

CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 JUL 01 2004
 SUPERSEDES ALL
 PRIOR DATED PLANS

4 1/2 PITCH CONNECTOR
 ROOF / FLASH TO NEW
 STRUCTURE - REMOVE
 TIE IN VALLEYS TO EXISTING
 ROOF

EXISTING HOME
 WALL EACH SIDE

TOP OF
 FINISH
 NEW
 SLAB (EXISTING)
 4 1/2" TOP OF NEW WALL

ZONING

PLAN REVISION NOTES 01/29/04
BUILDING PERMIT CONSTRUCTION MEETING

1. CONSTRUCTION PERMITTING REQUIREMENTS

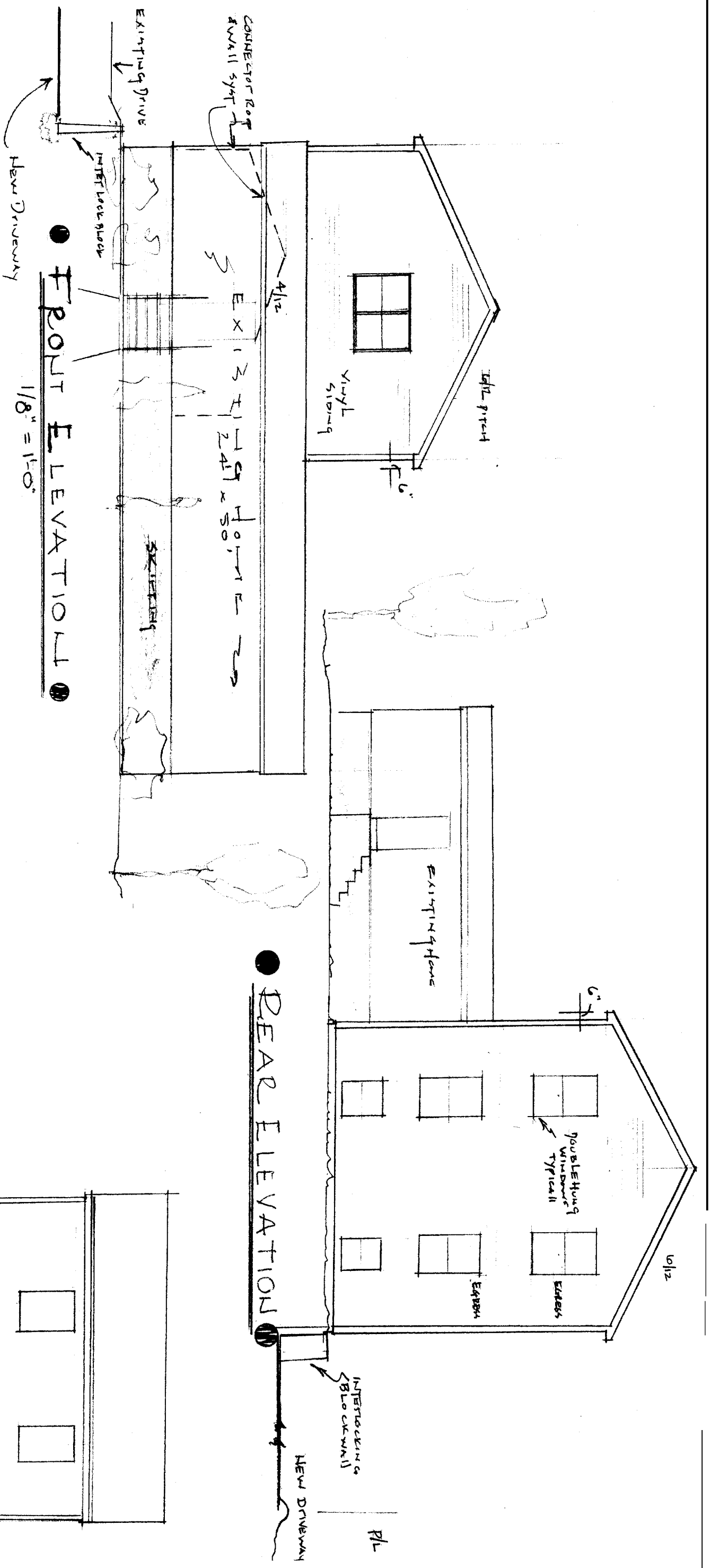
- A. SEPARATE PERMITS SHALL BE REQUIRED FOR FUTURE DECKS, SHEDS, POOLS FOR GARAGES.
- B. THIS IS NOT AN APPROVAL FOR AN ADDITIONAL DWELLING UNIT. YOU SHALL NOT ADD ANY ADDITIONAL KITCHENS, EQUIPMENT, INCLUDING, BUT NOT LIMITED TO ITEMS SUCH AS STOVES, MICROWAVES, REFRIGERATORS, OR KITCHEN SINKS, ETC. WITHOUT SPECIAL APPROVAL.
- C. THIS PROPERTY SHALL REMAIN A SINGLE FAMILY DWELLING. ANY CHANGE OF USE SHALL REQUIRE A SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL.
- D. THIS PERMIT IS BEING APPROVED ON THE BASIS OF PLANS SUBMITTED. ANY DEVIATION SHALL REQUIRE A SEPARATE APPROVAL BEFORE STARTING THE WORK.

- A. AS DISCUSSED, HYBRID WIRE INTERCONNECTED 3 WIRE BACK-UP SMOKE DETECTORS SHALL BE INSTALLED IN ALL BEDROOMS, ON EVERY LEVEL, AND IN A COMMON AREA (SPECIFICALLY IN THE AREA WHERE STAIRS COME UP)
- B. THE DESIGN LOAD SPEC. SHEET FOR THE ENGINEERED BEAMS) JOISTS MUST BE SUBMITTED TO THIS OFFICE
- C. PERMIT APPROVED BASED ON THE PLANS SUBMITTED AND REVIEWED W/~~OWNER~~ WITH ADDITIONAL INFORMATION AS NOTED ON AND AS NOTED ON PLANS.
- D. SEPARATE PERMITS ARE REQUIRED FOR ANY ELECTRICAL, PLUMBING OR HEAT
- E. SEPARATE DOOR HEADERS 6"x12" BUILT-UP (SEE FUD. PLAN)
- F. GRADING AT P/L LEFT OF DRIVEWAY TO BE CAREFULLY EXECUTED.

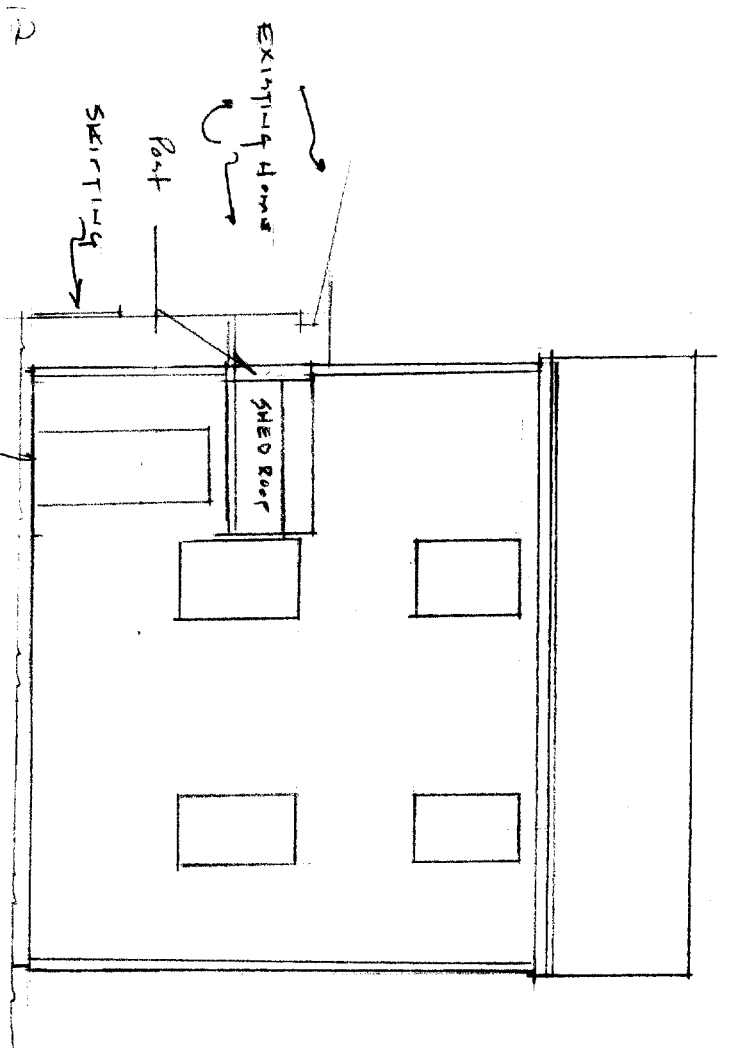
LEFT ELEVATION

1/4" = 1'-0"

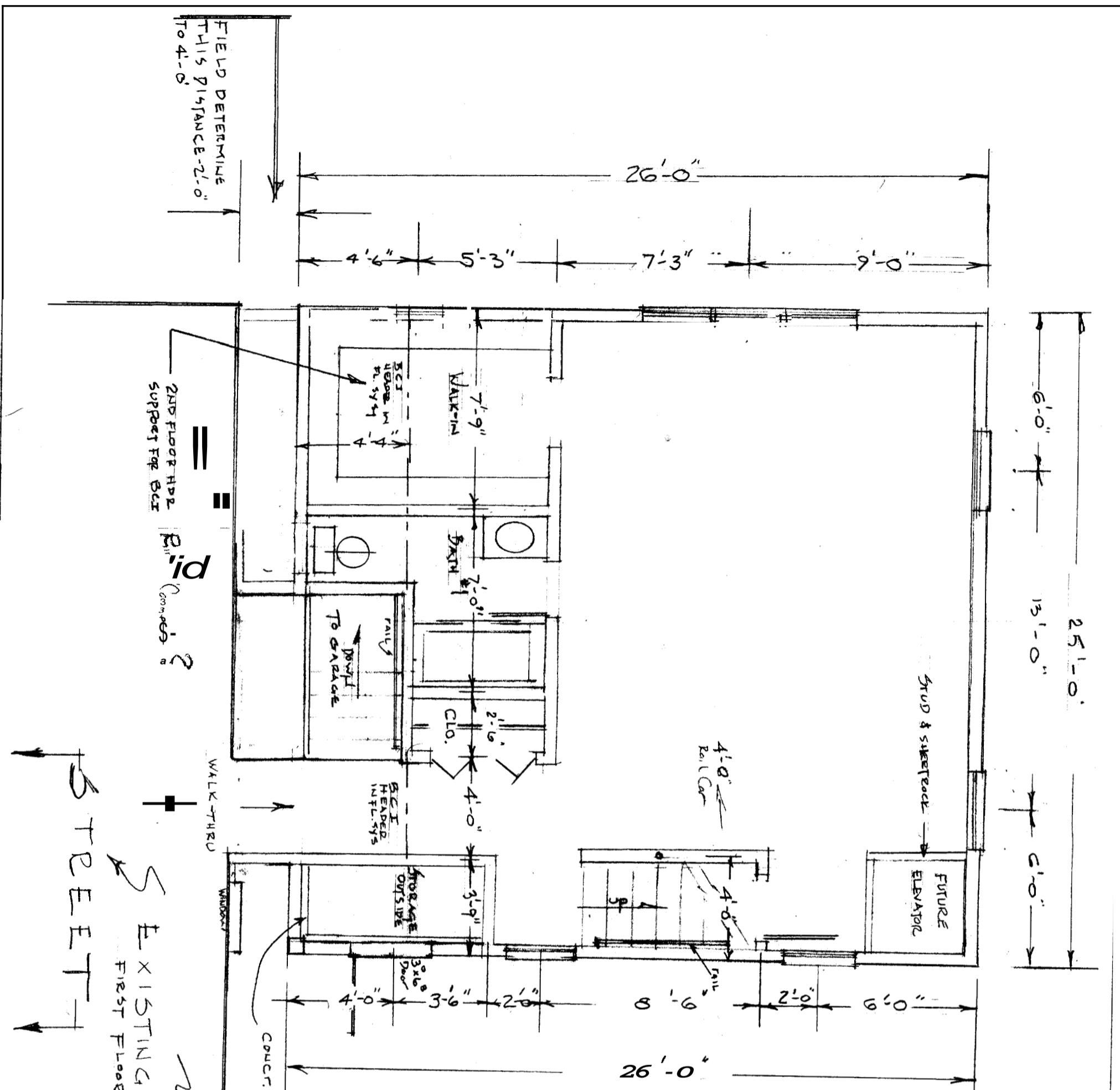
124 B C12



129 ACIA



207 9
 6/2/11/04



FIELD DETERMINE THIS DISTANCE-2'-0" TO 4'-0"

2ND FLOOR HOLE SUPPORT FOR BCI

BCI HEADS IN FLYS

BCI HEADS IN FLYS

WALK-THRU

WINDOOR

CONCR. WALL BELOW FLOOR

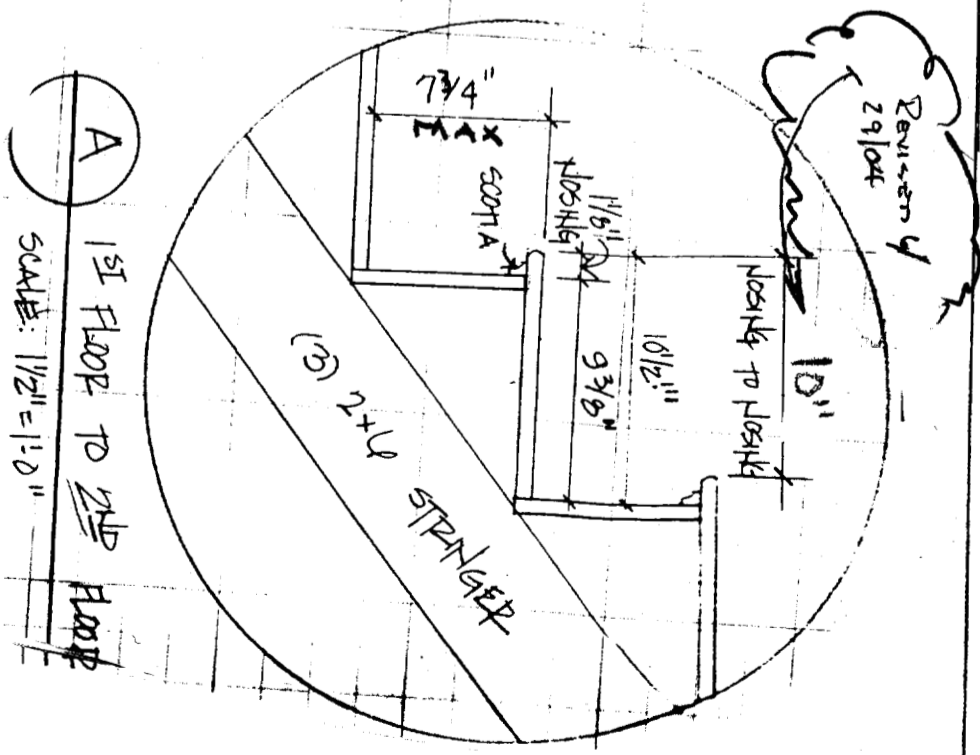
EXISTING BUILDING FIRST FLOOR 24' x 50'

STREET

FIRST FLOOR PLAN

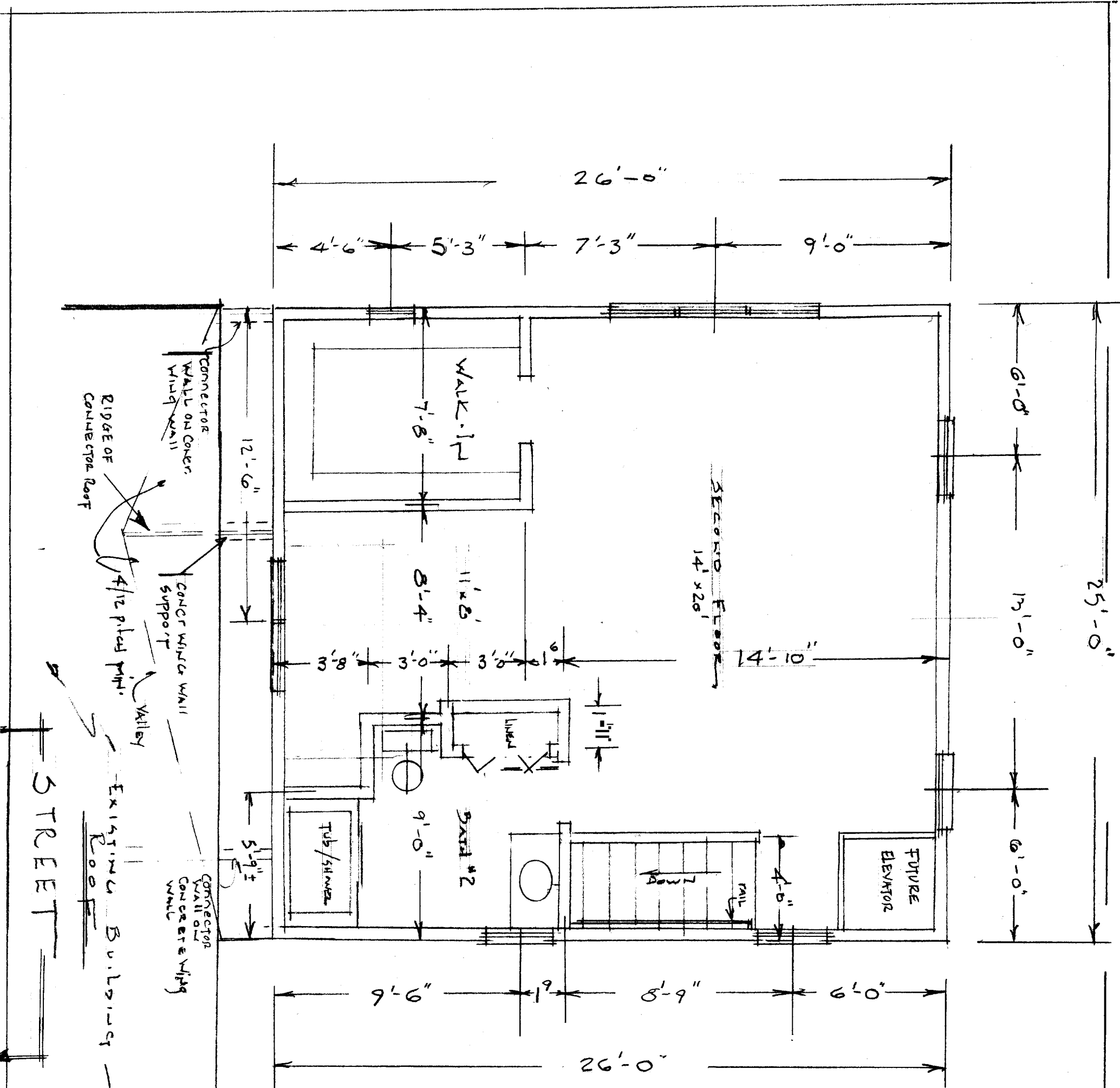
1/4" = 1'-0"

129 B CIR



A 1st FLOOR TO 2ND FLOOR

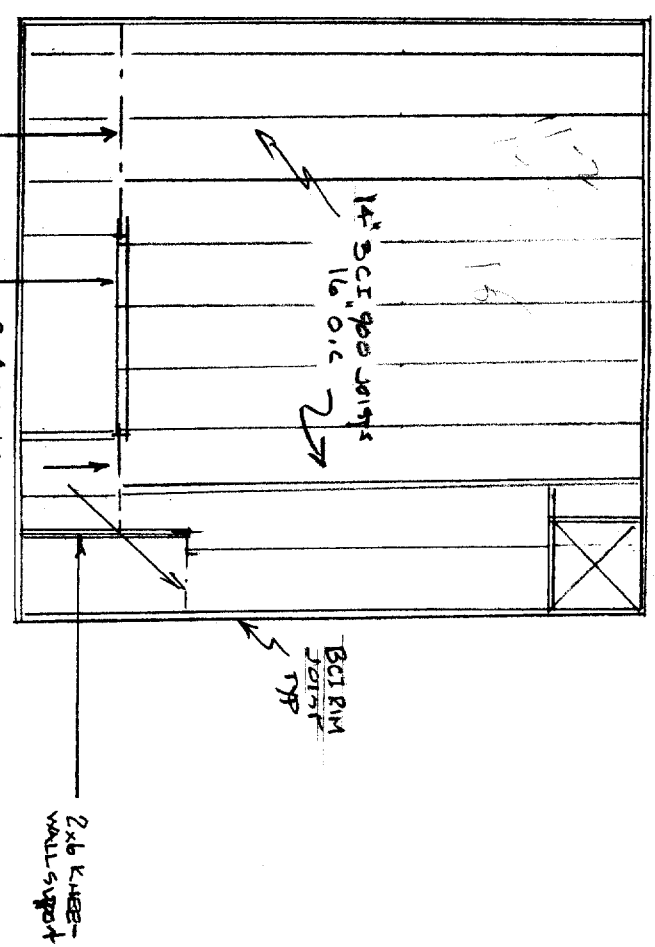
SCALE: 1/2" = 1'-0"



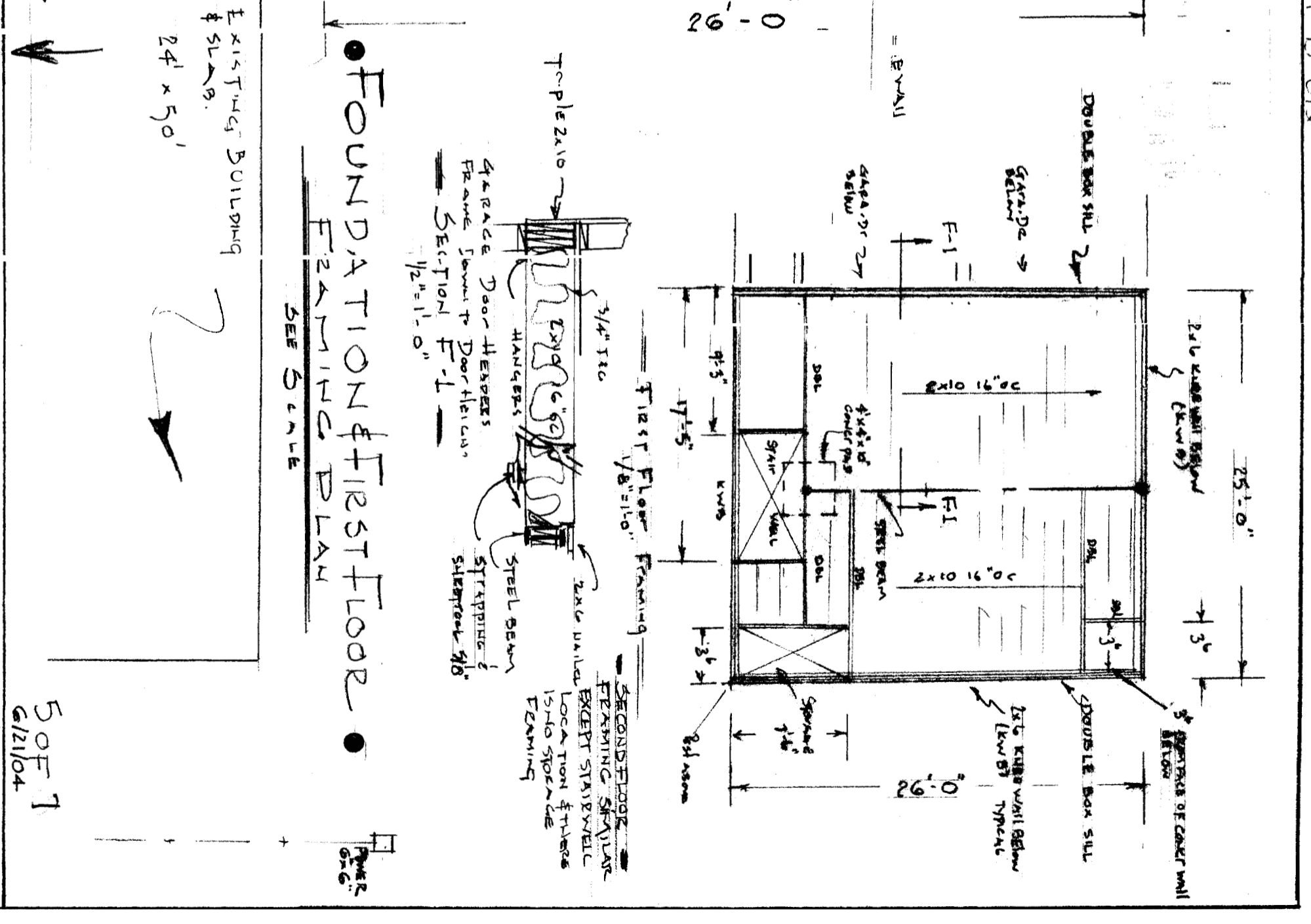
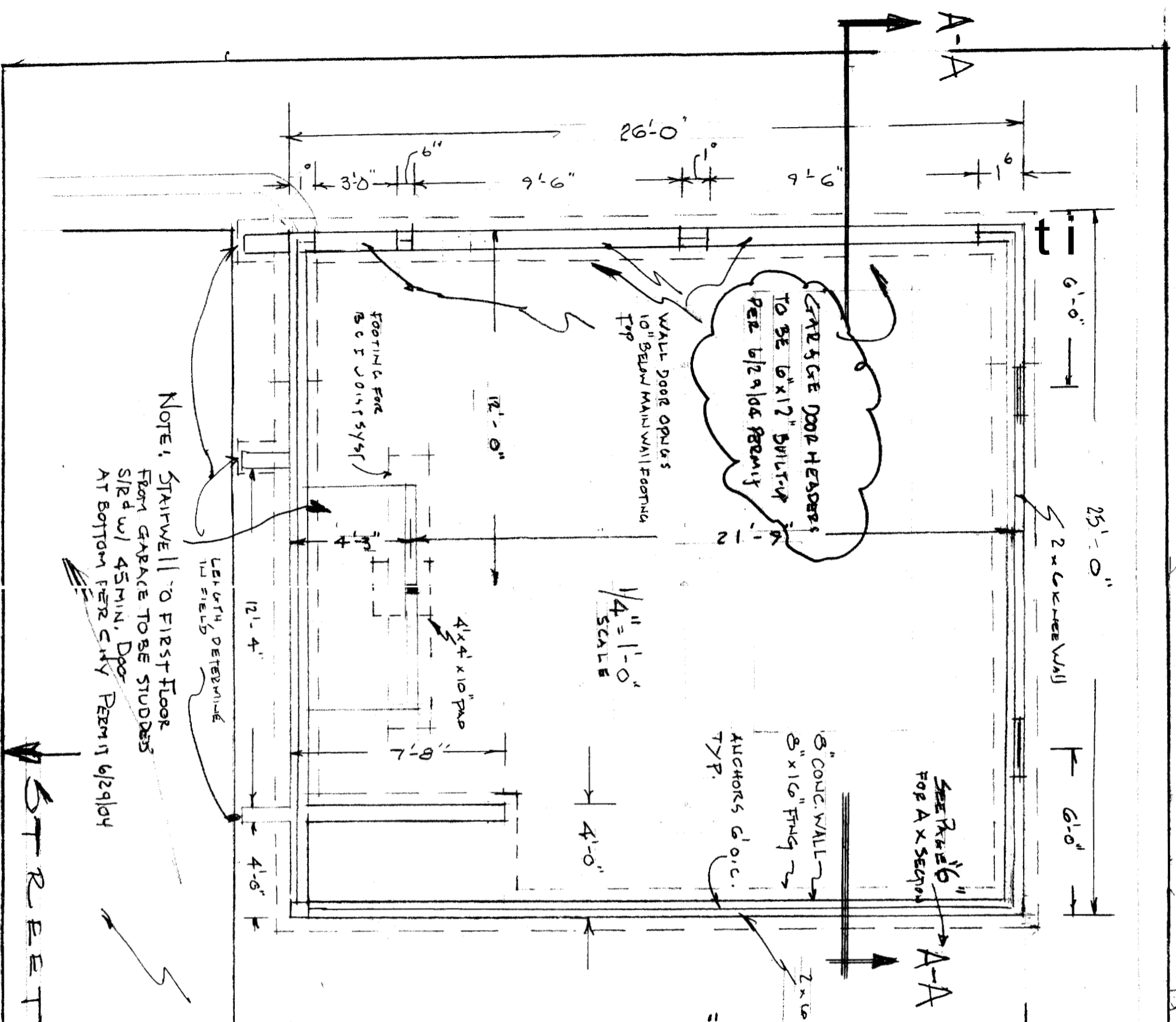
● SECOND FLOOR FRAM ●

1/4"=1'-0"

FIRST & SECOND FLOOR BCI
 JOIST LAYOUT TYPICAL WITH
 EXCEPTION OF STAIRWAY
 ↑ BCI JOIST ↓

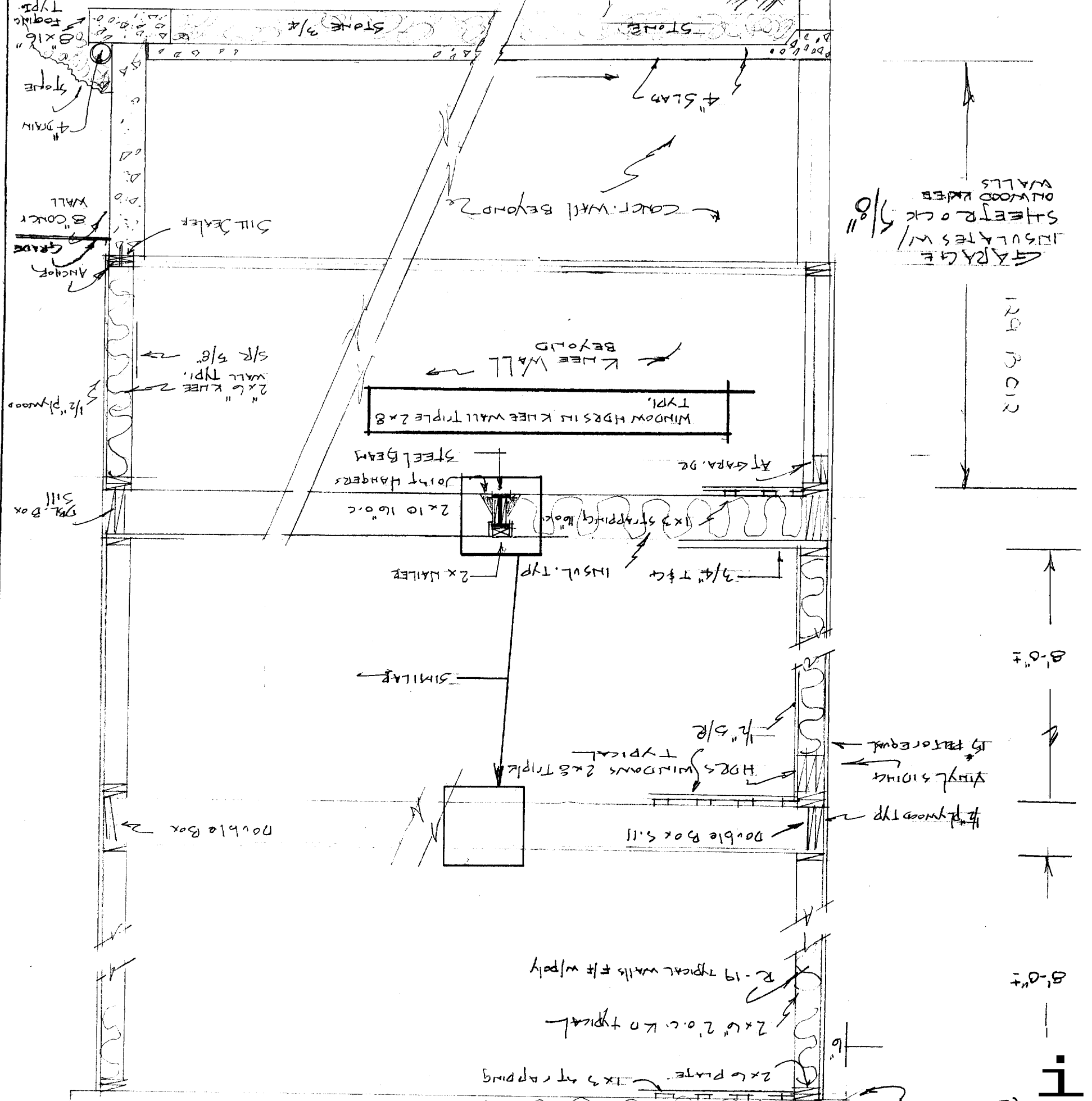


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5 OF 7
6/21/04

CROSS SECTION

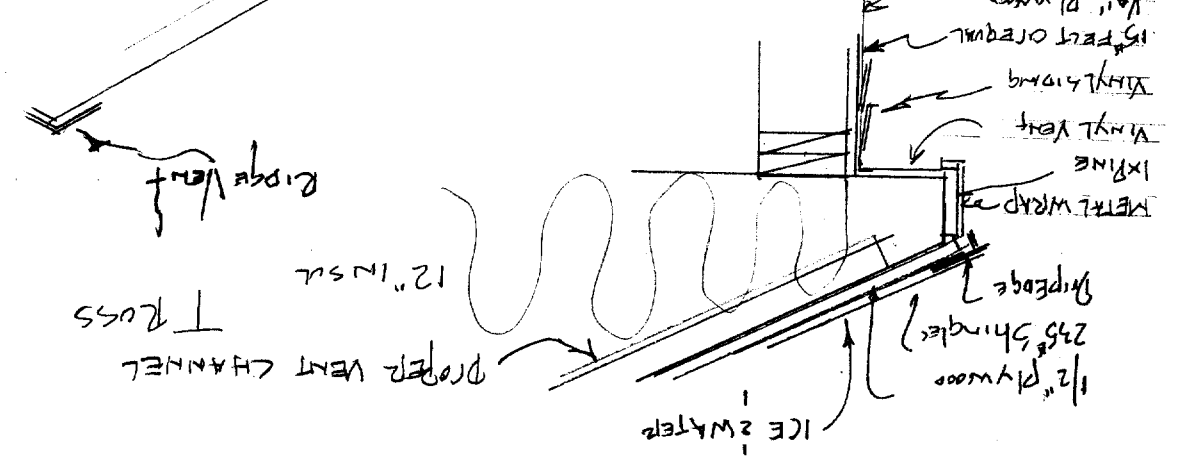


GARAGE
INSULATES W/
SHEETS OF
OUTWOOD KNEE
WALLS

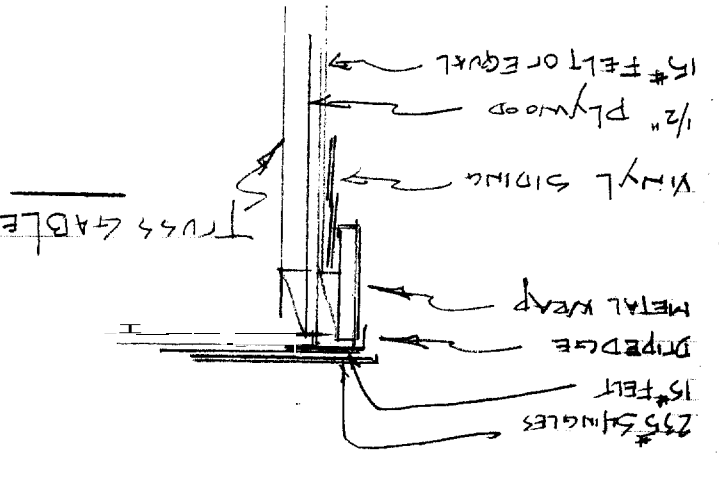
129 B012

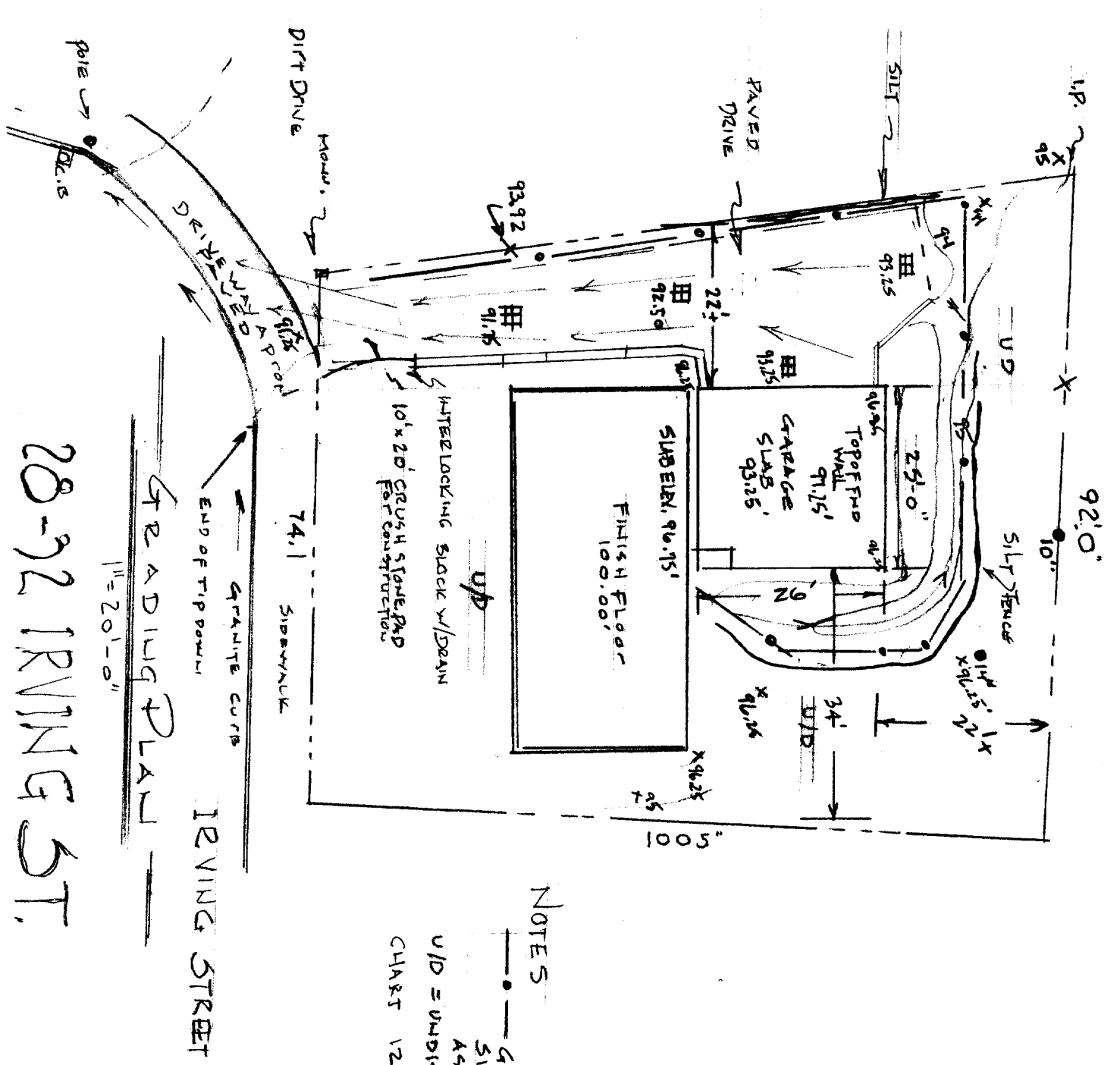


EAVE DETAIL



RAKE DETAIL



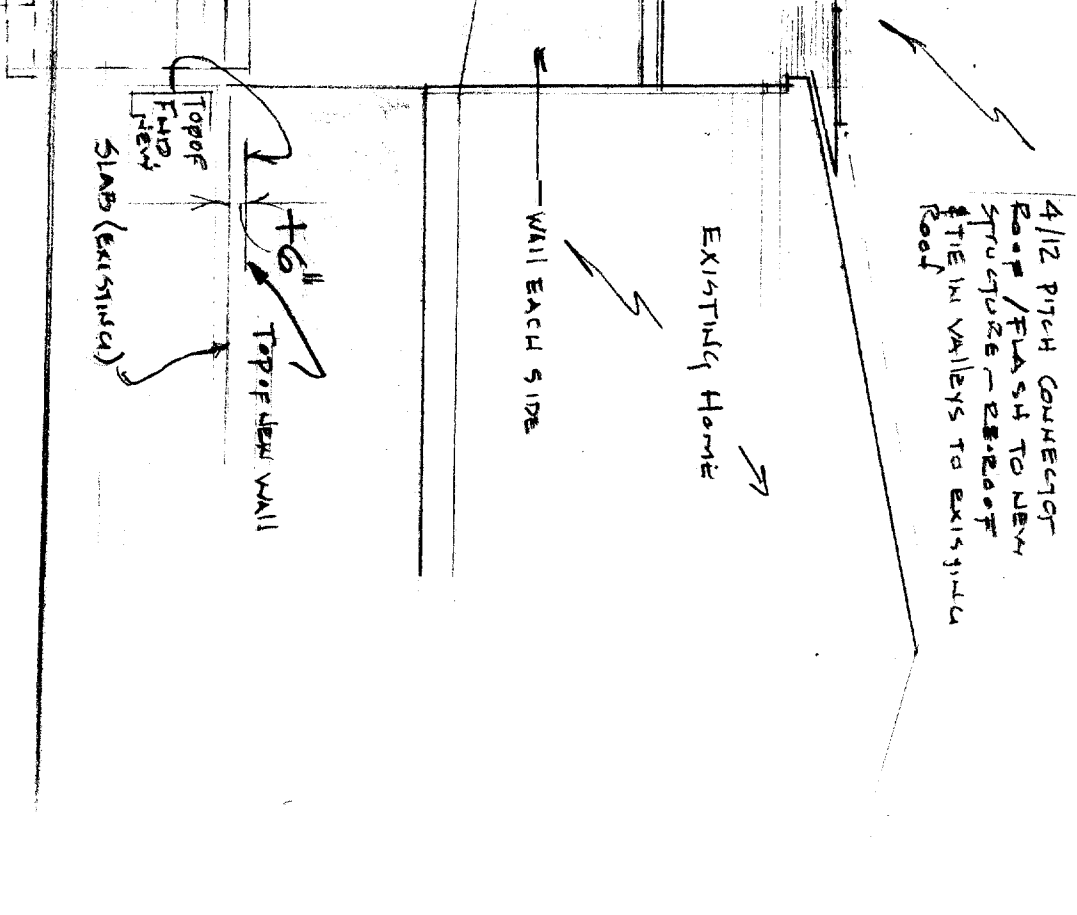
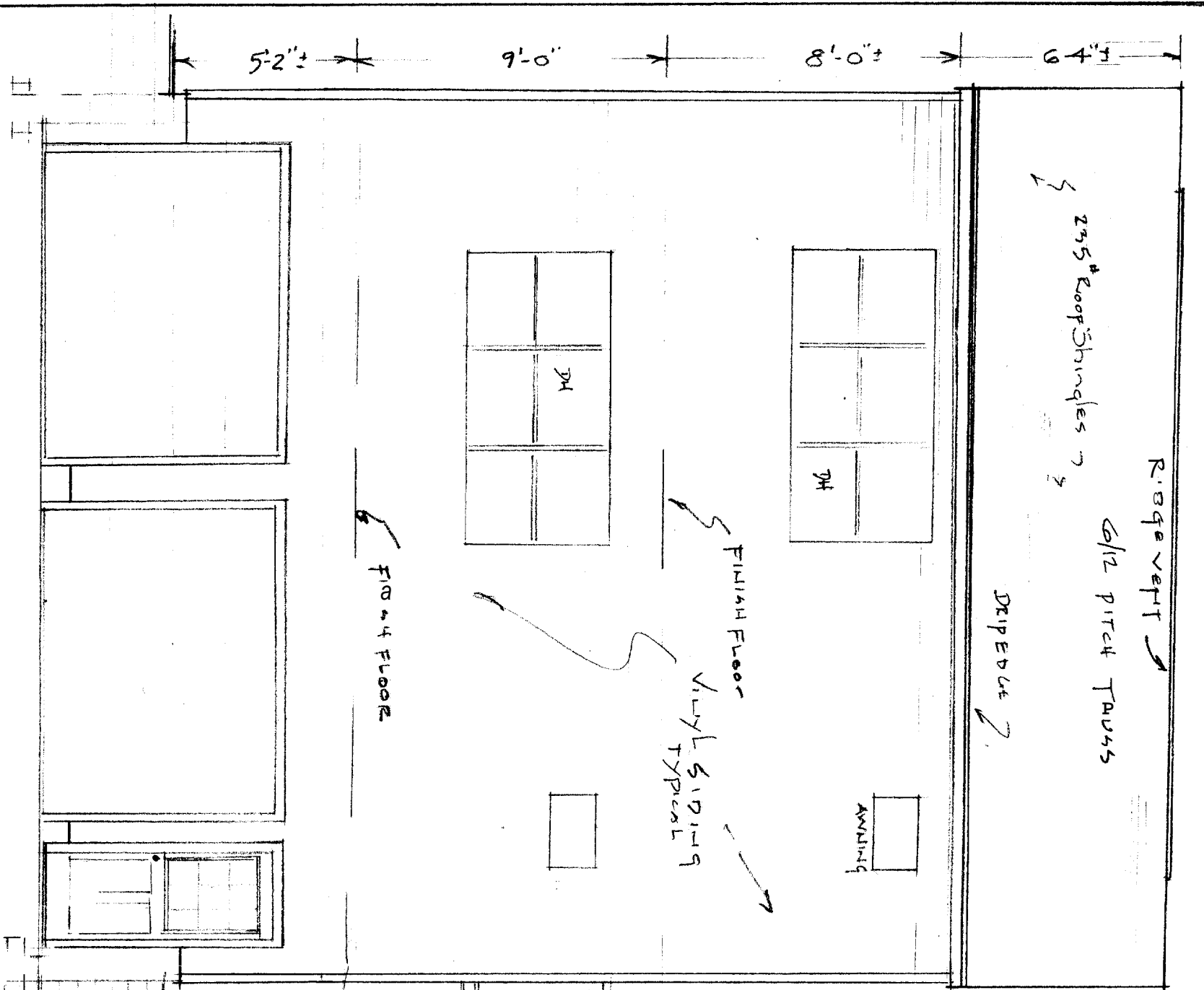


28-32 IRVING ST.

129 B CR

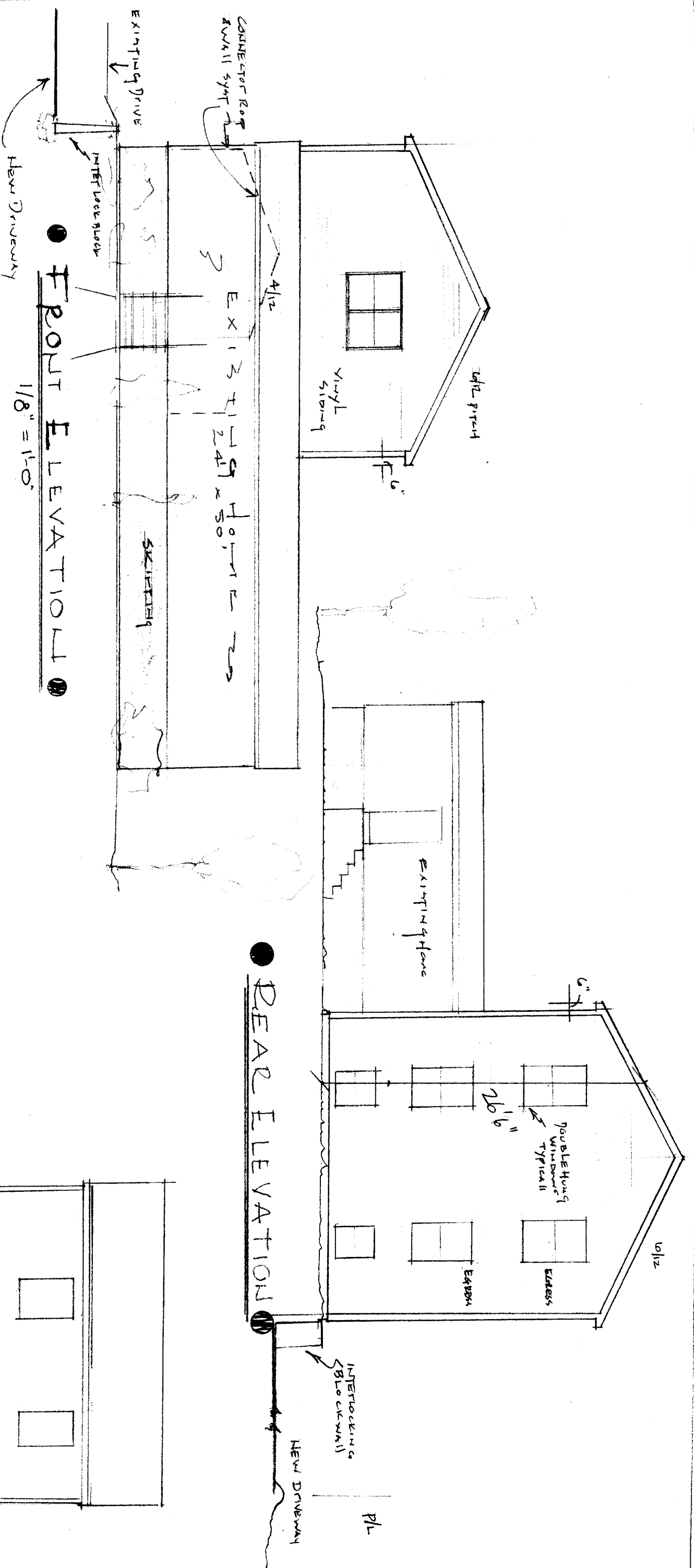
NOTES

- GRADING LIMIT & SILT FENCE LOCK. ASHOW
- UD = UNDISTURBED
- CHART 129 - B - 12



LEFT ELEVATION

1/4" = 1'-0"

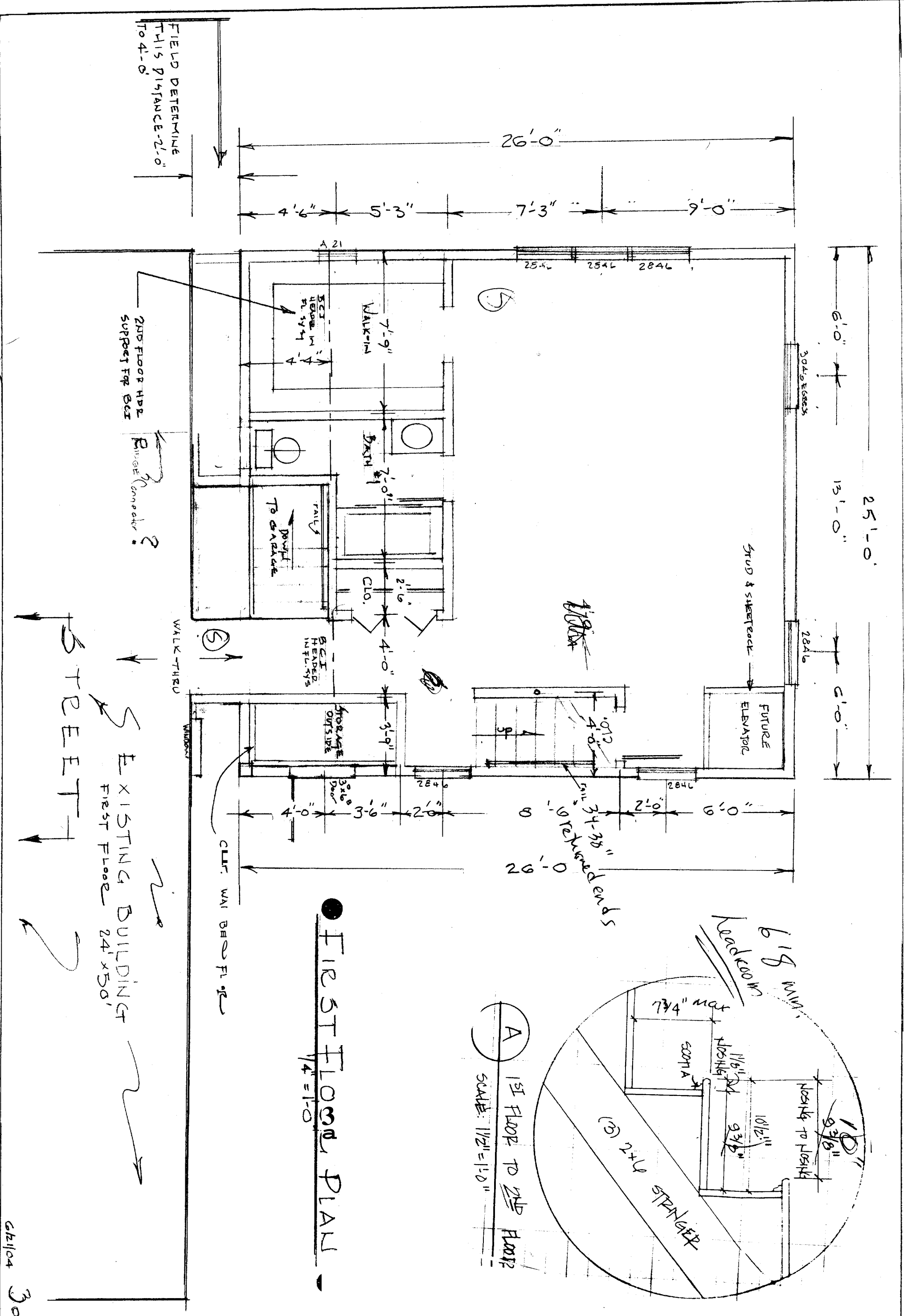


● **FRONT ELEVATION** ●
 1/8" = 1'-0"

● **REAR ELEVATION** ●

● **RIGHT ELEVATION** ●
 1/8" = 1'-0"

2007
 02/21/04



FIRST FLOOR PLAN
1/4" = 1'-0"

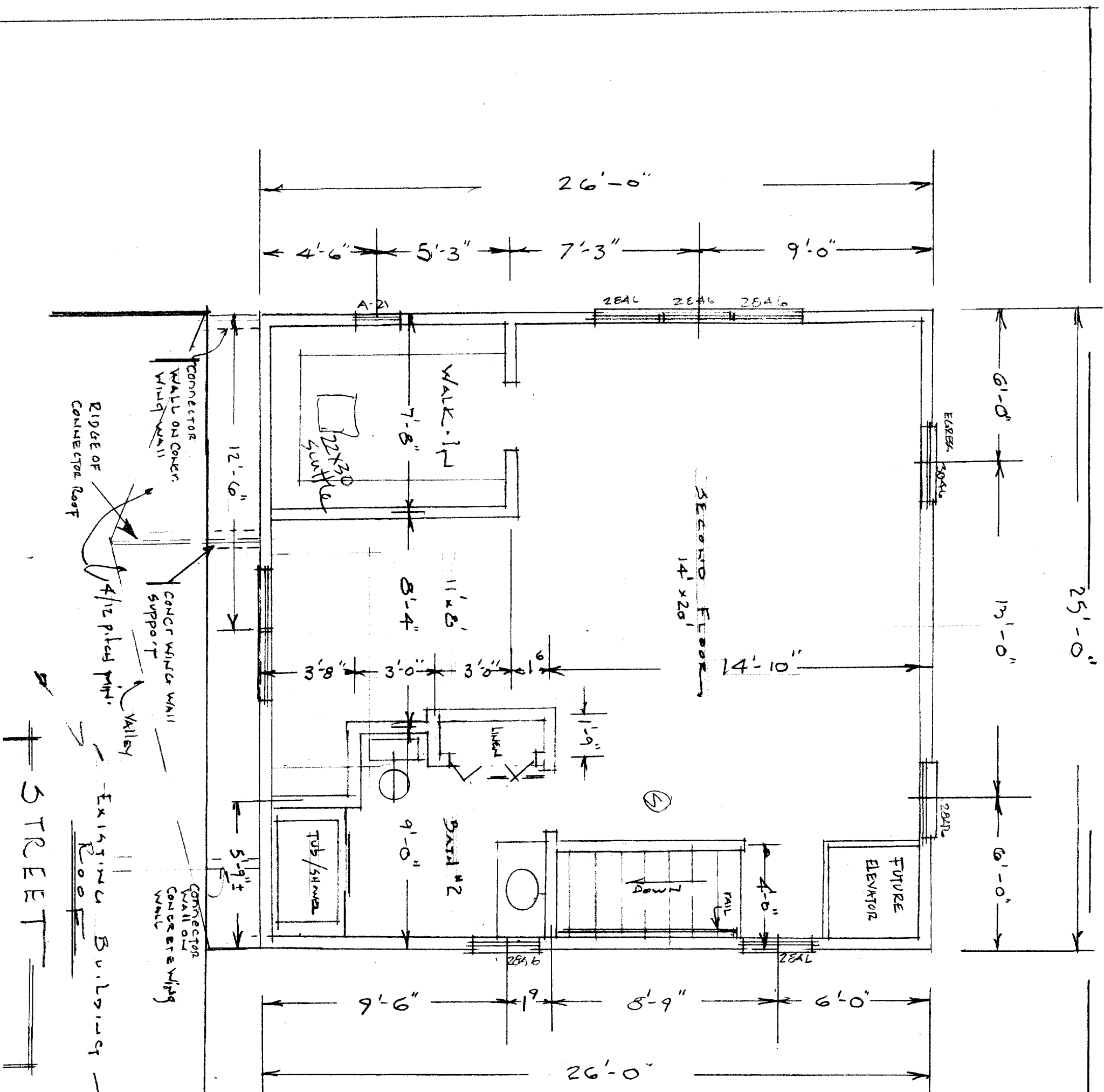
A 1st FLOOR TO 2nd FLOOR
SCALE: 1/2" = 1'-0"

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SUPPORT FOR BEI

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