

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that CARTER WALDREN & WILLA
VENNEMA

Located At 5 BRYANT ST

CBL: 129- C-002-001

Job ID: 2012-06-4186-ALTR

has permission to rebuild existing rear deck/ porch (Single Family Residence).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

06/19/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
 1. Footings/Setbacks prior to pouring concrete
 2. Close In Elec/Plmb/Frame prior to insulate or gypsum
 3. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-06-4186-ALTR

Located At: 5 BRYANT ST

CBL: 129- C-002-001

Conditions of Approval:

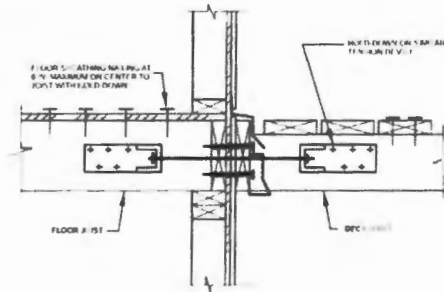
Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required rear setback must be established. Due to the proximity of the setback of the proposed addition, it may be required to be located by a surveyor.
3. This property shall remain a single family dwelling with a daycare for 8 children. Any change of use shall require a separate permit application for review and approval.

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
3. R312.3 Opening limitations. Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches in diameter.
4. R311.5.1 Attachment. Exterior landings, decks, balconies, stairs and similar facilities shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal.
5. Section R317 Protection of Wood and Wood Based Products against decay. All wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from the exposed ground.
6. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.

7. **Note: Contractor or Owner will call back for final girder/ beam sizing prior to construction, in compliance with Table R502.5.(1), see attachment.**



For Slab thickness 254 mm

FIGURE 502.2.2.3
DECK ATTACHMENT FOR LATERAL LOADS

8.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-06-4186-ALTR	Date Applied: 6/8/2012	CBL: 129- C-002-001	
Location of Construction: 5 BRYANT ST	Owner Name: CARTER WALDREN & WILLA VENNEMA	Owner Address: 5 BRYANT ST PORTLAND, ME 04103	Phone: 207-772-5476
Business Name:	Contractor Name: Thomas Pitman	Contractor Address: 19 Highland AVE GORHAM ME 04038	Phone: (207) 776-5540
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-5
Past Use: Single family home with daycare for 8 children	Proposed Use: Same - single family home with daycare - rebuild rear deck - 4' x 16' with stairs - <i>slightly larger</i>	Cost of Work: 6000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature:	Inspection: Use Group: R3 Type: SB IRC, 2009 (MUBA) Signature: <i>[Signature]</i>
Proposed Project Description: Rebuilding back porch		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Brad		Zoning Approval	

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>Ok w/conditional</i> <i>6/18/12 ABM</i>	Date:	Date: <i>ABM</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

P-5-

Entered 6/8/12
(10)



General Building Permit Application

2012-06-4186

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>5 Bryant Street, Portland 04103</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>129 C002001</u>	Applicant: (must be owner, lessee or buyer) Name <u>Willa Vennema Carter Waldren</u> Address <u>5 Bryant St.</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>207-772-5476</u>
Lessee/DBA RECEIVED JUN 08 2012 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name _____ Address _____ City, State & Zip _____	Cost of Work: \$ <u>6,000</u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ <u>6,000</u>
Current use (i.e. single family) <u>Single Family w/ pre-school</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Same</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>re build back porch/entry using</u>		
Contractor's name: <u>Thomas Pitman</u>		Email: <u>Pitman@westbrookschools.org</u>
Address: <u>19 Highland Ave</u>		Telephone: <u>776-5540</u>
City, State & Zip: <u>Gorham, ME, 04038</u>		Telephone: <u>772-5476</u>
Who should we contact when the permit is ready: <u>Willa Vennema</u>		Telephone: <u>772-5476</u>
Mailing address: <u>5 Bryant St Portland, ME 04103</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

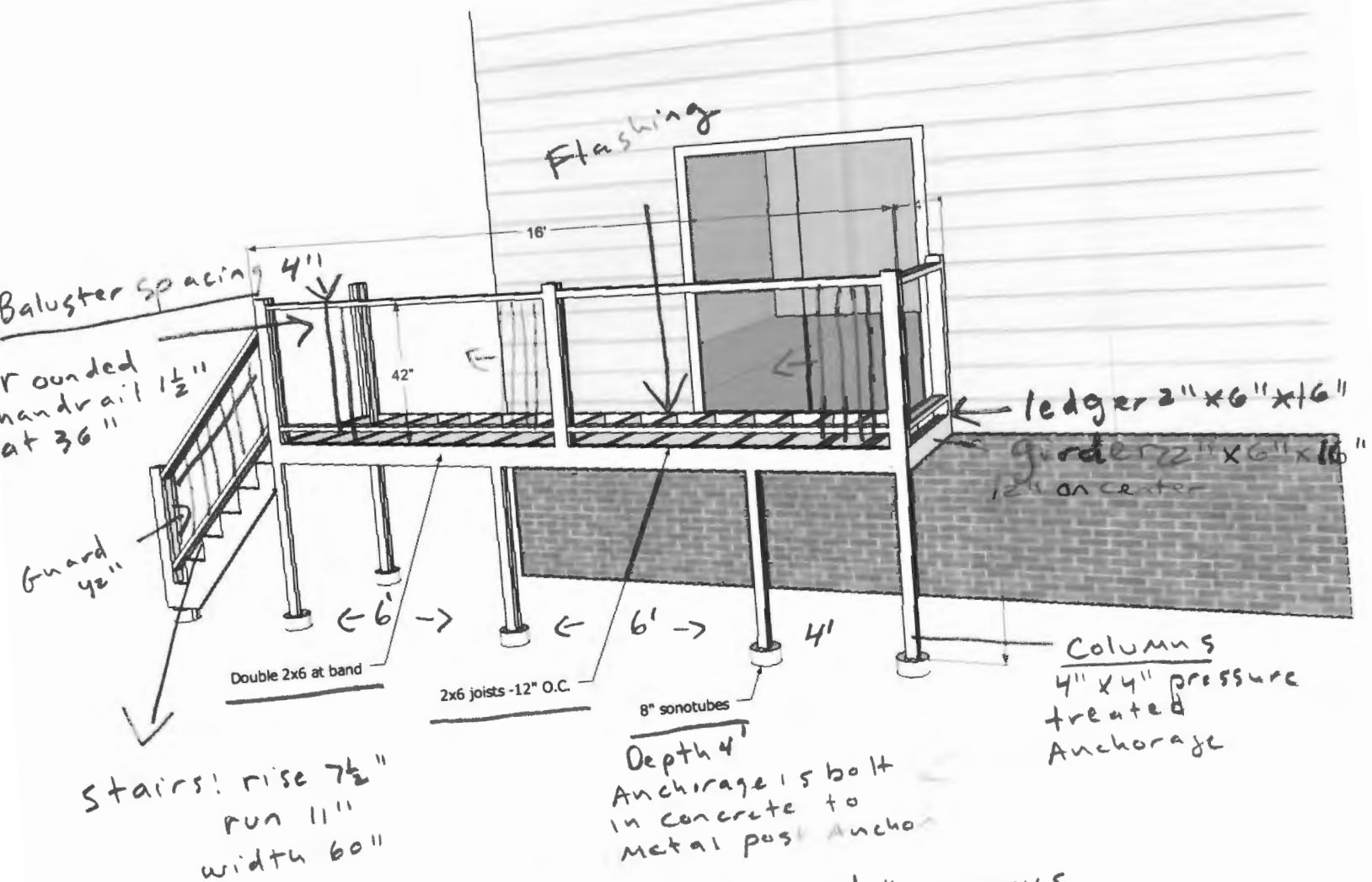
Signature: [Signature] Date: 6/7/2012

This is not a permit; you may not commence ANY work until the permit is issued

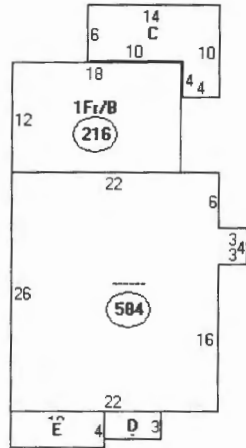
5 Bryant St, 04103

CBL 129 C002007

Waldren / Venema



- * joist hangers on all joists, 2 1/4" screws
- Lag bolts 1/2" x 6" on center
- Decking - composite 5/4 x 6'



Descriptor/Area

- A: ---
584 sqft
- B: 1Fr/B
216 sqft
- C: ~~VD~~
~~100 sqft~~
- D: FBAY
18 sqft
- E: OFP
40 sqft

= 858

4
36
10
40

10

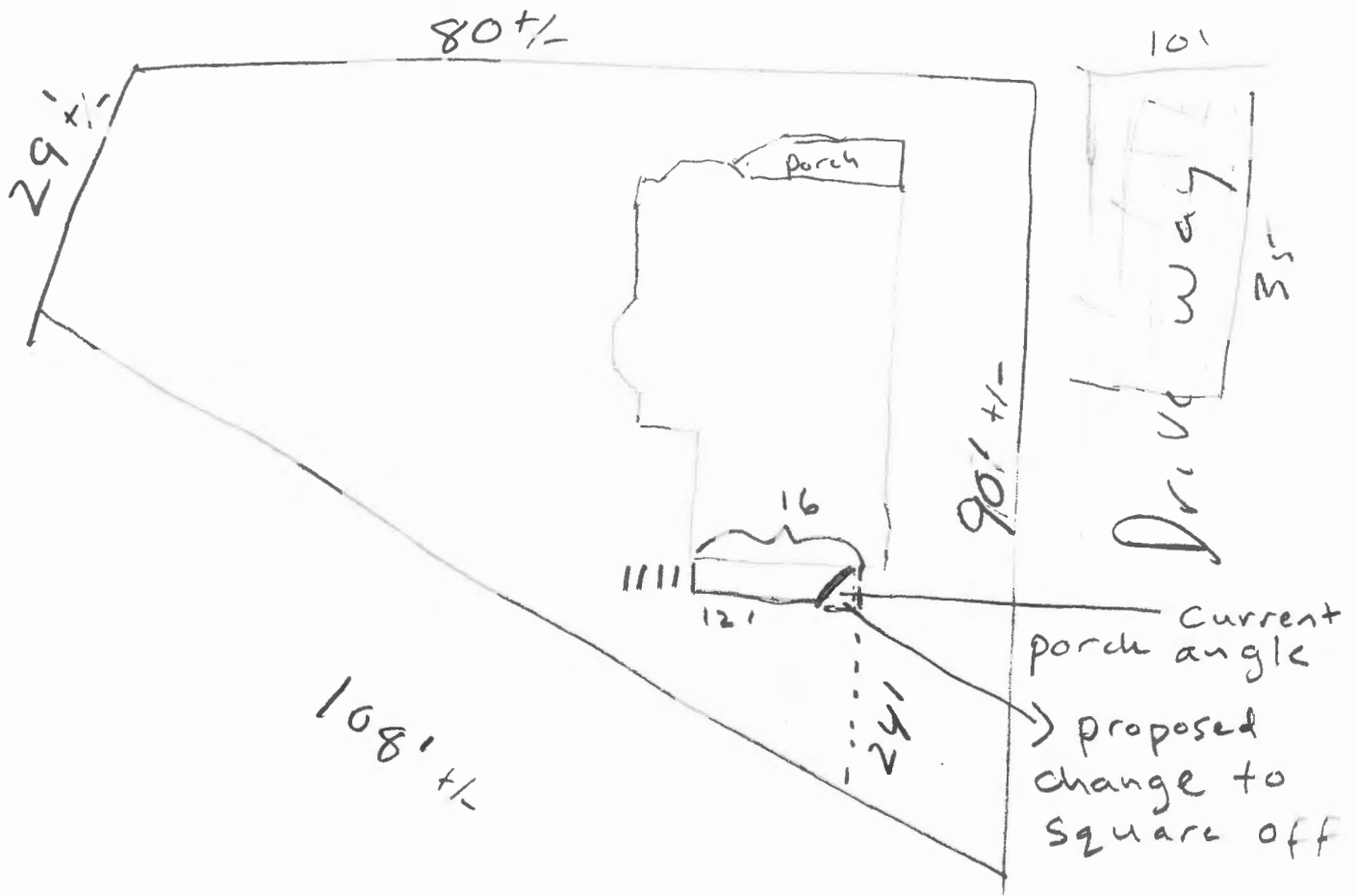
R-5 lot size - 5092
 rear setback 20' - 24' 6" in (OB)
 side setback - 8' (OB) - driveway 8' 1/2' set
 lot coverage - 40% = 2036.8 sq ft

existing PFR
 (4x16) deck 64
 (5.5x5) stairs 27.5
 949.5 (OB)

5 Bryant St

Rebuild Back Porch

Irving St.



Hesseltine Park

Ocean Ave

From: Thomas Pitman <tpitman@maine.rr.com>
Subject: **estimate**
Date: May 31, 2012 8:00:03 PM EDT
To: willav@maine.rr.com
▶ 1 Attachment, 4.3 MB

Hi Willa-
If this is agreeable, let's talk about a time to start. I've forgotten when your friend's event is; let me know and we'll work around it.
Thank you,
-Tom



Thomas M. Pitman
CABINETMAKER

ESTIMATE

Estimate Date: June 25, 2012

Estimate For: Carter Waldren and Willa Vennema Residence

Project Summary: Rebuild back deck

Scope of work: Dismantle and dispose of existing deck. Rebuild deck using pressure treated lumber for the frame and composite/ PVC materials for the handrail and trim.

Cost of work: \$6000.00 includes teardown of old deck and disposal
\$5500.00 not including teardown and disposal; rebuild only

NOTE: If additional work is required to repair rot at sill areas, the additional cost will be billed as "time and materials". Labor billed at \$45/ hour and materials at fair market value.

Payment Terms: Thomas M. Pitman - Cabinetmaker requires two payment installments:
1/3 of the total to begin project, and 2/3 of the total when project is complete.

Acceptance of Proposal: The above prices, specifications, and conditions are satisfactory and hereby accepted.
You are hereby authorized to do the work as specified.

Authorized Signature: _____ Date: _____

Customer Signature: _____ Date: _____



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , Check Number: 4299
Tender Amount: 80.00

Receipt Header:

Cashier Id: bsaucier
Receipt Date: 6/8/2012
Receipt Number: 44762

Receipt Details:

Referance ID:	6819	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	80.00	Charge Amount:	80.00
Job ID: Job ID: 2012-06-4186-ALTR - Rebuilding back porch			
Additional Comments: 5 Bryant St.			

Thank You for your Payment!