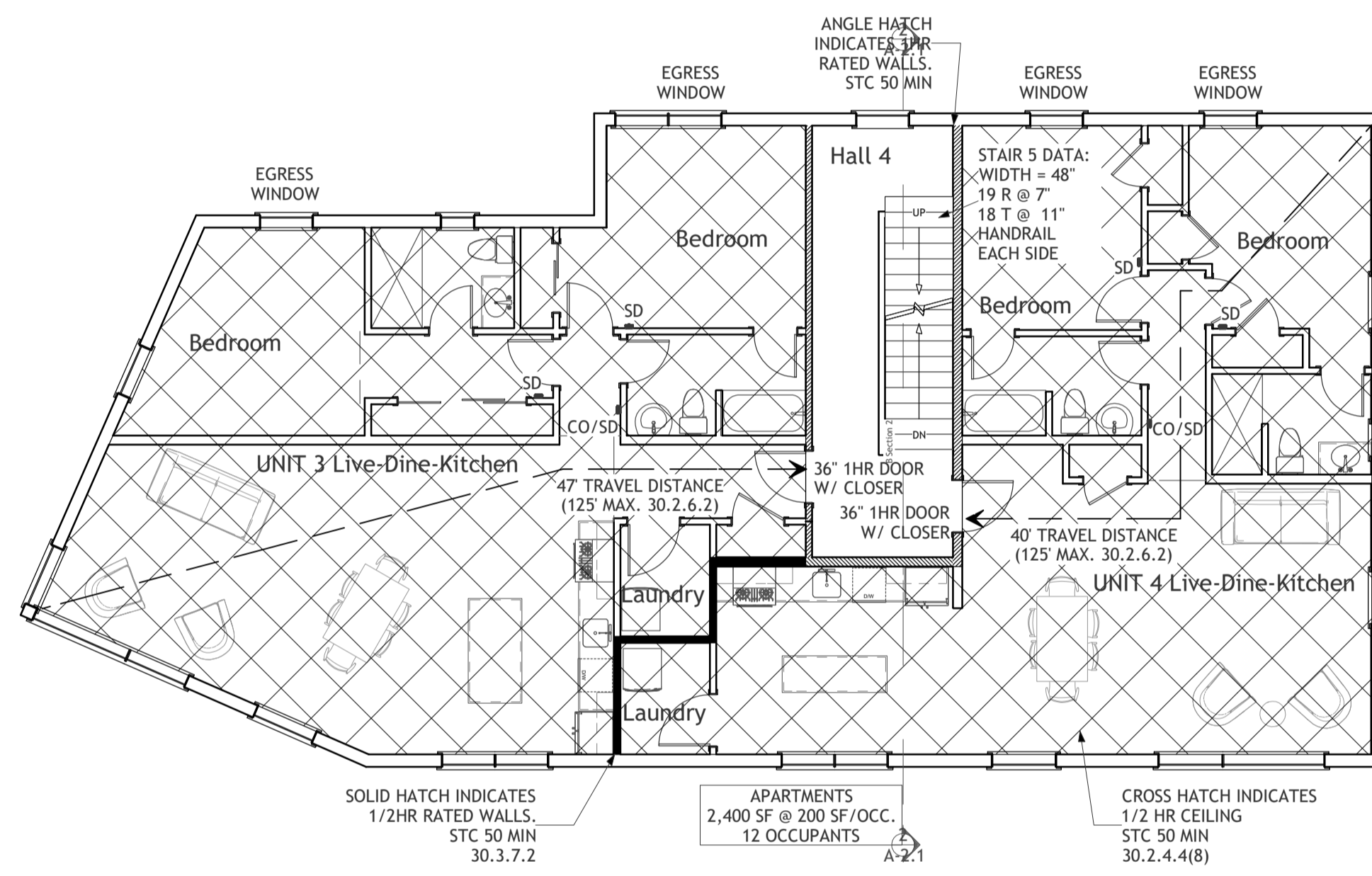
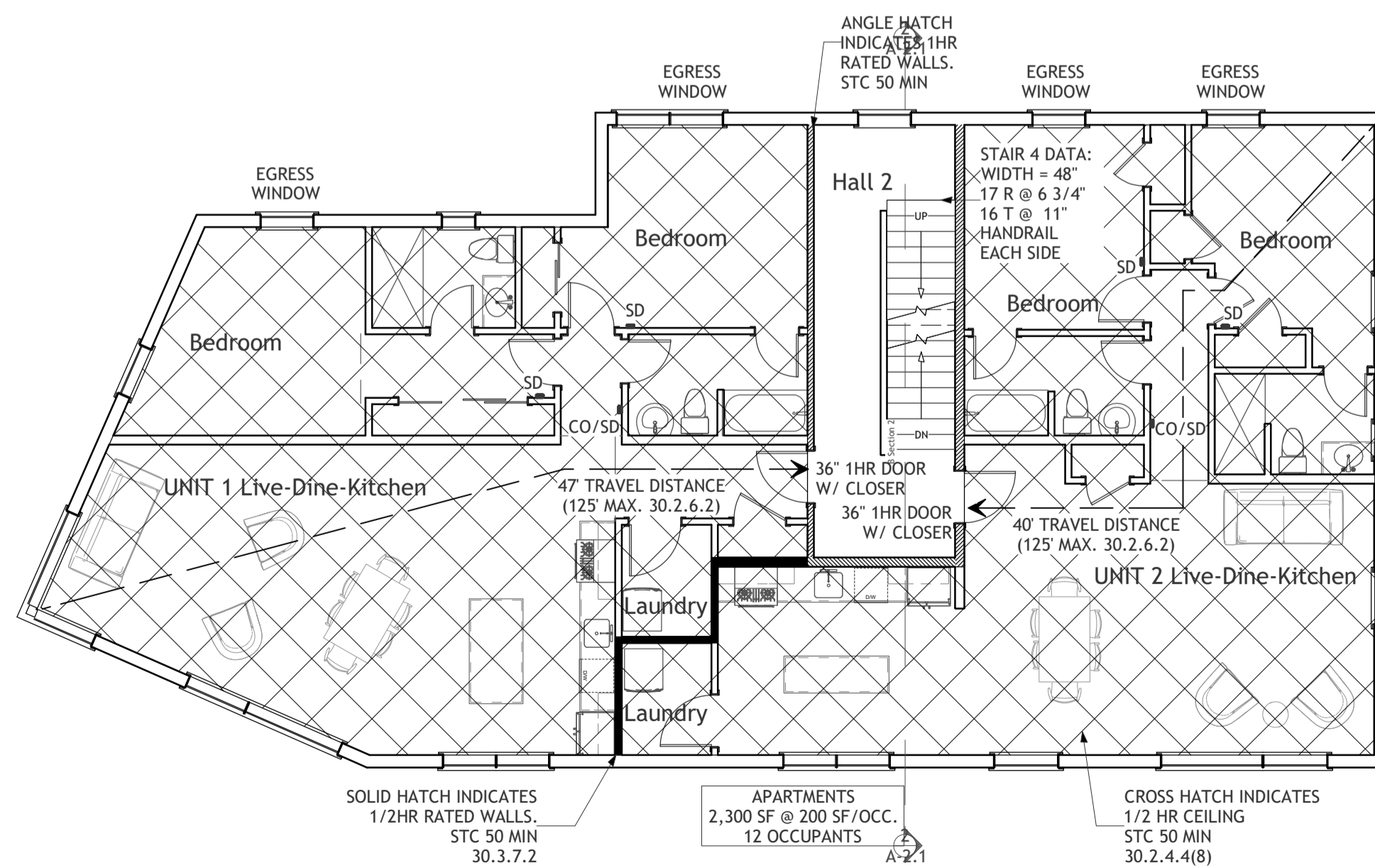


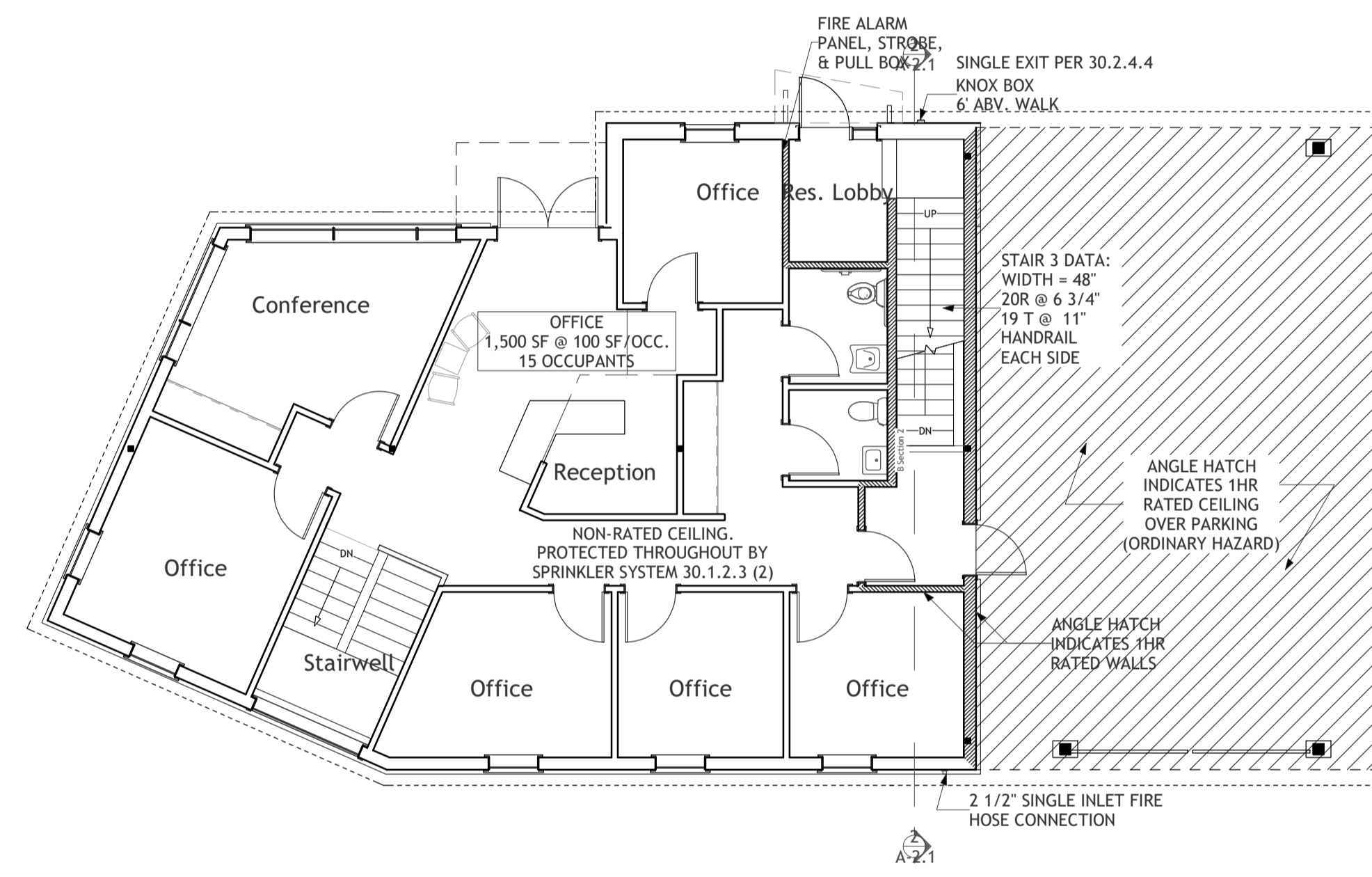
4 : Roof Plan : 1/8 in = 1 ft



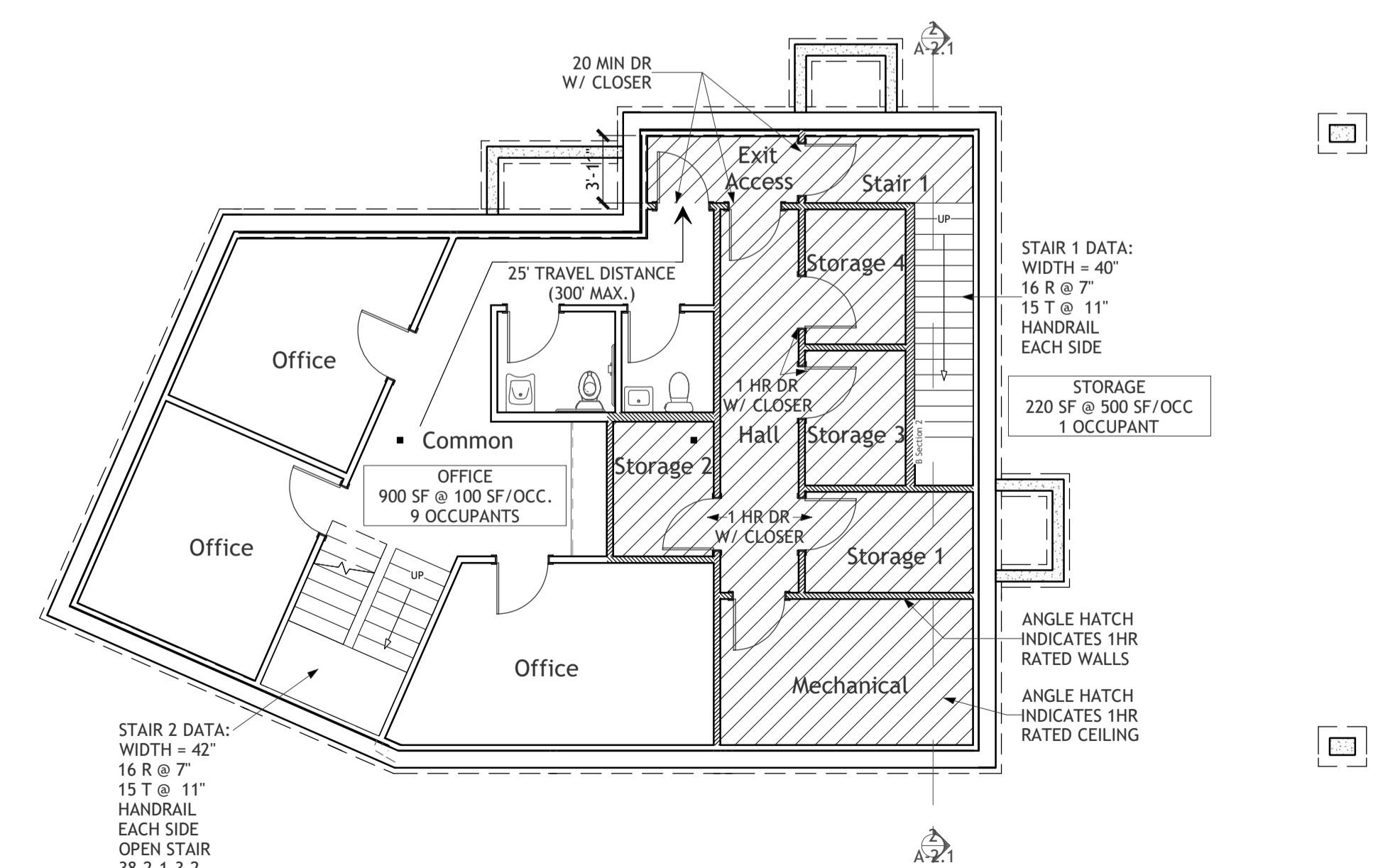
3 : Third Floor Plan : 1/8 in = 1 ft



2 : Second Floor Plan : 1/8 in = 1 ft



1 : First Floor Plan : 1/8 in = 1 ft



0 : Basement Plan : 1/8 in = 1 ft

**GENERAL NOTES:**  
FROM FINAL APPLICATION FIRE DEPARTMENT CHECKLIST

**APPLICANT:**  
Steven & Roberta Cope, 172 Concord St., Portland, ME 04103,  
207-415-5833

**ARCHITECT:**  
Kevin Moquin Architect, 29 Bedell St., Portland, ME 04103,  
207-615-6421, kevin@km-a.me

**USE:**  
IBC-BUSINESS B & RESIDENTIAL R-2  
NFPA-BUSINESS (CH 38) & APARTMENT BUILDING (CH 30)

**CONSTRUCTION TYPE:** V-B, SPRINKLERED

**BUILDING ELEVATIONS:** SEE SHEETS A2.1 AND A2.2

**OCCUPANT LOAD (TABLE 14.8.1.2):**  
49 TOTAL OCCUPANTS

BASEMENT = 10 OCCUPANTS  
OFFICE 900 SF @ 100 SF/OCC. 9 OCCUPANTS  
STORAGE 220 SF @ 500 SF/OCC. 1 OCCUPANT

FIRST FLOOR = 15 OCCUPANTS  
OFFICE 1,500 SF @ 100 SF/OCC. 15 OCCUPANTS

SECOND FLOOR = 12 OCCUPANTS  
APARTMENTS 2,300 SF @ 200 SF/OCC. 12 OCCUPANTS

THIRD FLOOR = 12 OCCUPANTS  
APARTMENTS 2,400 SF @ 200 SF/OCC. 12 OCCUPANTS

**SQUARE FOOTAGE (GROSS)**  
BASEMENT 1,700  
FIRST FLOOR 1,700  
SECOND FLOOR 2,620  
THIRD FLOOR 2,620  
TOTAL 8,640

**FIRE PROTECTION:**  
SPRINKLER SYSTEM TO BE TYPE 13 R SYSTEM.

SMOKE ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL UNIT. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.

HYDRANTS: NEAR CORNER OF OCEAN AVE. AND HERSEY ST. AS LOCATED ON SITE PLAN.

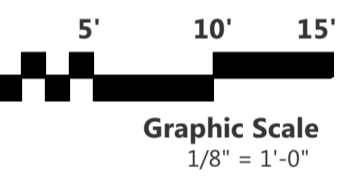
WATER MAIN: 8" MAIN, LOCATION IS SHOWN ON SITE PLAN.

ACCESS TO STRUCTURE: THE BUILDING IS ACCESSIBLE BY EQUIPMENT FROM THE FRONT ON OCEAN AVENUE, FROM HERSEY STREET ON THE SOUTH SIDE AND FROM THE PARKING AREA AT THE REAR SIDE.

DOOR AND WALL RATINGS FROM NFPA 101 TABLE 8.3.4.2 & NFPA 1 SECTION 14.3.1.

ONE EXIT FROM EACH DWELLING UNIT IBC 1021.1(EX.4) & TABLE 1021.2, NFPA 101-30.2.4.4

EMERGENCY LIGHTING NOT REQUIRED NFPA 101-30.2.9



**Kevin Moquin Architect**  
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(207)-615-6421

Revisions:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**23 Ocean**

Portland, ME

CODE REVIEW



**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
Subject to Conditions of Approval  
and Standard Conditions

DATE OF APPROVAL 10/2/2016  
PLANNER Neil Donaldson  
PROJECT NO. 2016-150

6/6/2016  
10/2/2016  
1 of 3