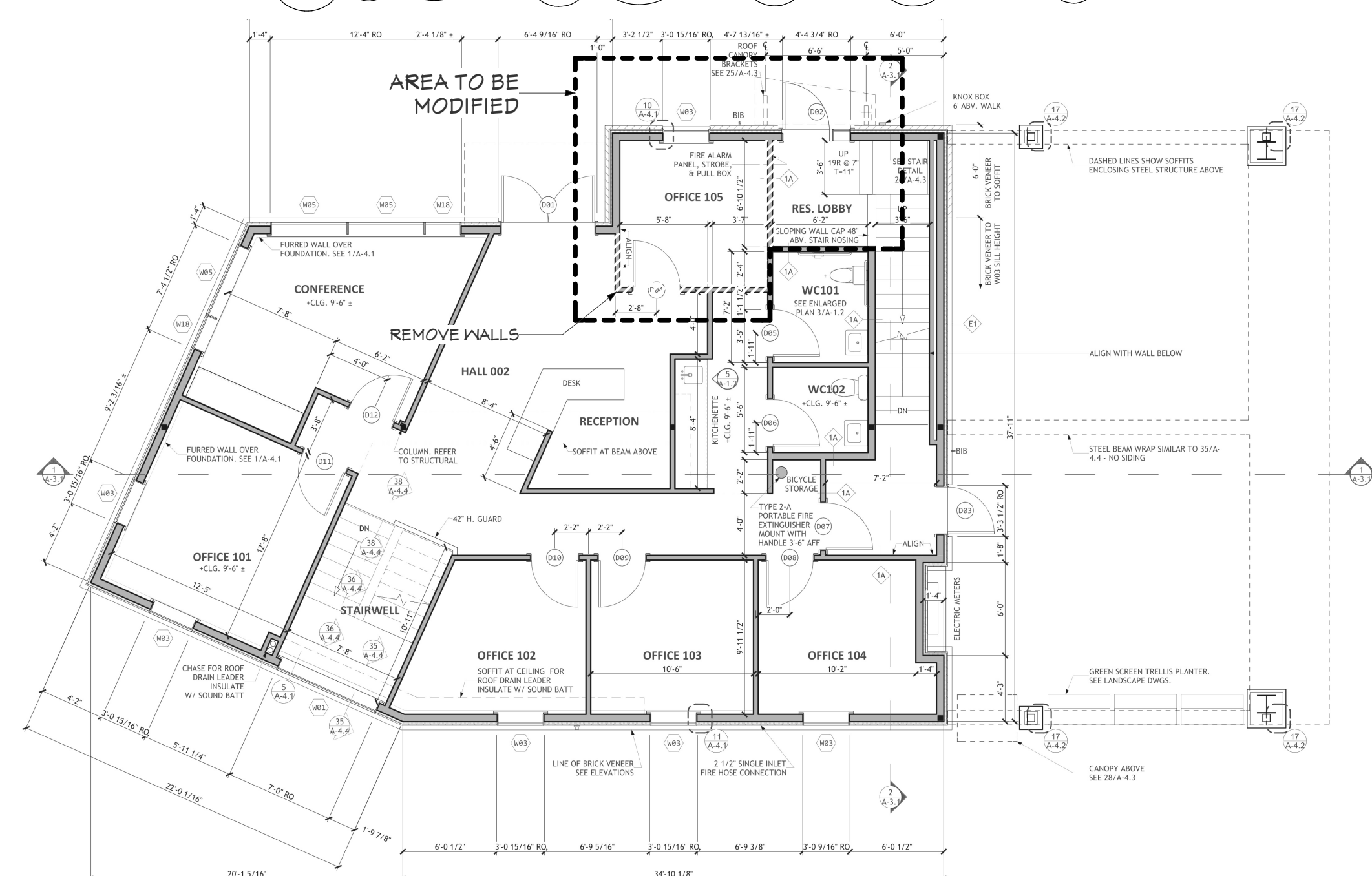
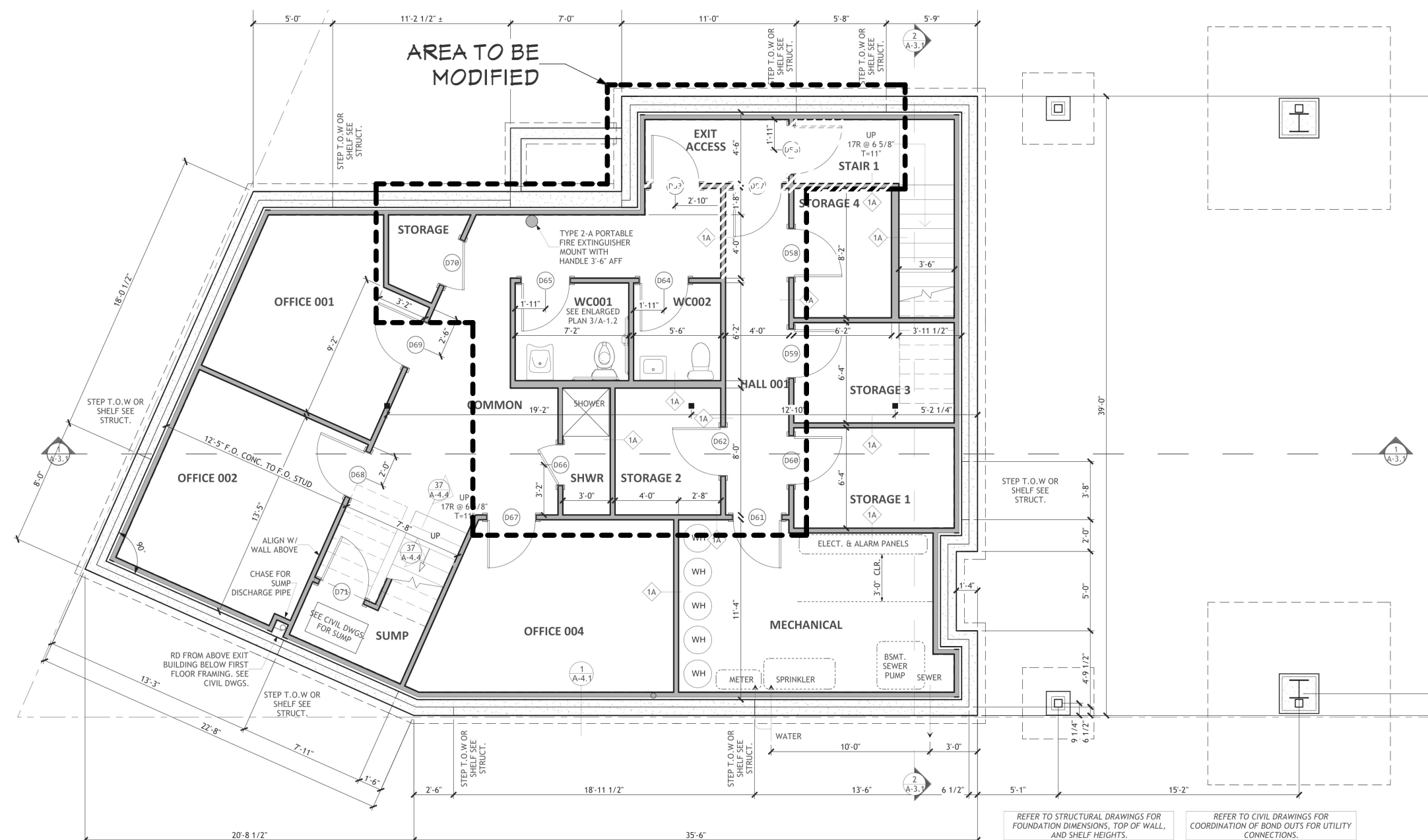


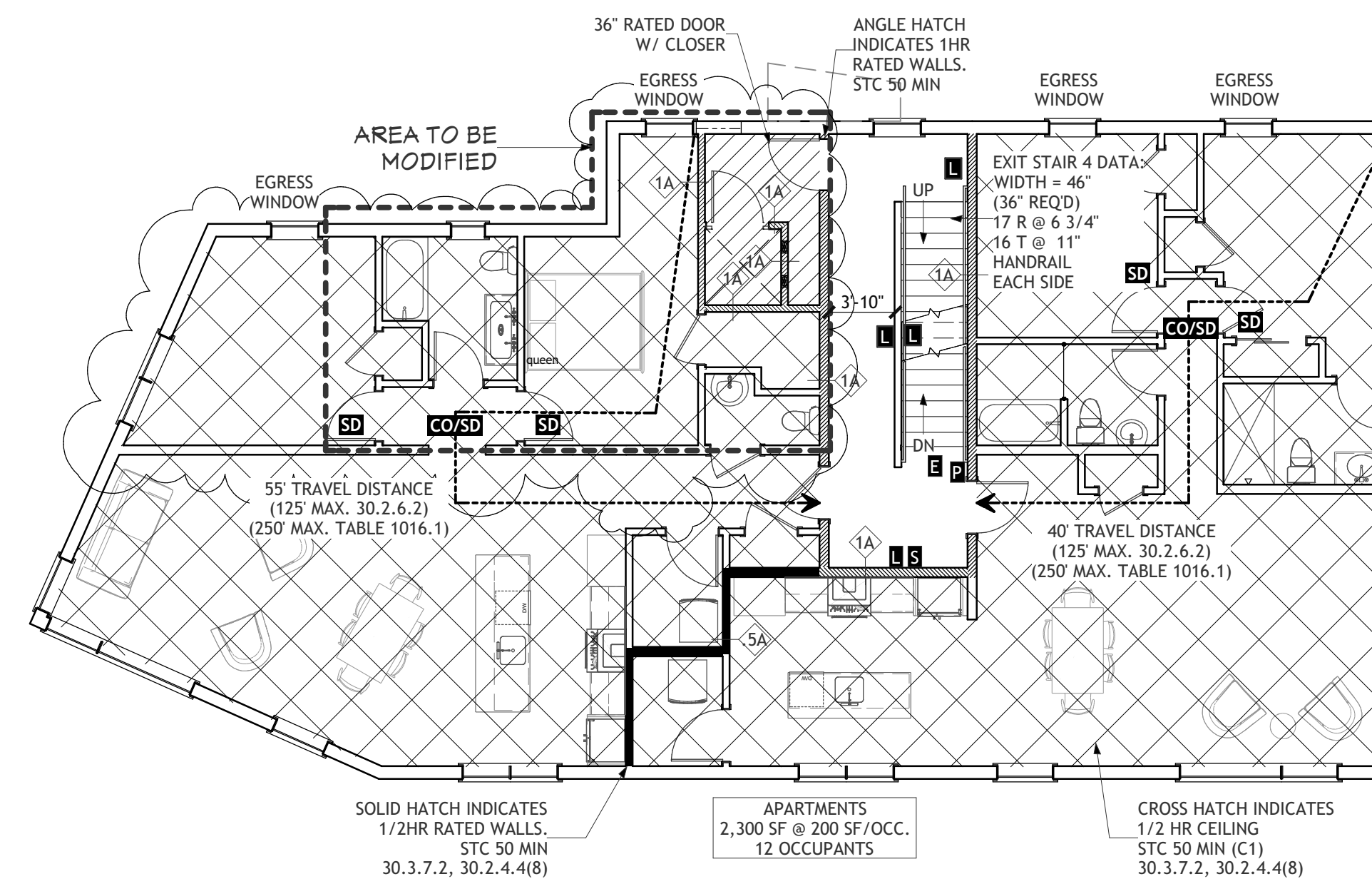
4-18-2018 2nd Floor Key/Existing Plan (as initially permitted) : 1/8 in = 1 ft



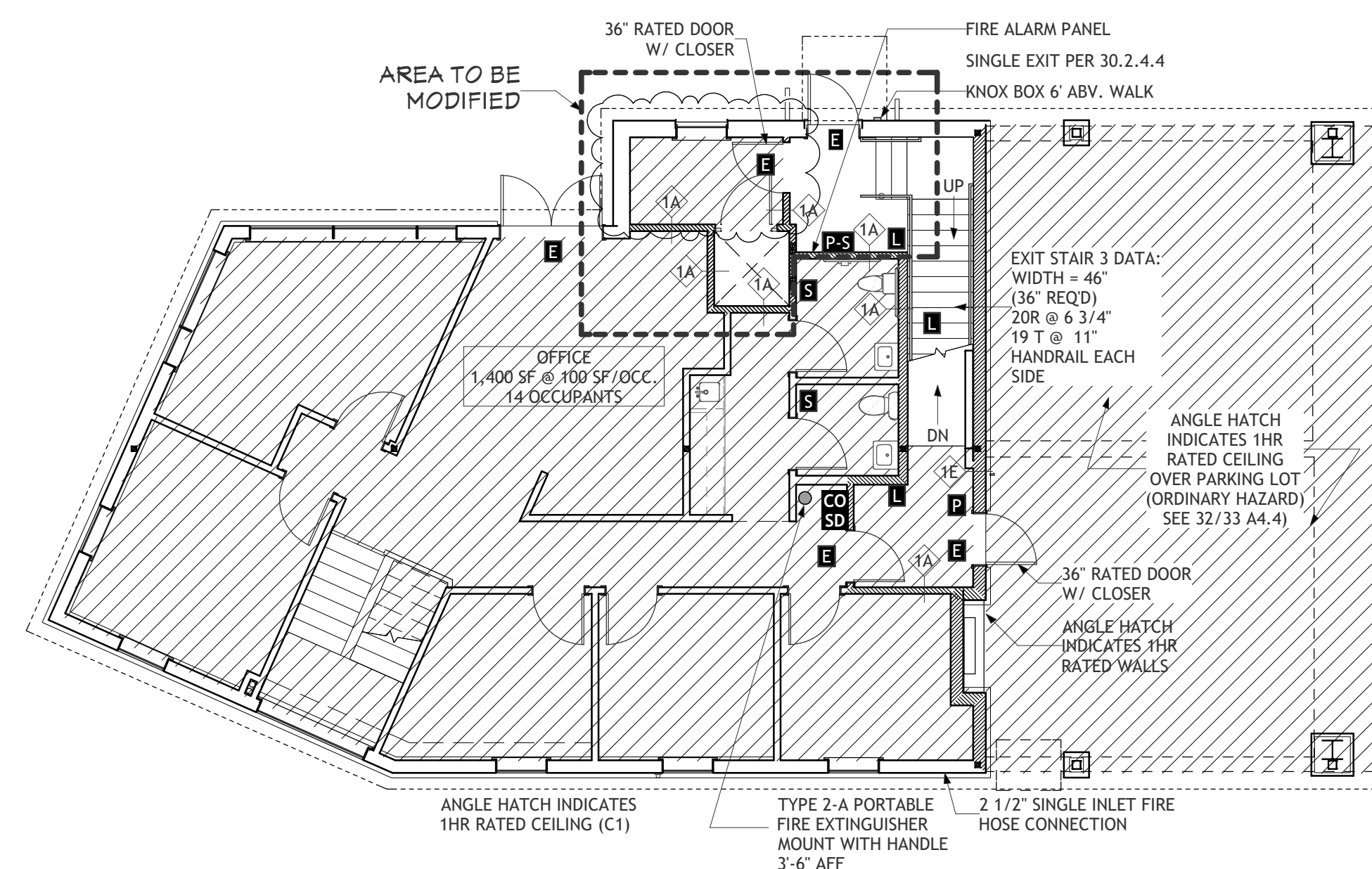
1st Floor Key/Existing Plan (as initially permitted) : 1/8 in = 1 ft



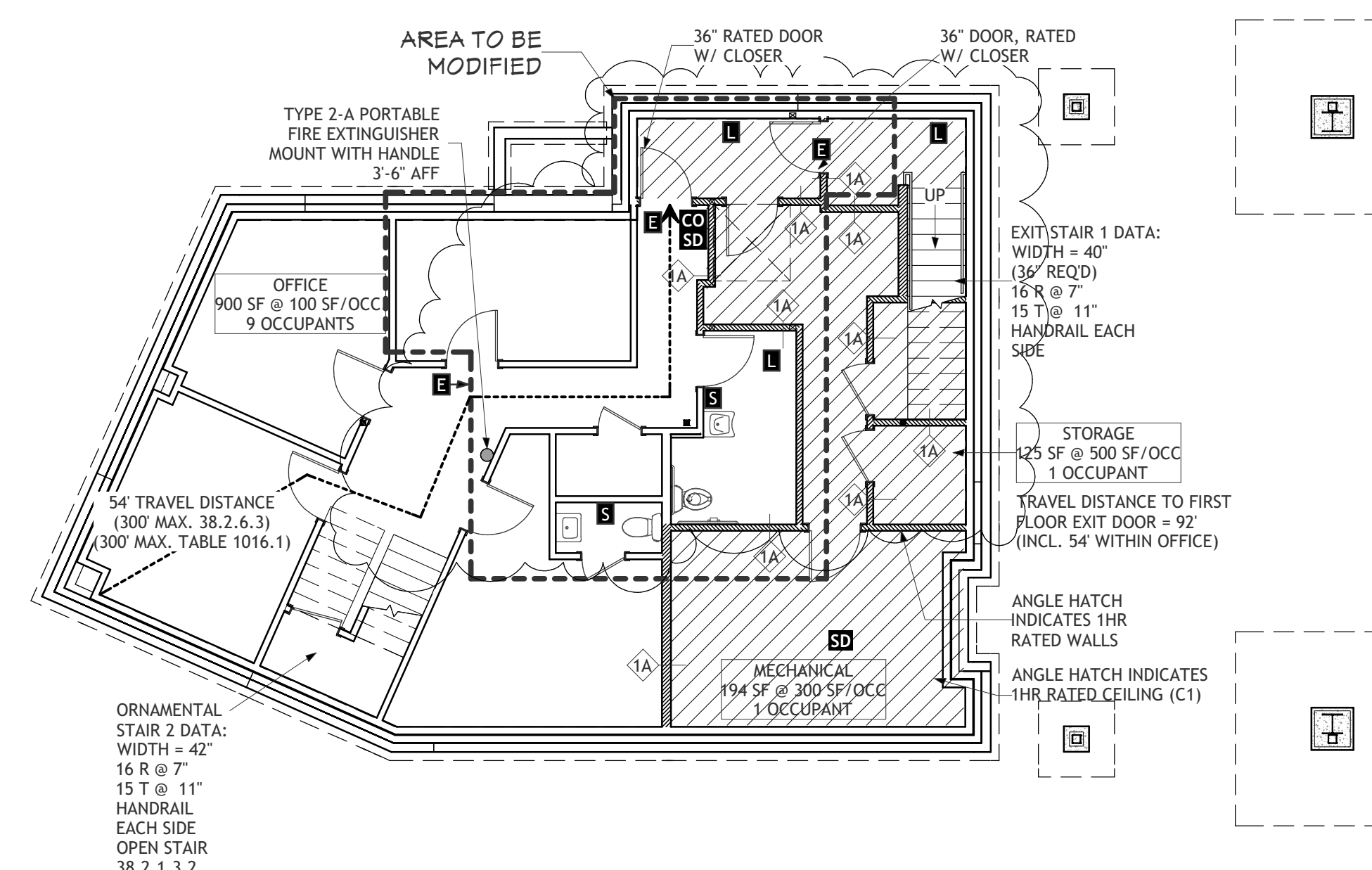
Basement Key/Existing Plan (as initially permitted) : 1/8 in = 1 ft



2 : Second Floor Life Safety Plan : 1/8 in = 1 ft



1 : First Floor Life Safety Plan : 1/8 in = 1 ft



0 : Basement Life Safety Plan : 1/8 in = 1 ft

**GENERAL NOTES:**

**APPLICANT:**  
Adam Cope, 23 Ocean Avenue Associates LLC, PO Box 1398,  
Portland, ME 04103, 207-615-5833

**ARCHITECT:**  
Kevin Moquin Architect, 1 Union St. #203, Portland, ME 04101,  
207-615-6421, kevin@km-a.me

**USE:**  
IBC-BUSINESS B & RESIDENTIAL R-2  
NFPA-BUSINESS (CH 38) & APARTMENT BUILDING (CH 30)

**CONSTRUCTION TYPE:** V-B, SPRINKLERED

**BUILDING ELEVATIONS:** AS ORIGINALLY SUBMITTED

**OCCUPANT LOAD (NFPA TABLE 7.3.1.2, IBC TABLE 1004.1.1):**  
77 TOTAL OCCUPANTS

**BASEMENT = 10 OCCUPANTS**  
OFFICE 900 SF @ 100 SF/OCC. 9 OCCUPANTS  
STORAGE 220 SF @ 500 SF/OCC 1 OCCUPANT  
MECHANICAL 169 SF @ 300 SF/OCC 1 OCCUPANT

**FIRST FLOOR = 15 OCCUPANTS**  
OFFICE 1,400 SF @ 100 SF/OCC. 14 OCCUPANTS

**SECOND FLOOR = 12 OCCUPANTS**  
APARTMENTS 2,380 SF @ 200 SF/OCC. 12 OCCUPANTS

**THIRD FLOOR = 12 OCCUPANTS**  
APARTMENTS 2,380 SF @ 200 SF/OCC. 12 OCCUPANTS

**ROOF = 28 OCCUPANTS**  
ROOF DECK 418 SF @ 15 SF/OCC. 28 OCCUPANTS

**SQUARE FOOTAGE (GROSS)**

BASEMENT	1,700
FIRST FLOOR	1,700
SECOND FLOOR	2,620
THIRD FLOOR	2,620
TOTAL	8,640

**FIRE PROTECTION:**  
SPRINKLER SYSTEM TO BE TYPE 13 SYSTEM.

SMOKE ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL UNIT. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.

HYDRANTS: NEAR CORNER OF OCEAN AVE. AND HERSEY ST. AS LOCATED ON SITE PLAN.

WATER MAIN: 8" MAIN, LOCATION IS SHOWN ON SITE PLAN.

ACCESS TO STRUCTURE: THE BUILDING IS ACCESSIBLE BY EQUIPMENT FROM THE FRONT ON OCEAN AVENUE, FROM HERSEY STREET ON THE SOUTH SIDE AND FROM THE PARKING AREA AT THE REAR SIDE.

ONE EXIT FROM EACH DWELLING UNIT IBC 1021.1(EX.4) & TABLE 1021.2, NFPA 101-30.2.4.4

EMERGENCY LIGHTING NOT REQUIRED NFPA 101-30.2.9; 38.2.9.1

MARKING OF MEANS OF EGRESS NOT REQUIRED IN APARTMENTS WITH ONE EXIT NFPA 101-30.2.10

**DEVICE SYMBOL KEY**

P-S	PULL & STROBE
E	EXIT SIGN
L	EMERGENCY LIGHT
S	STROBE
SD	SMOKE DETECTOR
CO	CARBON MONOXIDE / SMOKE DETECTOR

NEW EXIT SIGN, EMERGENCY LIGHT, AND STROBE LOCATIONS TO BE CONFIRMED DURING WALKTHROUGH.

**km**  
Kevin Moquin Architect  
Maine Licensed Architect  
1 Union St. #203 Portland, ME  
km-a.me - info@km-a.me  
(207) 615-6421

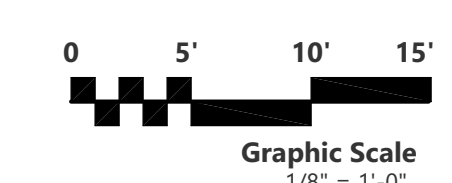
**23 Ocean**  
Portland, ME  
PERMIT  
2017-00012  
AMENDMENT

**LICENSED ARCHITECT**  
KEVIN J. MOQUIN  
ARC3016  
MADE OF MAINE

Key & Code Review Plans

**Drawing List**

Label	Title
ASK-09	Key & Code Review Plans
ASK-10	Floor Plans
ASK-11	Details
SSK-12	Structural Drawings



3/7/2018  
**ASK-09**  
1 of 4