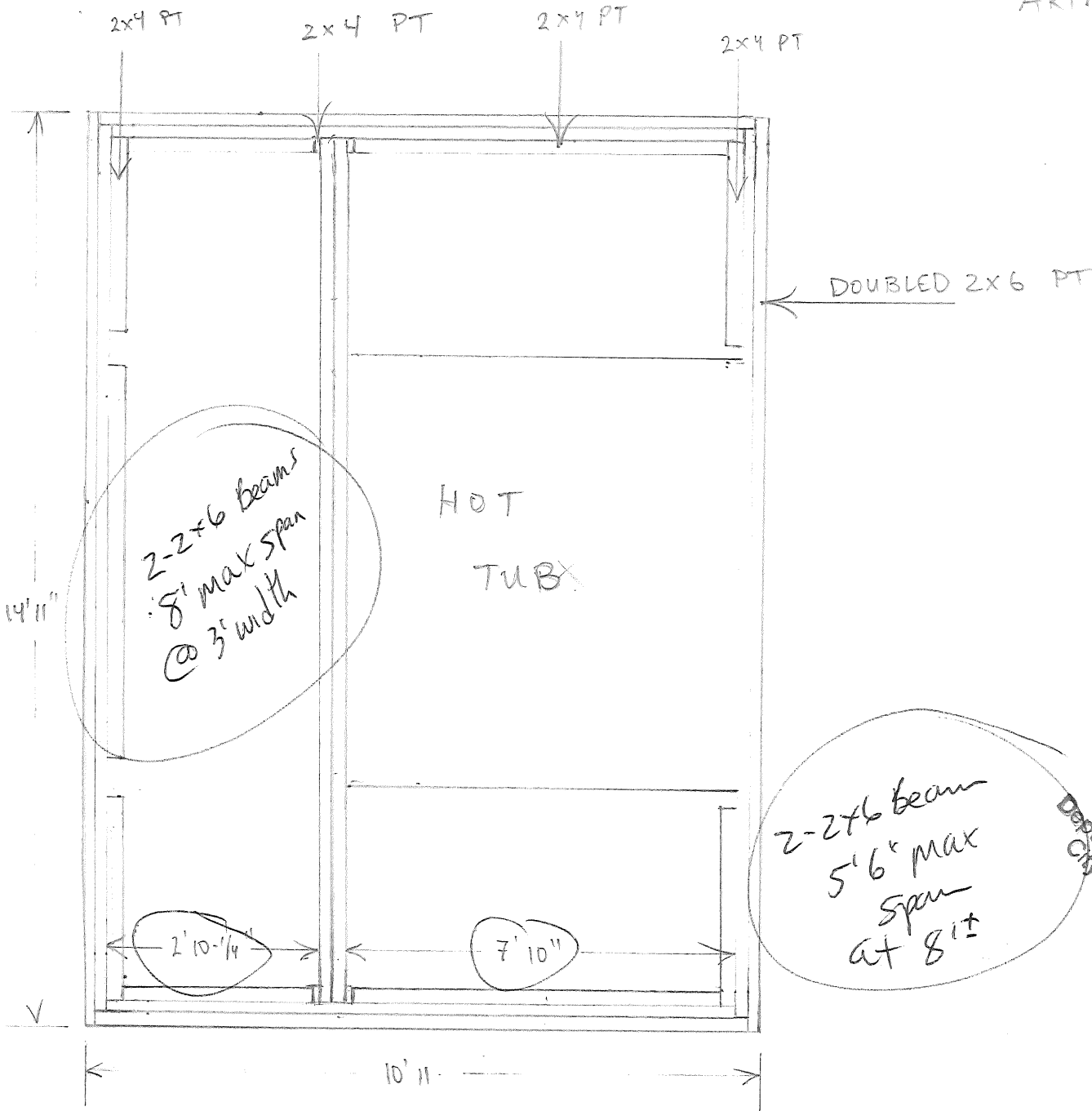
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4x4

ARIAL

17
Codman

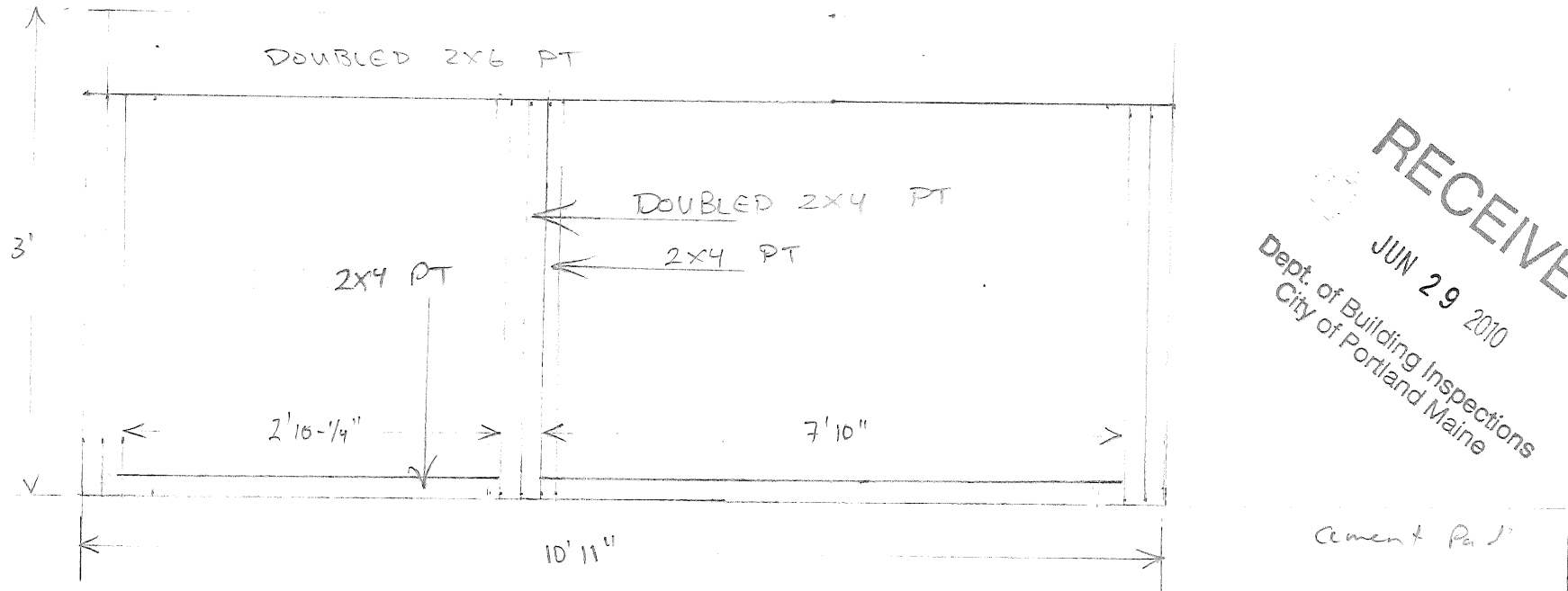


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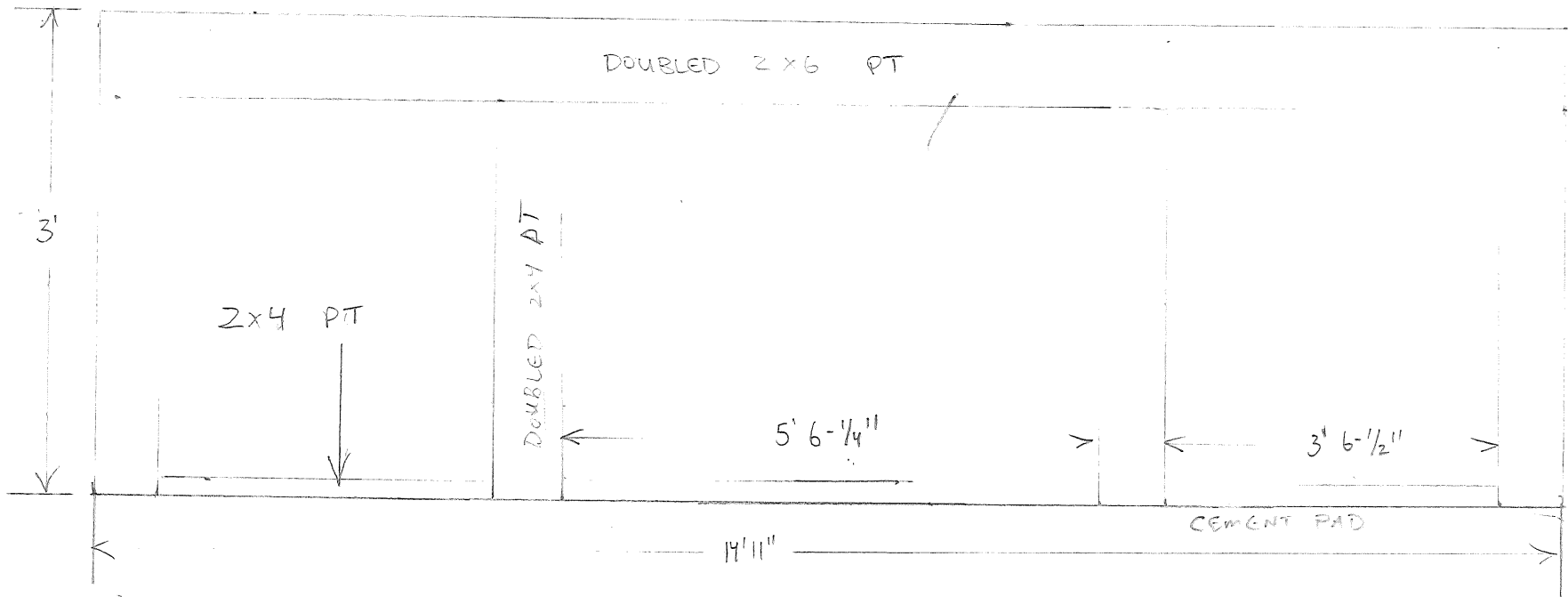
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SHORT SIDE



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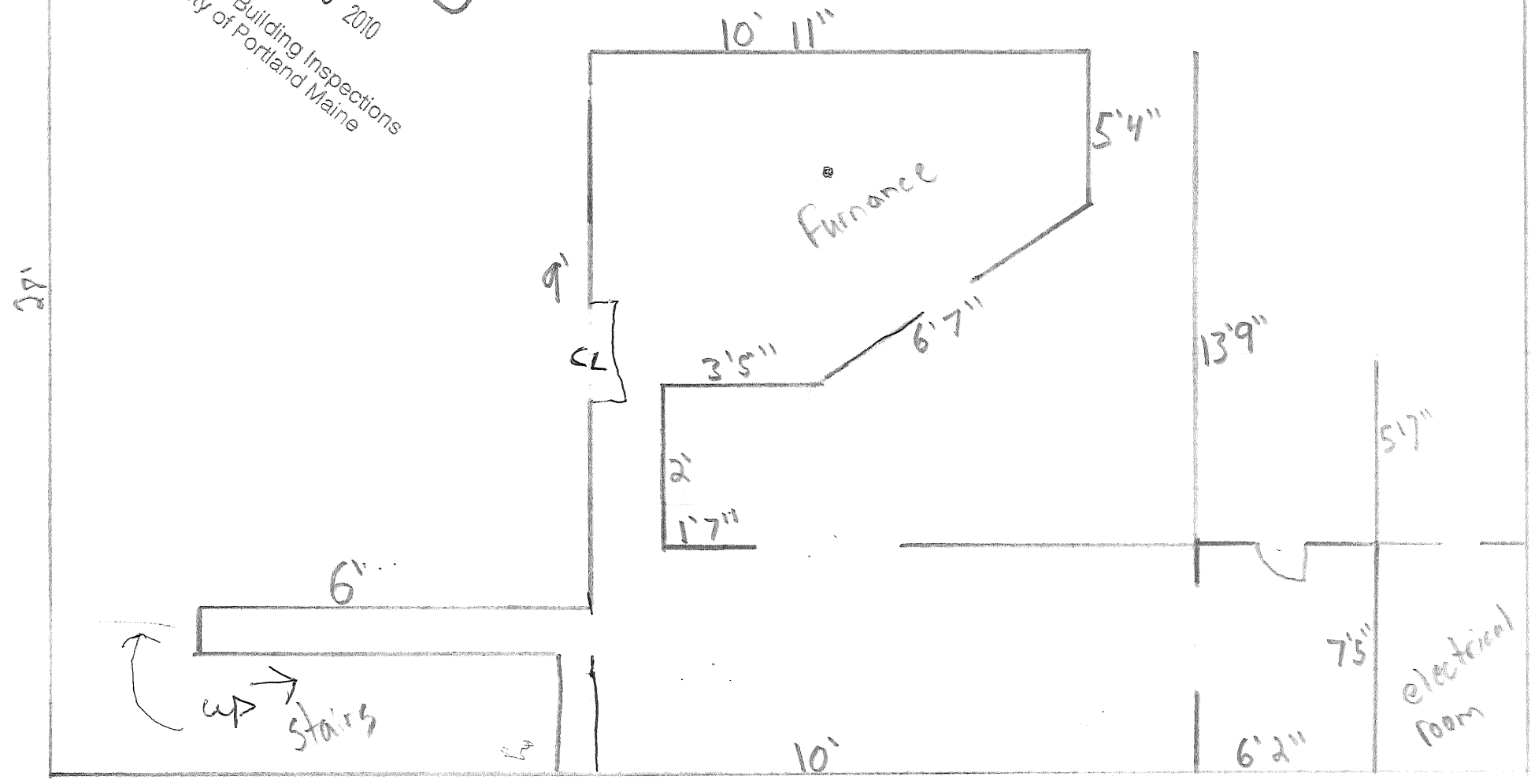


LONG SIDE

17 Codman St. Basement 34'

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Basement Uses

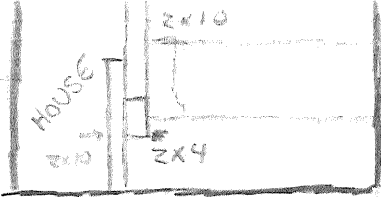
- Our plan for the basement had been solely for storage. We built the walls so that we could section everything off. We didn't want to have everything open due to the fact that it's an eye sore to walk down stairs and see a bunch of stuff piled up in the corners. By having different rooms we believed that we could organize our tools and materials in a better manner to make it more efficient for us. That was before we knew that we couldn't use that residence to store our company stuff.

walls are all 2x4 16 OC.
moisture resistant sheetrock

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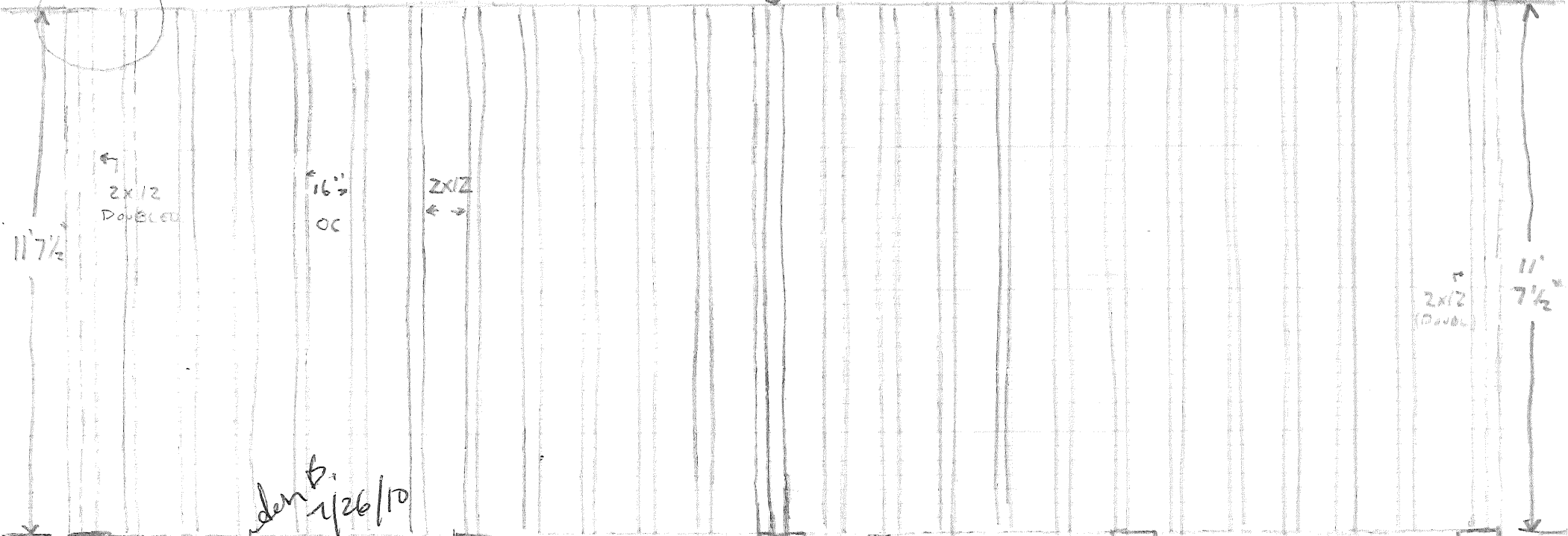
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HOUSE

DOUBLED FOR STEPDOWN



11' 7 1/2"

11' 7 1/2"

Per Brandon B. 4/26/10

6x6 POST

6x6 POST

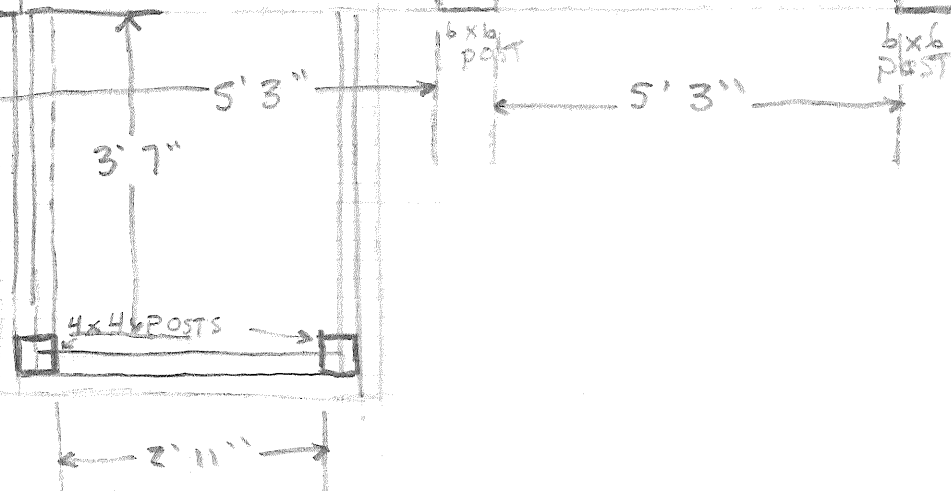
6x6 POST

6x6 POST

6x6 POST

2x10 TRIPLED across

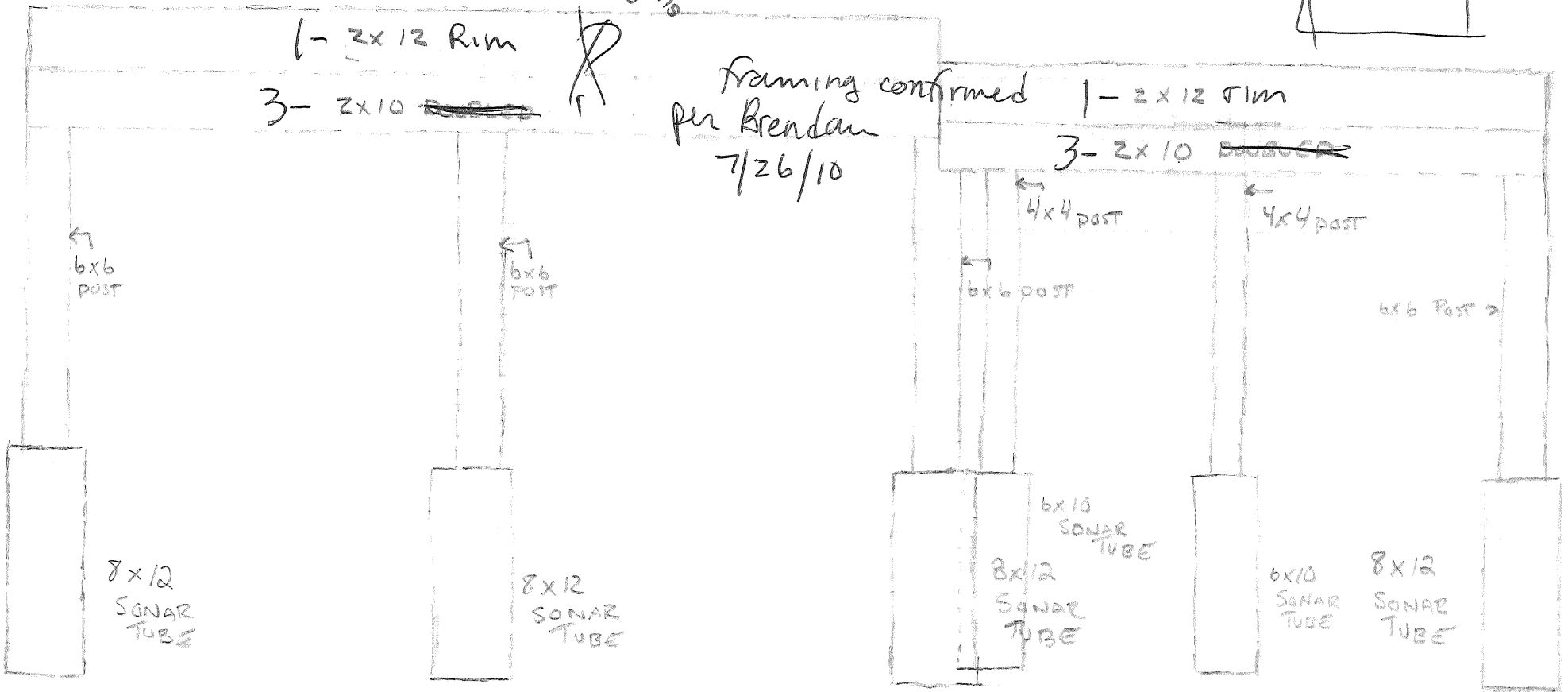
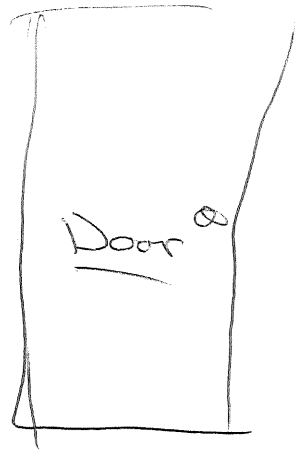
IF-3-2x10
OK SPANS
jmb
max 9'4"

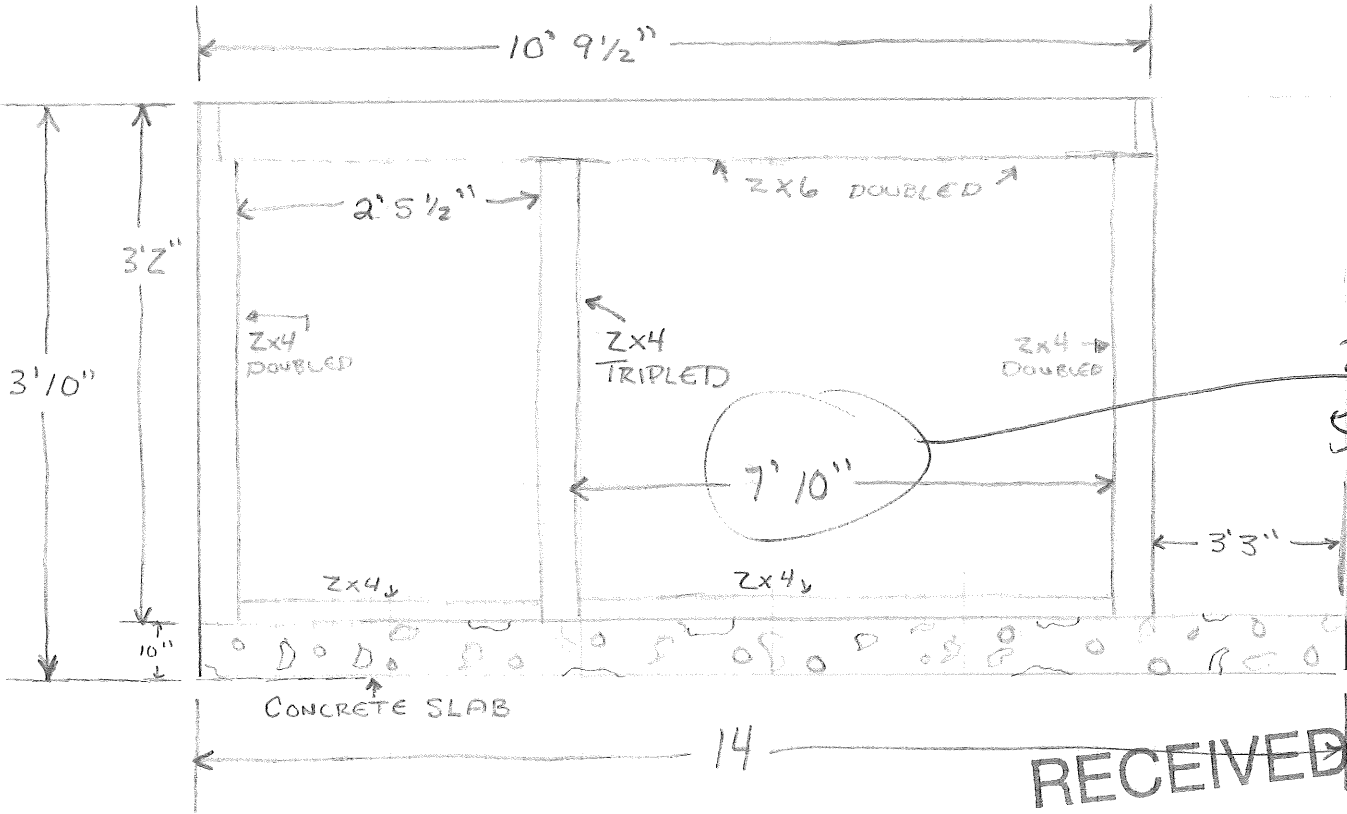


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BACK DECK FRAMING
(OVERHEAD VIEW)

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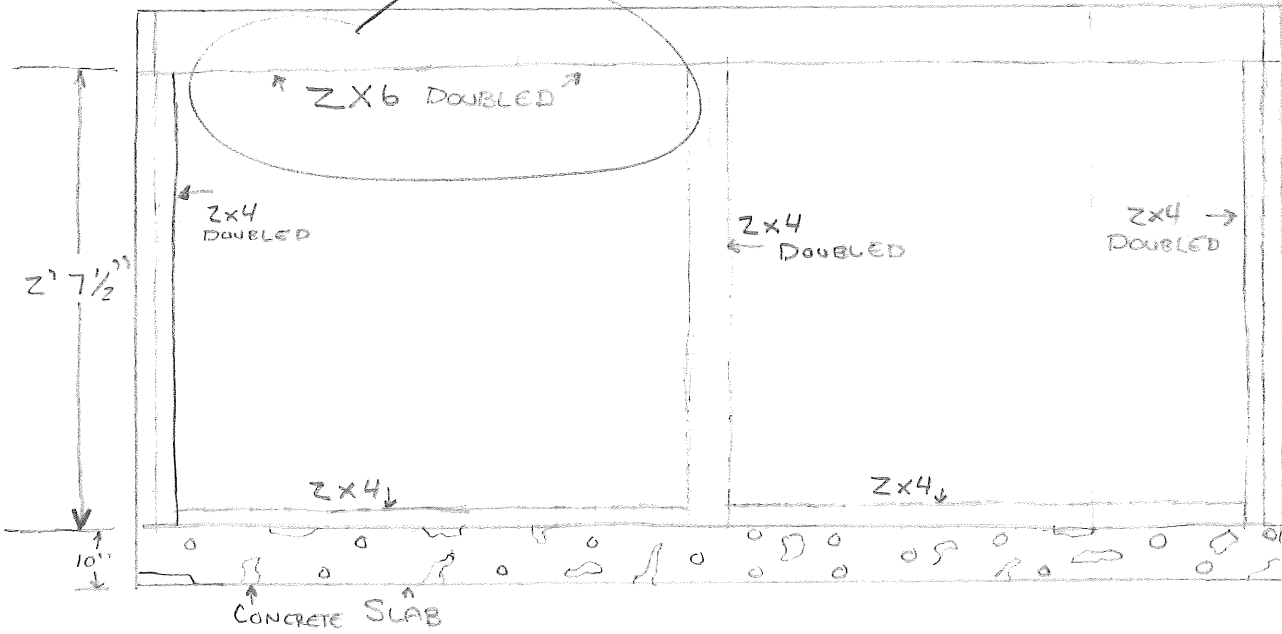
2-2x6
 5'6 max span
 @ 8' width

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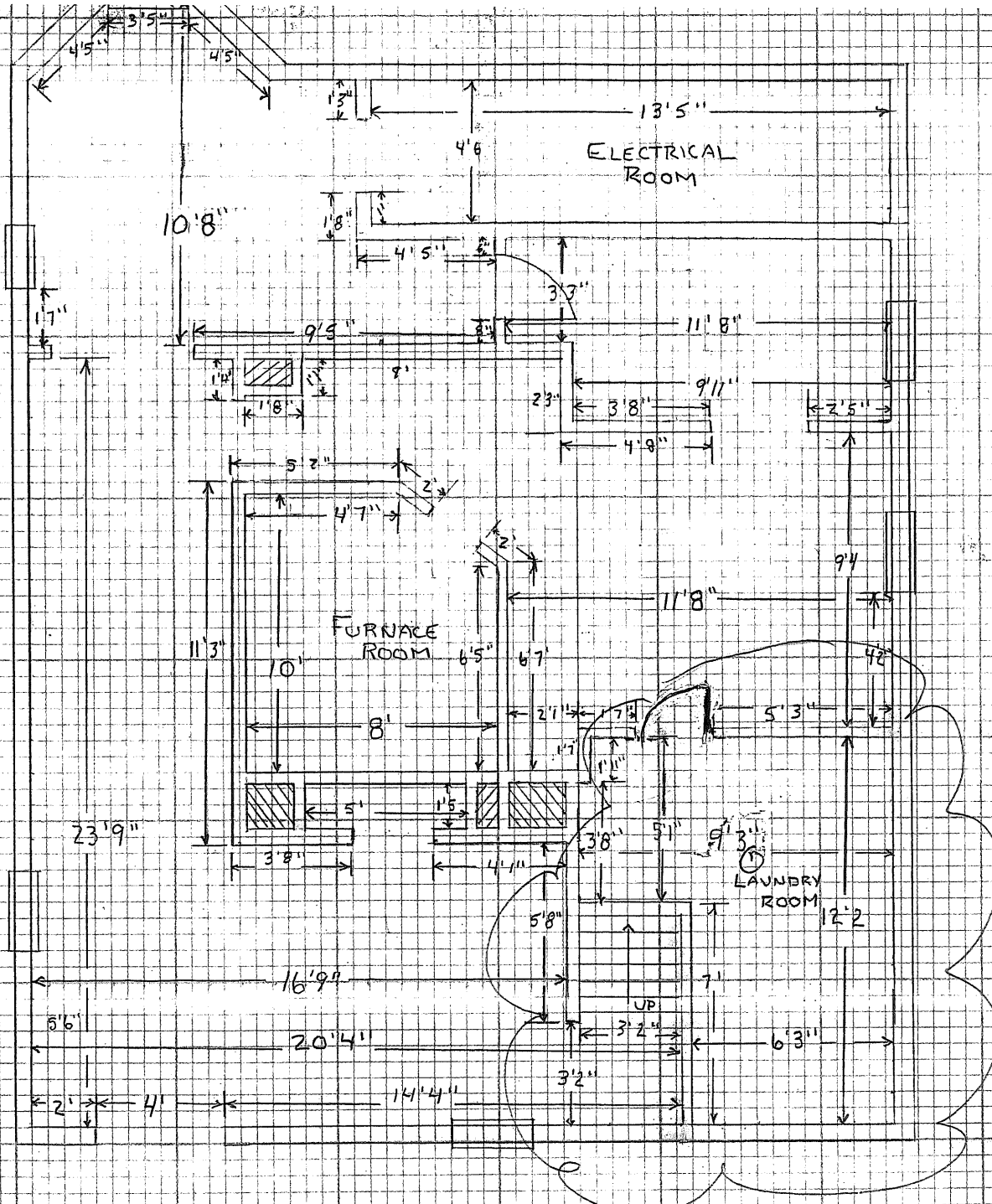
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2-2x6
 8' max span
 at 3' width



ELEVATION OF HOT TUB PLAN



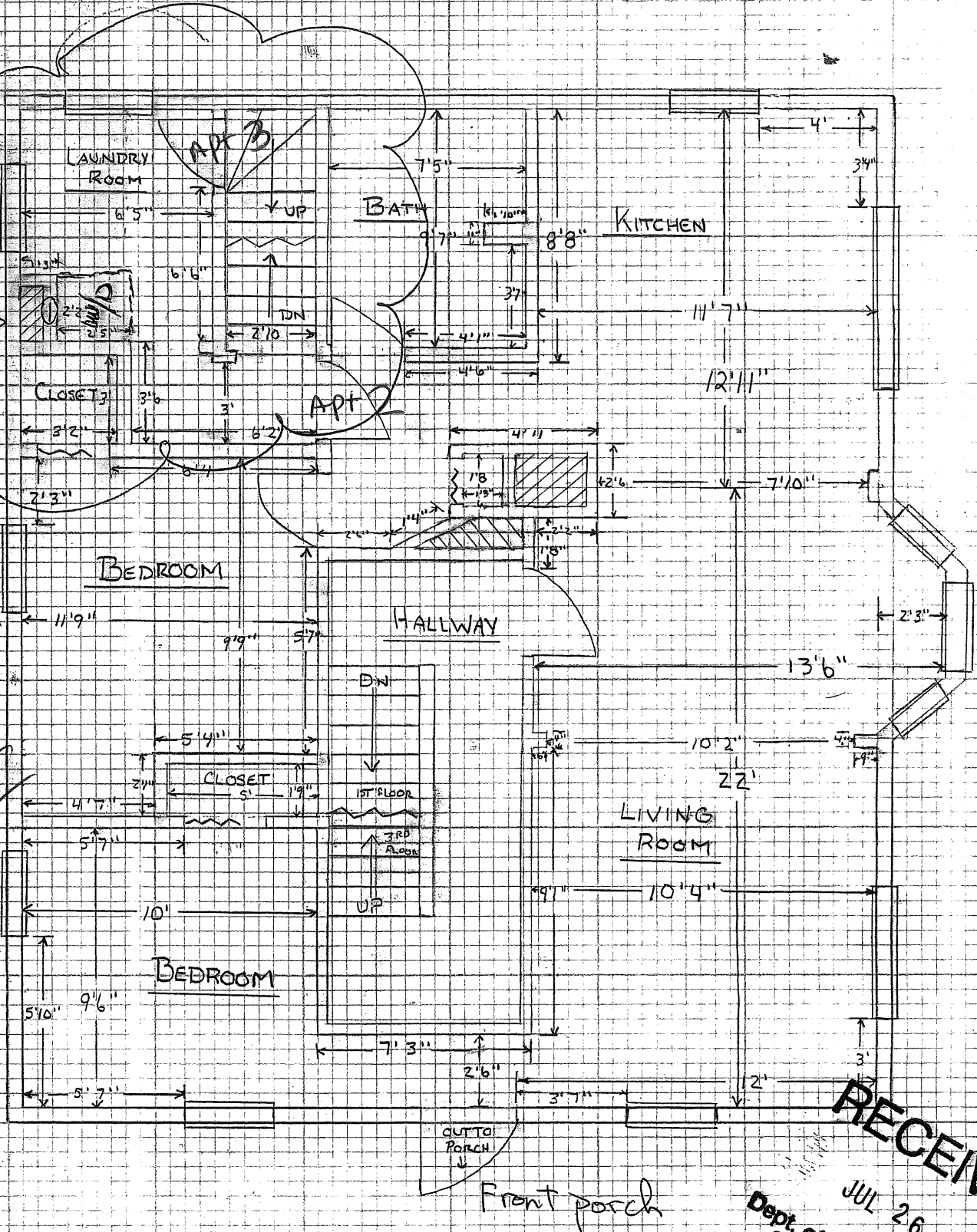
B = 90 min Fire rated door
 Laundry room 5/8" Fire rated
 sheet rock
 walls and ceilings

RECEIVED

JUL 26 2010

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 City of Portland Maine

17 CODMAN BASEMENT FLOOR PLAN



Laundry hookups
 Not Allowed in Common Hallways

RECEIVED
 JUL 26 2010

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 City of Portland Maine

17 CODMAN - 2ND FLOOR FLOOR PLAN

6500/7500 SERIES

OWNERS OPERATION GUIDE



HYDROQUIP™

510A N. Sheridan Street · Corona, CA 92880-2024
Email: info@hydroquip.com · Internet: <http://www.hydroquip.com/>
Telephone: 951.273.7575 · Fax: 800.332.7190

104°



HYDROQUIP™

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IMPORTANT SAFETY INSTRUCTIONS READ AND FOLLOW ALL INSTRUCTIONS

DANGER To reduce the risk of injury, do not permit children to use this product unless they are closely supervised at all times.

WARNING - RISK OF CHILD DROWNING. Extreme caution must be exercised to prevent unauthorized access by children. To avoid accidents, ensure that children cannot use a spa or hot tub unless they are supervised at all times.

DANGER To reduce the risk of injury to persons, do not remove suction fittings.

Spa location must accommodate sufficient drainage of water around the base of the structure, as well as the power source compartment.

Prolonged immersion in water that is warmer than normal body temperature can result in a dangerous condition known as HYPERTHERMIA. The causes, symptoms, and effects of hyperthermia may be described as follows: Hyperthermia occurs when the internal temperature of the body reaches a level several degrees above the normal body temperature of 98.6BF. The symptoms of hyperthermia include dizziness, fainting, drowsiness, lethargy, and an increase in the internal temperature of the body. The effects of hyperthermia include (1) unawareness of impending hazard, (2) failure to perceive heat, (3) failure to recognize the need to exit spa, (4) physical inability to exit spa, (5) fetal damage in pregnant women, (6) unconsciousness resulting in danger of drowning. **WARNING** The use of alcohol, drugs or medication can greatly increase the risk of fatal hyperthermia in hot tubs and spas.

DANGER - RISK OF ELECTRICAL SHOCK. Install at least 5 feet (1.5m) from all metal surfaces. (A spa may be installed within 5 feet of metal surfaces if each metal surface is permanently connected by a solid copper conductor attached to the wire connector on the terminal box that is provided for this purpose. Refer to NEC and local codes in effect at the time of installation.)

A pressure wire connector is provided on the control box to permit connection of a solid copper bonding conductor between this point and any equipment, metal enclosures of electrical equipment, metal water pipe, or conduit within 5 feet (1.5m) of the unit as needed to comply with local requirements.

Bond accessible metal to the dedicated connector on the equipment grounding bus, bond the equipment ground bus to the local common bonding grid as part of the installation in the form of (1) a reinforced concrete slab for support, (2) a ground plate provided beneath the hot tub or spa, or (3) a permanent ground connection that is acceptable to the local inspection authority.

DANGER RISK OF ELECTRICAL SHOCK. Do not permit any electrical appliance, such as a light, telephone, radio, or television, within 5 feet (1.5m) of a spa or hot tub.

To reduce the risk of injury:

The water in a spa or hot tub should never exceed 104°F (40°C). Water temperatures between 100°F (38°C) and 104°F (40°C) are considered safe for a healthy adult. Lower water temperatures are recommended for extended use (exceeding 10-15 minutes) and for young children. Excessive water temperatures have a high potential for causing fetal damage during the early months of pregnancy, pregnant or possibly pregnant women should limit spa or hot tub water temperatures to 100°F(38°C).

Before entering the spa or hot tub, the user should measure the water temperature with an accurate thermometer.

The use of alcohol, drugs, or medication before or during spa or hot tub use may lead to unconsciousness with the possibility of drowning.

Persons suffering from obesity or with a medical history of heart disease, low or high blood pressure, circulatory system problems, or diabetes should consult a physician before using a spa or hot tub.

Persons using medication should consult a physician before using a spa or hot tub since some medication may affect heart rate, blood pressure, and circulation.

For Units with a GFCI (Ground Fault Circuit Interrupter)

This appliance is provided with a ground-fault-circuit-interrupter located on the control box. Before each use and with the unit operating, push the test button. The unit should stop operating and the reset button should appear. Push the reset button. The unit should now operate normally. If the interrupter does not perform in this manner, a ground current is flowing indicating the possibility of electrical shock. Disconnect the power, or unplug from receptacle, until the fault has been identified and corrected.

For Cord and Plug Connected Units

Connected to a grounded, grounding type receptacle only. NEVER connect the spa to an extension cord.

Do not bury the cord.

WARNING To reduce the risk of electrical shock, replace damaged cord immediately.

For Permanently Installed Units

A terminal marked "G" or "ground" is provided in the wiring box located inside the equipment compartment. To reduce the risk of electric shock, connect the terminal or connector to the grounding terminal of your electrical service or supply panel with a continuous green insulated copper wire in accordance with National Electric Code Table 250-95 and any other local codes in effect at the time of the installation.

For Permanently Installed Units not Provided with an Internal Disconnecting Method

The electrical supply for this product must include a suitably rated switch or circuit breaker to open all ungrounded supply conductors to comply with Section 422-30 of the National Electric Code, ANSI/NFPA 70 1987. The disconnecting means must be readily accessible to the tub occupant but installed at least 5 feet (1.5m) from the tub water.

For Units with Gas Heaters

WARNING - Do not install indoors. This unit uses a gas heater that requires proper ventilation and is intended for outdoor use only.

For UL Listed Equipment Assemblies

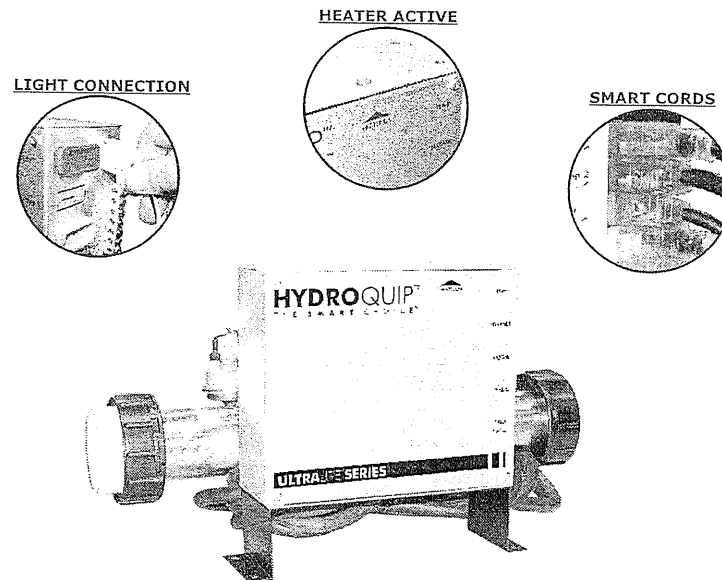
Install at least 5 feet (1.5m) from tub water using nonmetallic plumbing. Install blower no less than 1 foot (305mm) above the maximum water level to prevent water from contacting electrical equipment. Install in accordance with the installation instructions.

To reduce the risk of drowning from hair and body entrapment, install a suction fitting(s) with a marked flow rate in gallons-per-minute that equals or exceeds the flow rate marked on the equipment assembly.

INTRODUCTION

Congratulations on your new purchase. This Equipment or Control System is constructed of the finest materials and assembled under the strictest quality control standards. With proper care and maintenance your system will provide you with many years of reliable performance.

The following pages contain information concerning the operation and care of your system.



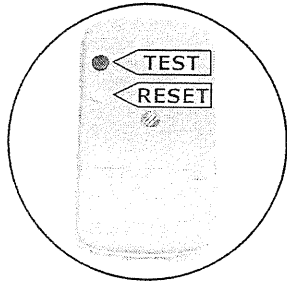
Note: Your system may differ from the photos above although the basic operation and configuration will be the same.

FEATURES & FUNCTION

Your system comes equipped with features you should be aware of.

GROUND FAULT CIRCUIT INTERRUPTER (GFCI)

It is necessary to test the GFCI before each use and at least monthly when the spa or hot tub is not being used regularly.



Test the device in the following manner:

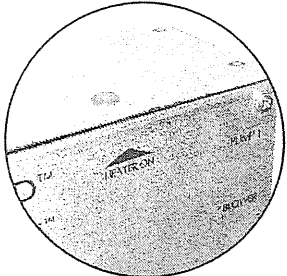
- With the power on, push the "TEST" button; there should be an audible "click", which will disconnect the power to the system. The "RESET" button will pop out slightly.

CAUTION - if the GFCI fails to operate in this manner, do not use the spa until a qualified technician has corrected the problem.

- To restore power, press the red "RESET" button in.

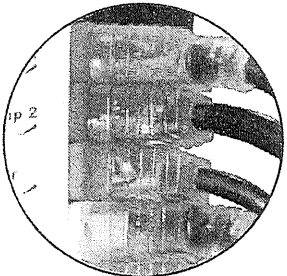
HEATER ON INDICATOR

All systems are equipped with a "Heater On" indicator to let the user know when the heater is actively heating the spa water.

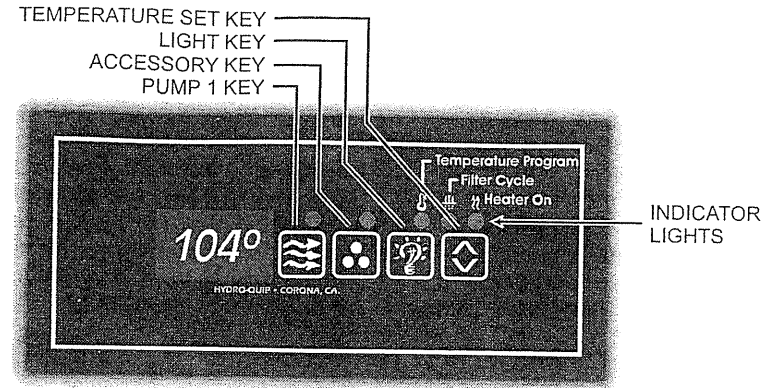


SMART CORDS

Your system may have come equipped with exclusive "Smart Cords". These cords have internal illumination to let you know that power is being supplied to the components connected to them. This is a helpful troubleshooting feature should a problem with a component arise.



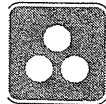
YOUR SPASIDE CONTROL



Default System Operation: When power is applied, or there is a temporary loss of power, the system will initiate its default programming. The filter cycle will begin 24-hours after the system has been powered up. The filtration cycle will be active for 1-hour and will repeat every 24-hours. The temperature will be maintained at 100BF.



Pump 1 Key: Press this key once to turn Pump 1 onto Low speed, press this key a second time to turn Pump 1 onto High speed, a third press will turn the pump off. A built-in timer will shut the pump off after 20 minutes of operation unless done so manually. The Pump 1 Indicator will illuminate while the pump is running. If the filter cycle indicator is illuminated, a filtration cycle has begun and you will not be able to turn the pump off.



Accessory Key: Press this key once to turn Accessory on and off. A built-in timer will shut the accessory off after 20 minutes of operation unless done so manually. The Accessory Indicator will illuminate while the pump is running.



Light Key: Press this key to turn the Light onto high intensity, a second press will turn the light to low and a third press will turn the light off. The light will automatically shut off after 2 hours.

SPASIDE CONTROL - Continued



Temperature Set Key: Press the Temperature Set key to decrease the desired temperature. Release and press again to lower the temperature. The temperature can be adjusted in 1°F increments from 59°F to 104°F (15°C to 40°C). The new setting will remain on the display for 5 seconds as a confirmation. During this time the Temperature Program indicator will illuminate to let you know this is the desired and not the actual temperature. After 5 seconds the display will return to the current temperature reading. When the temperature drops to 1°F below the set temperature, the heater will be turned on until the temperature is 1°F above the set temperature. The Heater On indicator will illuminate while the heater is on and flash when there is a call for heat and the heater has not yet been activated.

HEATER OPERATION

Your control system **may** have a convertible heater (120 volts; or 240 volts). Refer to the system data label to determine which, if any, convertible options are available to you. The heater configuration was set at the factory and may have been changed by your installer.

A covered, 300-gallon spa will experience a heat rise approximately as detailed below.

Your system will operate with one of the following configurations:

120 Volts - The heater will operate on demand at 1000 Watts during low speed pump operation. It will automatically shut off when the high-speed pump or blower is activated. You can expect a heat rise of 1°F to 2°F per hour.

240 Volt - The heater will operate on demand at 4000 Watts during high and low speed pump operation. It will continue to operate when the blower is activated. You can expect a heat rise of 6°F to 8°F per hour.

PROGRAMMING FILTRATION

Programming Filter Cycles: You may choose to filter the spa 1, 2 or 3 times per day as required to keep the water clean and sanitary. Press and hold the Pump 1 Key. The current setting will be displayed as F1, 2 or 3. Press and hold the Temperature Set Key to increase or decrease the frequency of the filtration cycles per day. The filter cycle is now set. The cycles will repeat every 8, 12 or 24 hours within a 24-hour period **starting from the time programmed**. It is recommended to schedule the filtration cycles so they do not interfere with sleeping hours.

Programming Filter Cycle Duration: You may choose to filter your spa 1 - 8 hours per cycle as required to keep the water clean and sanitary. Press and hold the Light key for 5-seconds. The current duration of the filter cycle will be displayed as D1 -8. Press and hold the Temperature Set key to increase or decrease the duration of the filter cycle. The duration is now set. To start a filter cycle immediately, press the Light key while the duration setting is still displayed.

Note: If a key is not pressed within 5 seconds during programming, the system will revert back to the monitoring mode. If the Pump and/or light were turned on during the programming process, turn them off. The system will revert back to display the water temperature within 5 seconds.

ADDITIONAL FEATURES

Smart Winter Mode: If the system detects ambient conditions below a preset factory setting, the system will automatically activate the Smart Winter Mode for a period of **24 hours**. In this mode, if a pump has not been powered in the last 2 hours, the system will turn it on for one minute to prevent freezing. The Filter Mode light indicator will flash while the pump is running in this mode. **Note: If you notice the pump coming on every 2 hours. This is the most likely cause. This will continue for a 24-hour period. This is normal and is the systems protection against freezing.**

Over Temperature Protection: If the water temperature exceeds 112°F at the Temperature sensor 3 flashing dots will appear below the temperature display and the heater as well as all other outputs will shut off. After the water has cooled down power to the spa must be cycled on then off to reset the system. If the spa water temperature does not seem to be elevated, the error indication may have been caused by poor water flow or electrical line interference (thunder storms, voltage surges, etc.). Simply reset and monitor the system.

Power-Up Detection: Upon first powering the system or if a power outage occurs, the display will flash until a key is pressed. This feature also lets the user know there has been a power failure.

ERROR INDICATION

To assist the user in identifying problems with the spa, the system will display an error message. These messages will be helpful when communicating with your local dealer or qualified technician if a problem should arise.

FLC

PRESSURE or FLOW SWITCH ACTIVATED - This error will be displayed only when the pump is not activated. Cycle the pump through Low & High speeds then off. If the error does not clear this is an indication that the pressure or flow switch is activated with no water flow.

Contact your local spa dealer

FLO

PRESSURE or FLOW SWITCH NOT ACTIVATED - This error will be displayed while the is pump running. Cycle the pump through Low & High speeds. If the error does not clear this is an indication that the pressure or flow switch has not activated although there is water flow.

Contact your local spa dealer

Prr

TEMPERATURE SENSOR MALFUNCTION - This error will occur when a problem with the temperature sensor exists. This error may also occur if the system is activated while the water temperature is below 35°F.

Contact your local spa dealer

OVERHEAT or HIGH-LIMIT PROTECTION - There are three(3) stages of over-temperature:

OH

1 - The spa water has exceeded 112°F. The heater, pump and accessory will be deactivated until the water cools to 109°F. *Be sure to check the actual water temperature with an accurate thermometer.*

HL

2 - The spa water has exceeded 119°F. The heater will deactivate while the pump and accessory will still operate. *The blower (if equipped) can be activated to help cool the water. **WATER MUST BE BELOW 119°F AND POWER MUST BE RESET TO CLEAR THE "HL" ERROR***

A dirty spa filter can also cause a restricted flow of water, be sure the filter is cleaned regularly and ensure all water shutoff valves are open.

If the system has been operating normally until now, the pump may be overheating the spa. Refer to "Programming Filtration" on page X and reduce the duration and/or number of cycles per day.

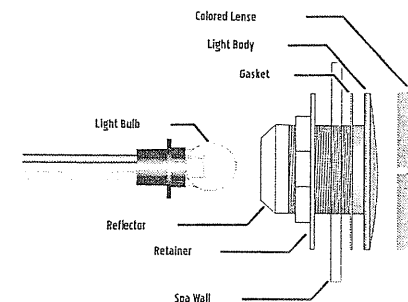
3 - If you've eliminated items 1 & 2 as problems, the high-limit sensor may have malfunctioned.

Contact your local spa dealer

SPA LIGHT

Your control may contain a high intensity, low voltage light to enhance nighttime use.

This illustration shows how and where to find the bulb for replacement. It also shows the mounted spa light with a replacement (colored) lens. Colored lenses will further the enhancement of the light. Simply snap on or off to change the mood of your spa.



OPERATIONAL CONSIDERATIONS

The following describes situations you may encounter and situations to be aware of.

WARM WEATHER CONDITIONS

Since your spa will normally be expected to maintain warm to hot water to be ready for your use, a great deal of attention has been directed to the **energy conservation** detail of insulation so as to keep electrical costs down. This **energy conservation efficiency** may be achieved by extensive insulation of the skirt, plumbing and spa shell, and in some climates full foam insulation may have been provided.

This **energy conservation** feature may cause an inconvenience during warmer times of the year. During warm periods of the year, the temperature within the equipment compartment can elevate to a point that the pump will automatically turn off for a short period of time (15-30 minutes) to allow the pump to cool down before automatically restarting. This cool down feature will not harm your spa but serves only to protect the pump from damage and as an indicator that it is too hot. To minimize this occurrence, refrain from using your Hydrotherapy Jets for prolonged periods of time during warm seasons.

The jet pump chosen for your spa has been specifically sized for *maximum performance* and your Hydrotherapy enjoyment.

FILTRATION

Please refer to your Spa Manufacturer's owner's manual regarding the operation, maintenance and cleaning of your filtration system.

Dirty or clogged filters can cause flow restrictions and you may experience difficulty in reaching and/or maintaining desired heat levels.

FREEZE PROTECTION & WINTERIZING

When freezing weather and/or power losses are expected, contact your local spa dealer for freeze protection or winterizing recommendations for both the spa and the equipment system. Freeze related damage is not covered by the Hydro-Quip warranty.

CHEMICAL WATER TREATMENT

Your dealer is familiar with local water conditions and which chemicals are compatible with the water and are designed specifically for your spa. This is the best person to advise you on proper water quality management.

The one thing you can do to insure years of trouble free equipment operation is to maintain proper water chemistry.

Two basic goals of the chemical water treatment are sanitizing and balancing the water.

Sanitizing simply means keeping the water free from living microorganisms including algae, bacteria and viruses. The current most popular chemicals for sanitizing include chlorine, bromine and ozone.

Balancing water means establishing a balance among pH, total alkalinity and total hardness. Water that is unbalanced can corrode the spa and it's support equipment or leave deposits of minerals. Properly balanced water is essential to allow the sanitizing chemical to work effectively. There are numerous chemical additives to help you in controlling pH, total hardness and total alkalinity. **NEVER** use softened water when filling your spa. Softened water is extremely corrosive to the metal parts of the spa equipment and may lead to an unforeseen failure.

Sometimes, despite your most diligent efforts, your water may become too far out of balance to be managed chemically. At this point it is probably better to drain and clean the spa and start over with fresh water.

Equipment failure caused by improper water chemistry will not be covered under warranty.

TROUBLESHOOTING

The following describes situations and possible solutions to common problems you may encounter as a spa owner.

NOTHING OPERATES

Main Breaker is OFF - Set to On.

Sub-Panel Breaker Off - Set to On.

Equipment GFCI Off - Set to On.

Power switch in Off position - Set to On.

Components not plugged in - Plug in components.

Power cord not plugged in - Plug in power cord.

Over or High Temperature Protection On - Refer to Section 3

NO, LOW OR SURGING WATER FLOW

Air Lock in Plumbing System - "Bleed" the system.

Restricted Flow - Insure that the water shut-off valves are open and that suction fittings are not blocked by debris.

Dirty Filter - Clean or replace filter.

Low Water Level - Increase water level to recommended level.

NO LOW SPEED PUMP OPERATION

Low Level Programming Incorrect - Contact your local dealer.

Over or High Temperature Protection On - Press button to reset.

Pump Not Plugged-In - Plug in the Pump.

NO JETS OR BLOWER OPERATION

Blower or Pump Not Plugged-In - Plug in the Blower or Pump.

Over or High Temperature Protection On - Press button to reset.

NO THERAPY JET OPERATION

Water Shut-Off Valves are Closed - Open Shut-Off valves.

Dirty Filter - Clean or replace filter.

Jets Not Properly Adjusted - Adjust Jets properly.

Diverter Valve Not Properly Adjusted - Adjust diverter valve properly.

Thermal Overload Tripping - Check for restricted flow of water.

Over or High Temperature Protection On - Press button to reset.

WATER LEAKS

- Spa Overfilled - *Adjust water level.*
- Too Many People in the Spa - *Adjust water level.*
- Drain-Valve Left Open - *Close drain valve.*
- Couplings or Unions Loose - *Tighten or contact your local dealer.*
- Pump Seal Leaking - *Contact your local dealer.*
- Plumbing / Connections Leaking - *Contact your local dealer.*
- Water Leaking from Spaside Control - *Contact your local dealer.*
- Water in Air Blower Plumbing - *Contact your local dealer.*

NO HEAT

- Temperature Not Set Correctly - *Adjust Set Point.*
- Over or High Temperature Protection On - *Press button to reset.*
- Current Limiting On - *120V Systems will not heat if High Speed or Blower is on. Contact your local dealer.*
- No Power - *Reset breaker at service panel.*
- Low Water Flow - *Clean or Replace filter.*
- Pressure Switch Not Adjusted Properly - *Contact a qualified technician.*

HIGH HEAT

- Temperature Sensor Not in Dry-Well - *Place sensor in dry-well.*
- Temperature Set Too High - *Adjust Set Point.*
- High Ambient Temperature - *Remove spa cover.*

GFCI TRIPS OCCASIONALLY

- Lightning or Electrical Storm, Power Surge, Extremely Humid Conditions, or Radio Frequency Interference - *Reset GFCI.*
- NOTE: GFCI must be properly grounded and bonded.*

GFCI TRIPS IMMEDIATELY

- Defective Component - *Contact a qualified service technician or the factory for assistance.*


NO LIGHT OPERATION

- Light Bulb Defective - *Replace bulb or contact your local dealer.*
- Reflector has Fallen Off - *Replace deflector or contact your local dealer.*
- Light Not Plugged-In - *Plug in the Light.*

SYSTEM DATA LABEL

The system data label is located on the control box. This label is very important and contains information you will need to establish your electrical service. The voltage and amperage ratings are shown on the bottom of the label. Product, Model, Serial and Code numbers are also shown on the label.

Note: This information will be necessary if you should ever have to request warranty or any other type of service.

 HYDROQUIP™ THE SMART CHOICE™ <small>Corona, CA 92880 www.hydroquip.com</small>	ORDER CODE: CS7100 - CS7500
	MODEL: XXXXXXXX-XXXXXXX
	CODE: XXXX-XXXX-XXX
	VOLTS: 120 240
	AMPS: SEE RATINGS LABEL
	PRODUCT: HQXXXX
REFER TO NEC FOR BREAKER SIZING	

BAO BAO INVESTMENT INC.
 PORTLAND, MAINE

17 CODMAN STREET
 APARTMENT
 RENOVATIONS

DRAWING SCHEDULE :

CS	COVER SHEET
G1	GENERAL NOTES & SPECS.
G2	GENERAL NOTES & SCHEDULES
L1	LOT PLAN
A1	FIRST FLOOR PLAN
A2	THIRD FLOOR PLAN
A3	DECK PLAN & DETAILS
A4	GAZEBO PLAN & DETAILS
A5	FRONT PORCH & BRIDGE DETAILS

GENERAL NOTES :

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DESIGN TECH. INC.
BUILDING & DESIGN

JIM BERNIER
STRUCTURAL & ARCHITECTURAL DETAILER

31 SABATUS LANE, WINDHAM MAINE 04062
 PH# (207)894-5318 FAX# (207)894-5318

NOTE: NOT A LICENSED ENGINEER OR ARCHITECT

BAO BAO INVESTMENT INC.
 PORTLAND, MAINE

17 CODMAN STREET
 APARTMENT
 RENOVATIONS

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 City of Portland Maine

REVISIONS :

- △ 6/15/10 - L1 - LOT PLAN
- △ 6/15/10 - A2 - THIRD FLOOR PLAN
- △ 6/15/10 - A4 - BRIDGE & GAZEBO

DRAWING SCHEDULE :

CS	COVER SHEET
G1	GENERAL NOTES & SPECS.
G2	GENERAL NOTES & SCHEDULES
L1	LOT PLAN
A1	FIRST FLOOR PLAN*
A2	THIRD FLOOR PLAN
A3	DECK PLAN & DETAILS
A4	GAZEBO PLAN & DETAILS
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NOTE: NOT A LICENSED ENGINEER OR ARCHITECT

CONTRACTOR:
BAO BAO INVESTMENT INC.

DESIGN TECH. INC.
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PROJECT: CODMAN STREET RENOVATION
PORTLAND MAINE

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DATE: 6/11/10
SCALE: (U.O.N.)
DRAWN BY: JTB
CHECKED BY: JTB
REVISIONS:

DESCRIPTION:
GENERAL NOTES
AND
SPECIFICATIONS

1. DRAWINGS ARE FOR REPRESENTATION ONLY.
2. ALL ELEVATIONS & DIMENSIONS ARE TO BE VERIFIED W/ THE OWNER & GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.

GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO:
BOCA NATIONAL BUILDING CODE 1996
IRC RESIDENTIAL CODE FOR ONE & TWO FAMILY DWELLINGS 2009
IPC PLUMBING CODE 2009
NEC ELECTRICAL CODE NFPA 70 2008

ANY DISCREPANCIES BETWEEN THE ABOVE LISTED CODES AND THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR & DESIGNER FOR CLARIFICATION BEFORE PROCEEDING WITH AFFECTED WORK.
2. ALL WORK SHALL BE PERFORMED BY PERSONS QUALIFIED IN THEIR TRADE AND LICENSED TO PRACTICE SUCH TRADE IN THE STATE IN WHICH THE PROJECT IS LOCATED.
3. THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS IN ADDITION TO SPECIFICATIONS AND ANY SHOP DRAWINGS PROVIDED BY SUBCONTRACTORS AND SUPPLIERS.
4. ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR (G.C.) AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
5. UNLESS OTHERWISE NOTED, DETAILS, SECTIONS, AND NOTES SHOWN ON ANY DRAWING SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR DETAILS.
6. ALL SHOP DRAWINGS PROVIDED BY OTHERS SHALL BE SUBMITTED TO THE DESIGNER FOR REVIEW PRIOR TO FABRICATION OF MATERIAL OR THE PURCHASE OF NON-RETURNABLE STOCK. PRELIMINARY REVIEW IS THE CONTRACTOR'S RESPONSIBILITY.
7. SECTION R321 DWELLING UNIT SEPARATION
DWELLING UNITS SHALL BE SEPARATED FROM EACH OTHER BY WALL AND/OR FLOOR ASSEMBLIES OF NOT LESS THAN 1-HOUR FIRE RESISTIVE RATING WHEN TESTED IN ACCORDANCE WITH ASTM E 119. FIRE RESISTANCE RATED FLOOR-CEILING AND WALL ASSEMBLIES SHALL EXTEND TO AND BE TIGHT AGAINST THE EXTERIOR WALL AND WALL ASSEMBLIES SHALL EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING.
8. REPAIRS SHALL CONFORM TO THE REQUIREMENTS OF SECTION A.J301 IN ACCORDANCE WITH THE IRC 2009
9. RENOVATIONS SHALL CONFORM TO THE REQUIREMENTS OF SECTION A.J401 IN ACCORDANCE WITH THE IRC 2009
10. ALTERATIONS SHALL CONFORM TO THE REQUIREMENTS OF SECTION A.J501 IN ACCORDANCE WITH THE IRC 2009
11. RECONSTRUCTIONS SHALL CONFORM TO THE REQUIREMENTS OF SECTION A.J601 IN ACCORDANCE WITH THE IRC 2009
12. SMOKE DETECTORS SHALL BE PROVIDED WHERE REQUIRED BY SECTION R317.1.1 IN ACCORDANCE WITH THE IRC 2009.

DESIGN LOADS

1. THE STRUCTURE IS DESIGNED IN ACCORDANCE WITH BOCA 1996 TO CARRY ALL DEAD LOADS OF THE VARIOUS STRUCTURAL, ARCHITECTURAL, AND OTHER SYSTEMS AND THE FOLLOWING MINIMUM LIVE LOADS.

BASIC SNOW LOAD	60 PSF
FLOOR LIVE LOAD	50 PSF
WIND SPEED & EXPOSURE	90 MPH, EXPOSURE "B" Aa=0.12, Av=0.12

WOOD FRAMING

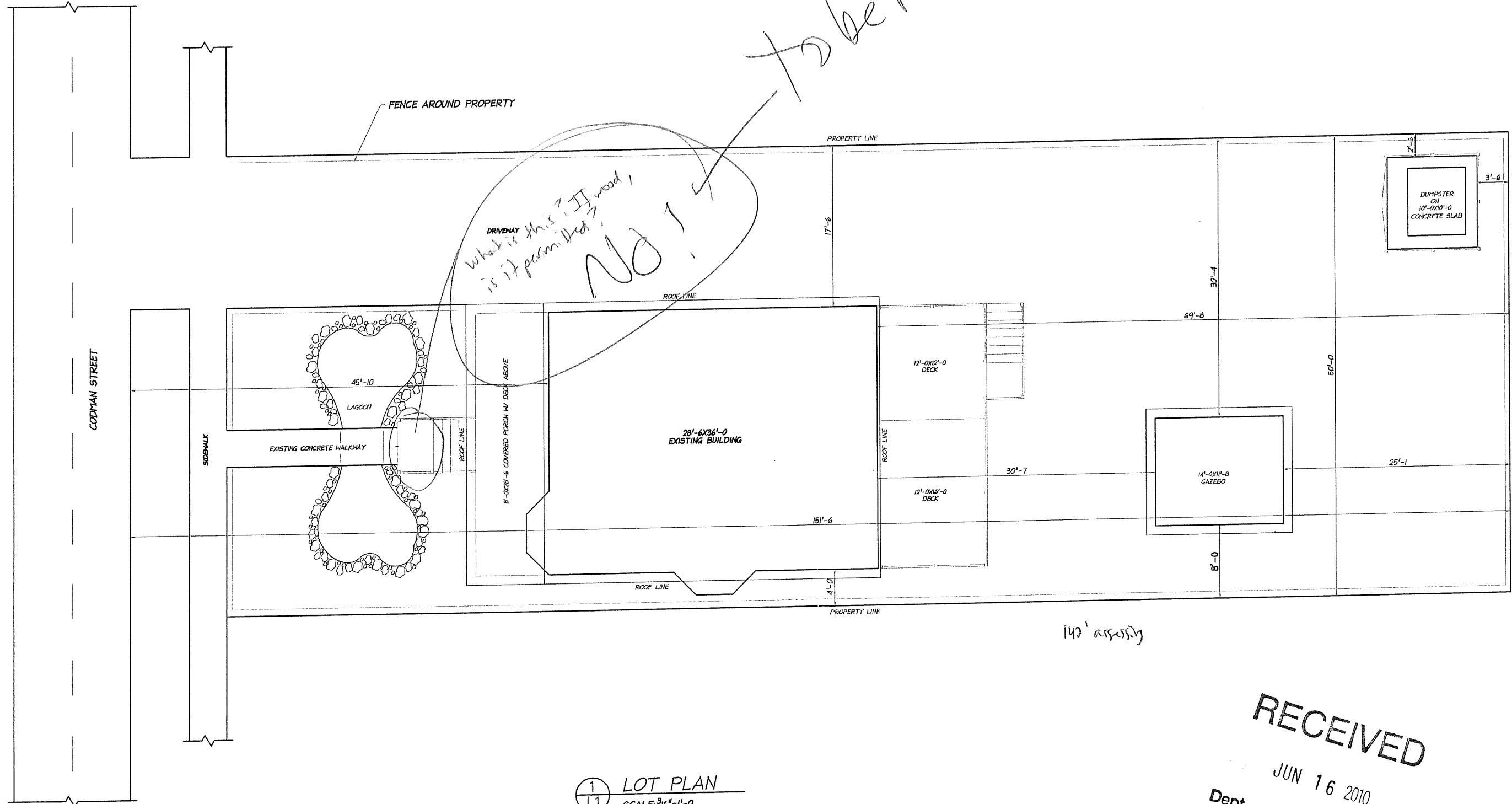
1. ALL ROUGH FRAMING SHALL BE NO. 2 OR BETTER SPRUCE-PINE-FIR, UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE DRAWINGS.
2. ALL 2" NOMINAL LUMBER TO BE SEASONED TO 19% MAXIMUM MOISTURE CONTENT.
3. ALL LUMBER AND SHEATHING SHALL BE GRADE-STAMPED BY THE APPROPRIATE MANUFACTURER'S ASSOCIATION FOR THE APPROPRIATE USE.
4. ALL WOOD IN CONTACT WITH CONCRETE, MASONRY OR EARTH SHALL BE PRESSURE TREATED WITH A CCA-C 0.40 PROCESS.
5. ALL WOOD FRAMING SHALL BE BUILT PLUMB, LEVEL, SQUARE AND TRUE WITH ADEQUATE BRACING AND CONNECTION HARDWARE TO ENSURE A RIGID STRUCTURE.
6. ROUGH CONNECTIONS SHALL BE ACCURATELY CUT AND TIGHTLY FITTED AS NECESSITATED BY THE CONDITIONS ENCOUNTERED TO PROVIDE FULL BEARING WITHOUT USE OF SHIMS.
7. ALL SHEATHING SHALL BE LAID WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS, UNLESS NOTED OTHERWISE. STAGGER ALL JOINTS.
8. ALL PLYWOOD SHALL BE NAILED 6" ON CENTER AT SUPPORTED PANEL EDGES AND @ 8" ON CENTER AT INTERMEDIATE SUPPORTS, UNLESS OTHERWISE SHOWN OR NOTED. (SPECIFIC SHEAR WALLS & DIAPHRAGMS)
9. ALL INTERIOR DOOR HEADERS SHALL CONSIST OF TWO 2X10'S WITH ONE LAYER OF 1/2" PLYWOOD SPACER WHEN BEARING AND SHALL CONSIST OF TWO 2X4'S WHEN NON BEARING.
10. ALL HEADERS OVER SIX FEET IN LENGTH SHALL REST ON DOUBLE STUD POSTS AS A MINIMUM, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
11. SIMPSON CONSTRUCTION HARDWARE (OR APPROVED EQUAL) SHALL BE FASTENED ACCORDING TO THE MANUFACTURE SPECIFICATIONS AND NAILING SCHEDULE.
12. UNLESS NOTED OTHERWISE, MINIMUM FASTENING OF WOOD MEMBERS SHALL CONFORM TO TABLE 23052 OF BOCA.
13. ALL PLYWOOD OR OSB SHALL BE APA RATED AND SHALL BE ADEQUATELY SPACED AT JOINTS (8" TYP) AS REQUIRED BY APA FOR EXPANSION. THIS INCLUDES ROOFS, WALLS, AND FLOORS.



To be removed

*What is this? If wood, is it permitted?
NO!*

140' assy



①
L1
LOT PLAN
SCALE: 3/16" = 1'-0"
6/15/10 BRIDGE & GAZEBO

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DESIGN TECH. INC.
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STRUCTURAL & ARCHITECTURAL DETAILER
31 SABATIS LANE, WINDHAM MAINE 04062
PH# (207)894-5318 FAX# (207)894-5318
NOTE: NOT A LICENSED ENGINEER OR ARCHITECT

PROJECT:
CODMAN STREET RENOVATION
PORTLAND MAINE

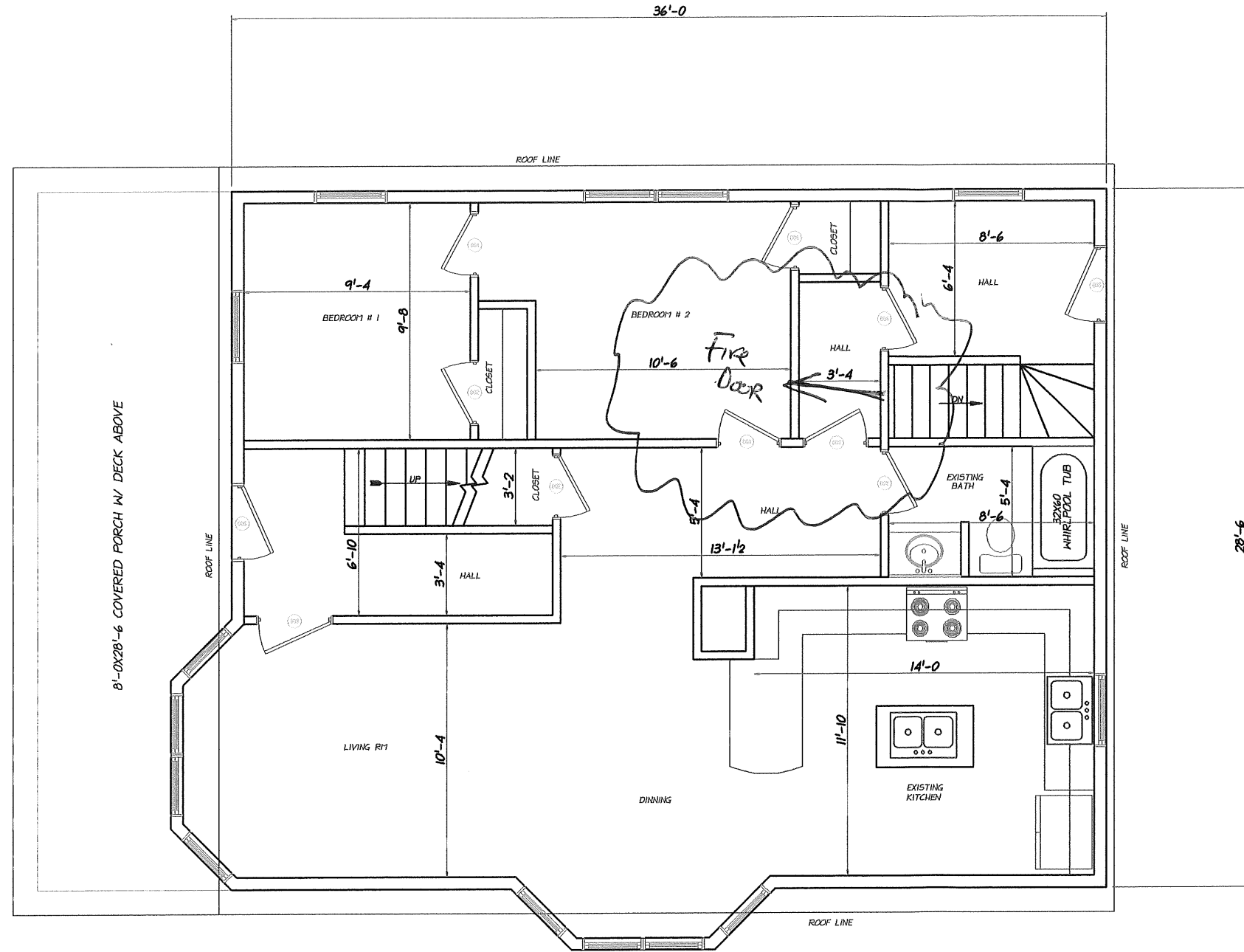
DATE: 6/11/10
SCALE: 3/16" = 1'-0" (U.O.N.)
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CHECKED BY: JTB
REVISIONS:
1. 6/15/10 BRIDGE & GAZEBO

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DISCUSSION:
LOT PLAN

1. DRAWINGS ARE FOR REPRESENTATION ONLY.
2. ALL ELEVATIONS & DIMENSIONS ARE TO BE VERIFIED W/ THE OWNER & GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.

L1



1
A1 FIRST FLOOR PLAN
SCALE: 3/8" = 1'-0"

GENERAL NOTES :

1. EXTERIER WALLS - 2x6
2. INTERIER WALLS - 2x4
3. ALL INTERIOR WALLS HAVE 1/2" PLASTER FINISH WALLS
4. ALL INTERIOR MEASUREMENTS ARE ROUGH DIMENSIONS. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE G.C. PRIOR TO ANY RENOVATION.

SCOPE OF WORK

1. REPLACE AS NEEDED, ALL INTERIOR PINE DOORS, OR TO CONFORM TO THE IRC 2009 CODE
2. REPLACE AS NEEDED, ALL UNIT ENTRY DOORS WITH 90 MIN. FIRE RATED TO CONFORM TO THE IRC 2009 CODE.
3. ALL TRIM SHALL BE REPAIRED OR REPLACED AS NEEDED WITH MATCHING PINE STOCK AND PROFILE.
4. ALL WALLS SHALL BE PATCHED, REPAIRED OR REPLACED AS NEEDED. ALL NEW WALLS OR ANY THAT HAVE BEEN STRIPPED OF ITS ORIGINAL DRYWALL OR PLASTER MUST CONFORM TO 1 HOUR FIRE RATING DIVIDING UNIT DWELLINGS.
5. ALL WALLS SHALL RECIEVE A NEW COAT OF PAINT.
6. ALL TRIM SHALL RECIEVE A NEW COAT OF PAINT.
7. ANY STAIR OR STAIR RAIL THAT NEEDS REPAIRING OR REPLACING MUST CONFORM TO THE IRC 2009 CODE.
8. REPAIR OR REPLACE ANY FLOORING TILE AS NEEDED.
9. REPAIR OR REPLACE ANY DOOR THRESHOLDS AS NEEDED.
10. EXISTING STAIR RAIL TO BE REPLACED WITH OAK HANDRAIL AND SPINDLE BALLUSTERS, RAIL SHALL NOT BE GREATER THAN 36" TALL WITH BALLUSTERS NOT TO EXCEED 4" BETWEEN.

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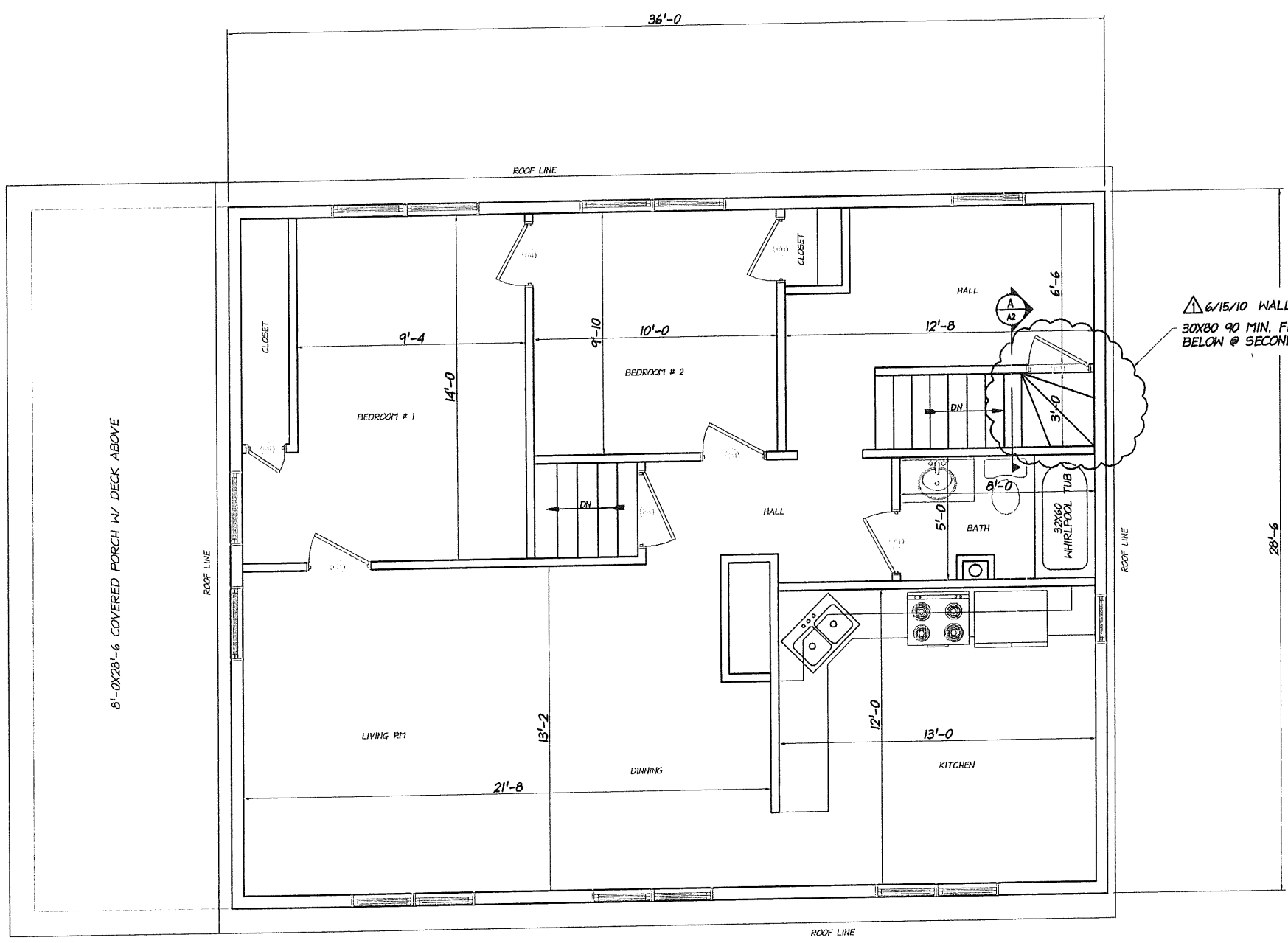
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PROJECT: CODYAN STREET RENOVATION
PORTLAND MAINE
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SCALE: 3/8" = 1'-0" (U.O.N.)
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REVISIONS:

DISCRPTION:
FIRST FLOOR PLAN
1. DRAWINGS ARE FOR REPRESENTATION ONLY.
2. ALL ELEVATIONS & DIMENSIONS ARE TO BE VERIFIED W/ THE OWNER & GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.

A1



8'-0x28'-6 COVERED PORCH W/ DECK ABOVE

1
A2
THIRD FLOOR PLAN
SCALE: 3/8" = 1'-0"
6/15/10 WALL TYPE A

GENERAL NOTES :

1. EXTERIER WALLS - 2x6
2. INTERIER WALLS - 2x4
3. ALL INTERIOR MEASUREMENTS ARE ROUGH DIMENSIONS. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE G.C. PRIOR TO ANY RENOVATION.

SCOPE OF WORK

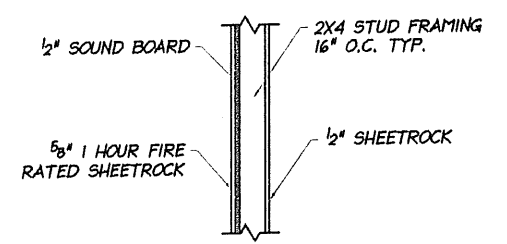
1. REPLACE AS NEEDED, ALL INTERIOR PINE DOORS, OR TO CONFORM TO THE IRC 2009 CODE
2. REPLACE AS NEEDED, ALL UNIT ENTRY DOORS WITH 90 MIN. FIRE RATED TO CONFORM TO THE IRC 2009 CODE.
3. ALL TRIM SHALL BE REPAIRED OR REPLACED AS NEEDED WITH MATCHING PINE STOCK AND PROFILE.

WALLS TYPE-A

4. ALL WALLS SHALL BE PATCHED, REPAIRED OR REPLACED AS NEEDED. ALL NEW WALLS OR ANY THAT HAVE BEEN STRIPPED OF ITS ORIGINAL DRYWALL OR PLASTER MUST CONFORM TO 1 HOUR FIRE RATING DIVIDING UNIT DWELLINGS.

WALLS TYPE-B

5. EXISTING THIRD FLOOR WALLS WITH 1/2" PLASTER OVER LATHING STRIPS AND 3/8" SHEETROCK COVERING. TYPICAL UNLESS OTHERWISE NOTED
6. ALL WALLS SHALL RECIEVE A NEW COAT OF PAINT.
7. ALL TRIM SHALL RECIEVE A NEW COAT OF PAINT.
8. ANY STAIR OR STAIR RAIL THAT NEEDS REPAIRING OR REPLACING MUST CONFORM TO THE IRC 2009 CODE.
9. REPAIR OR REPLACE ANY FLOORING TILE AS NEEDED.
10. REPAIR OR REPLACE ANY DOOR THRESHOLDS AS NEEDED.
11. REPAIR, REPLACE OR FINISH KITCHEN TILE.
12. INSTALL NEW FLOOR AND WALL TILE IN BATHROOM.
13. REPAIR OR REPLACE DAMAGED KITCHEN CABINETS.



DETAIL
TYPE-A
A
A2

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PROJECT: CODYMAN STREET RENOVATION PORTLAND MAINE	NOTE: NOT A LICENSED ENGINEER OR ARCHITECT
DATE: 6/11/10 SCALE: 3/8" = 1'-0" (U.O.N.)	DRAWN BY: JTB CHECKED BY: JTB
REVISIONS: 6/15/10 WALL TYPE A	DESCRIPTION: THIRD FLOOR PLAN
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A2	

CONTRACTOR:
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DESIGN TECH. INC.
BUILDING & DESIGN

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PH# (207)894-5318 FAX# (207)894-5318

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PROJECT:
CODYAN STREET RENOVATION
PORTLAND MAINE

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SCALE: 1"=1'-0"
(U.O.N.)

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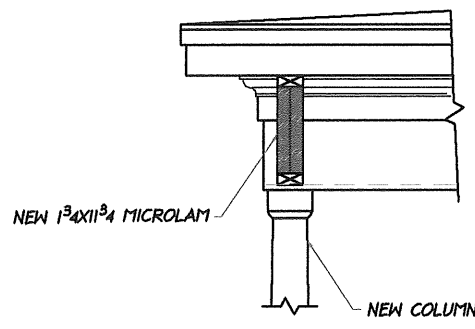
DATE: 6/11/10

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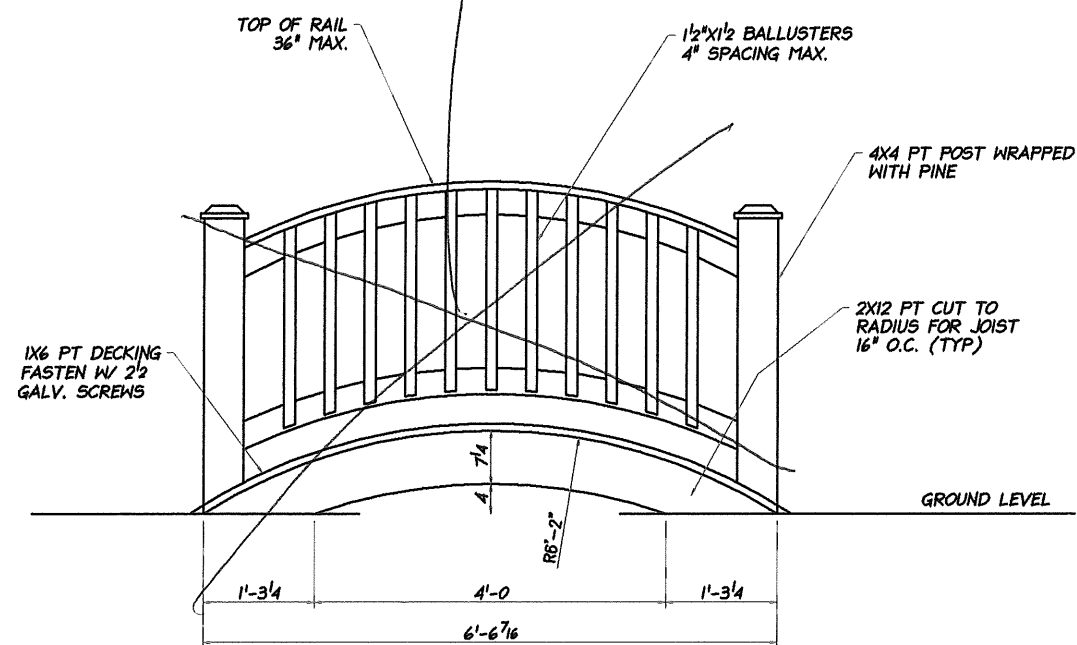
DESCRIPTION:
EXISTING FRONT PORCH DETAILS

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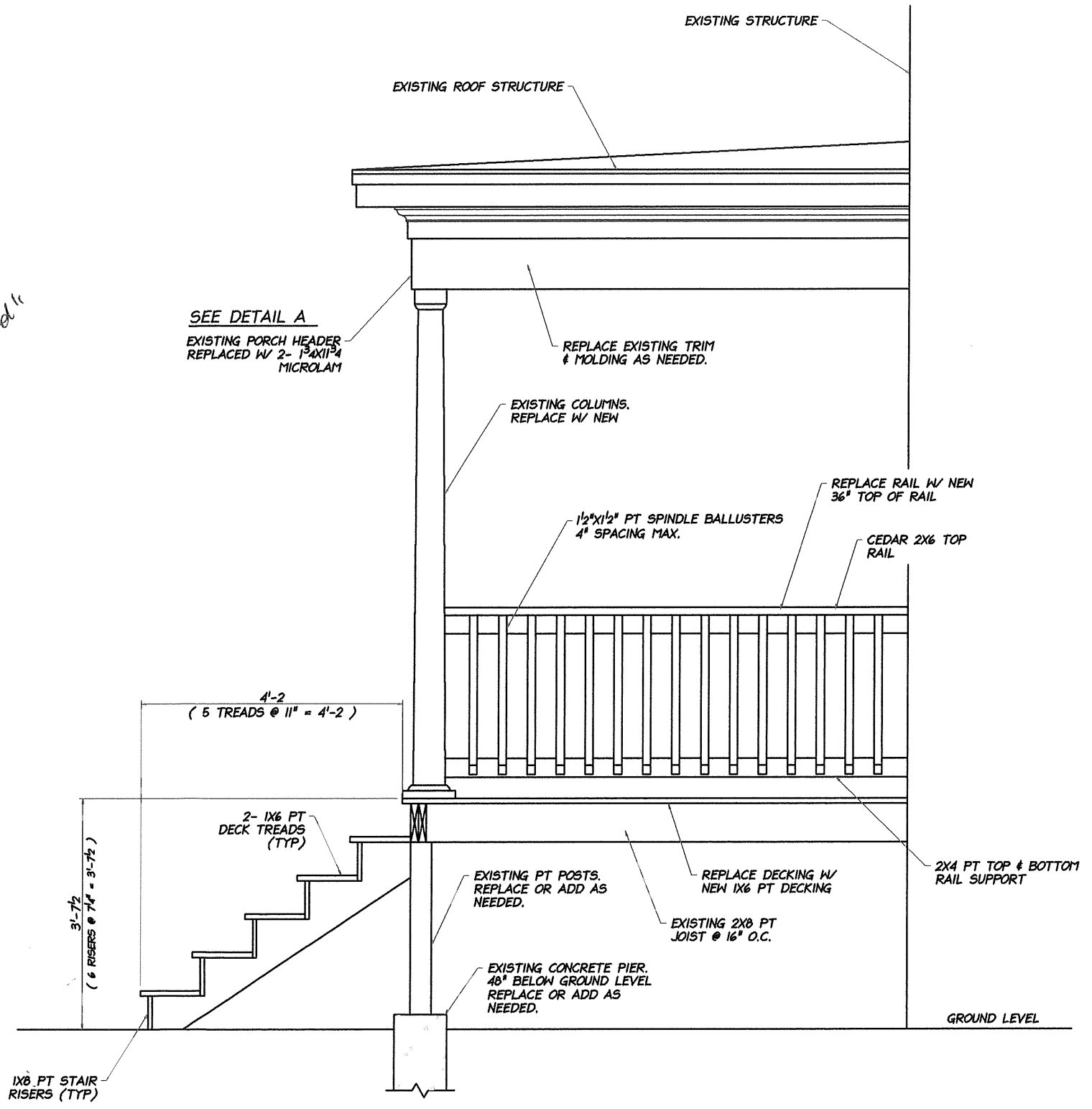


DETAIL A
A5

*not part of application
because was structure in front yard
- will be concrete walkway over "paved"*



2 NEW BRIDGE DETAIL
A5 SCALE: 1"=1'-0"



1 EXISTING PORCH DETAIL
A5 SCALE: 1"=1'-0"