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				PERMITISSUEL		
City of Portland. N	Aaine - Building or Use	Permit Application	Permit No:	Issue Date:	CBL:	
	04101 Tel: (207) 874-8703		04-0786	JUN 18 2004	128 J018001	
Location of Construction: Owner Name:			Owner Address:		Phone:	
115 Codman St	Levy Keany F	Peggy	115 Codman St	GITY OF PORTLAN	D 232-4643	
BusinessName:	Contractor Nam	e:	Contractor Address:		Phone	
	Carey Monsel	11 & Co.			2077753984	
Lessee/Buyer's Name	Phone:				2-3	
Past Use:	Proposed Use:	<u> </u>	Permit Fee:	Cost of Work: C	EO District:	
mudroom	expand mudro	oom	\$30.00 \$0.00 4		4	
			\mathcal{N}	2	ир: R-3 туре: 513 30 (14-1999	
amendment to exist per	mit for mudroom expansion		Signature: Signature:			
		P	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
			Action: Approve	d Approved w/Co	onditions Denied	
			Signature:	Ι	Date:	
Permit Taken By:	Date Applied For:		Zoning Approval			
jodinea	06/11/2004					
		Special Zone or Reviews	s Zoning	g Appeal	Historie Preservation	
		Shoreland	Variance	1	Not in District or Landmark	
		Wetland	Miscellan	eous	Does Not Require Review	
		Flood Zone	Condition	al Use	Requires Review	
		Subdivision	Interpretat	tion	Approved	
PERMIT ISSUED		Site Plan	Approved] Approved w/Conditions	
		Maj 🗌 Minor 🗍 MM 🗌] Denied		Denied	
	JUN 18 2004	Date: 6 13 64	late:	late	6/1404	
	CITY OF PORTLAND	۱ ۱			• •	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as **his** authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

All Purpose Building Permit Application

If you Or the property owner owes real estate Or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits d any kind are accepted.

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Location/Address of Construction:	115 <u>C</u> a	dmAN ST	PŹ	Yand
Total Square Footage of Proposed Structu みりょ ろひ	ıre	Square Foota	ge <i>o</i> fLot IA(7-2.	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 128	Owner: Peggi	Levy Ki	enney	Telephone: 207-232-4643
Lessee/Buyer's Name (If Applicable)	telephone: /ICC	name, address & Jusicph A Ke Colman St adme 0		Cost Of Work: \$ <u>Amendment</u> Fee: \$ \$ 30
Current use: MUARDOM	<u></u>	- 	TIAL	न्यु स
If the location Is currently vacant, what wa	s prlor use: _	\(r		
Approximately how long has It been vacar	nt:		II NOOC I	I NOT
Proposed use: <u>Expans</u> Mud Project description:	room			
Contractor's name, address & telephone: (Nho should we contact when the permit is Mailing address: Jot Kear			Portland n	4-2125 Ar 0.1103
Ve will contact you by phone when the pe eview the requirements before starting any and a \$100.00 fee if any work starts before t	y work, with a	a Plan Reviewe		
IF THE REQUIRED INFORMATION IS NOT INCLUE DENLED AT THE DISCRETION OF THE BUILDING/ NFORMATION IN ORDER TO APROVE THIS PER	PLANNING D			
hereby certify that I am fhe Owner of record of fhe name have been authorized by the owner to make fhis applica insolication. In addition, if a permit for work described in fi hall have the authority to enter all areas covered by this of his permit.	ation as his/her a hisapplication 1	authorized agent. I is Issued, I certify tha	agree to confc t the CodeOffl	orm to all applicable laws of this clairs authorized representative
Signature of applicant:	leurs	Do	ıte: ⊯∫io	104
This is NOT a permit, you-may not you are in a Historic Dis trict you may	commeno be subject	ce ANY work	until the p	ermit is issued.

Planning Department on the 4th floor **£ City** Hall

City of Portland, M 389 Congress Street, 0		0		8716	Permit No: 04-0786	Date Applied For: 06/11/2004	CBL: 128 J018001
Location of Construction:		Owner Name:		0	wner Address:		Phone:
115 Codman St		Levy Keany Peggy		1	115 Codman St		() 232-4643
Business Name: Contractor Name:		Contractor Address:		Phone			
	Carey Monsell & Co.			23 Glenwood Ave. Portland		(207) 775-3984	
Lessee/Buyer's Name Phone:		Permit Type:					
					Amendment to Sir	igle Family	
Proposed Use:			Pr	oposed	Project Description:		
expand mudroom			a	mendn	aent to exist permi	t for mudroom exp	ansion
Dept: Zoning Note:	Status: Ap	pproved	Revie	wer:	Tammy Munson	Approval E	Date: 06/15/2004 Ok to Issue: ☑
Dept: Building Note:	Status: Ap	pproved	Revie	wer:	Tammy Munson	Approval D	Date: 06/15/2004 Ok to Issue: 🗹



BUILDING PERMIT INSPECTION PROCEDURES Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before **any** site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection:	Prior to pouring concrete
M. F. Re-Bar Schedule Inspection:	Prior to pouring concrete
MA Foundation Inspection:	Prior to placing ANY backfill
Framing/Rough Plambing/Electrical:	Prior to any insulating or drywalling
use.	or to any occupancy of the structure or NOTE: There is a \$75.00 fee per section at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

 $\frac{1}{2}$ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee Signature of Inspections Official Building Permit #:

SINGLE FAMILY ADDITIONS AND ALTERATIONS

Your submissions must include the following to be accepted as a complete application:

- 1 copy of the deed if you have owned the property less than 365 days
- 1 copy of a legible site/plot plan
- 1 copy of the building/construction plan
- If your plans are larger than 11" x 17" we will need one copy on paper no larger than 11" x 17" of all submissions. We cannot accept applications without the reduced submission. Electronic plans may be submitted in place of the 11" x 17" copies.

If you are doing an exact replacement of a deck, stairs or shed it will still require a plot plan, showing all setbacks from property lines to finished construction.

PLOT PLAN INCLUDES THE FOLLOWING:

- A neat legible scaled plot plan must be submitted. This plan must show all setbacks from all
 property lines from finished construction. This will include all existing buildings with dimensions. The
 plan must show all proposed additions/alterations/accessory structures with dimensions. If the
 property has any easements, please scale them into your plot plan, along with parking areas and
 driveways with dimensions.
- The proposed construction measurements must be staked out for a site plan visit to confirm measurements on the plot plan. This includes all property plans in relation to proposed construction.

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Stalr and handrall details (Interior & exterior)
- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

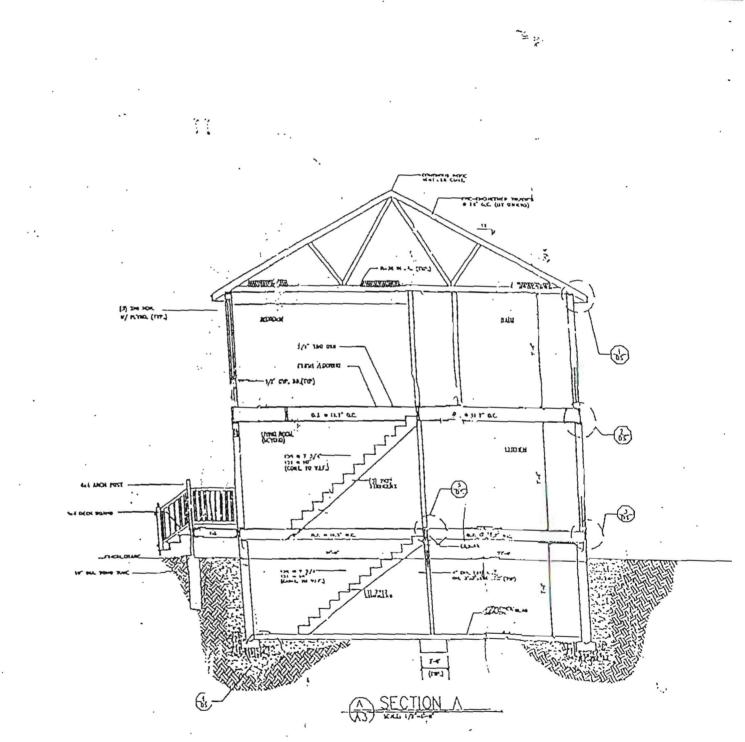
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) Installation must comply with the 1993 BOCA Mechanical Code.

The cost of construction is as follows:

Basic permit fee: \$30.00

The first \$1,000.00 worth of construction is opvered in the \$30.00 base fee Every additional \$1,000.00 will cost $37:00^{-4}$

If a Certificate of Occupancy is needed, it must be issued and paid for before the structure may be occupied. The fee is \$75.00



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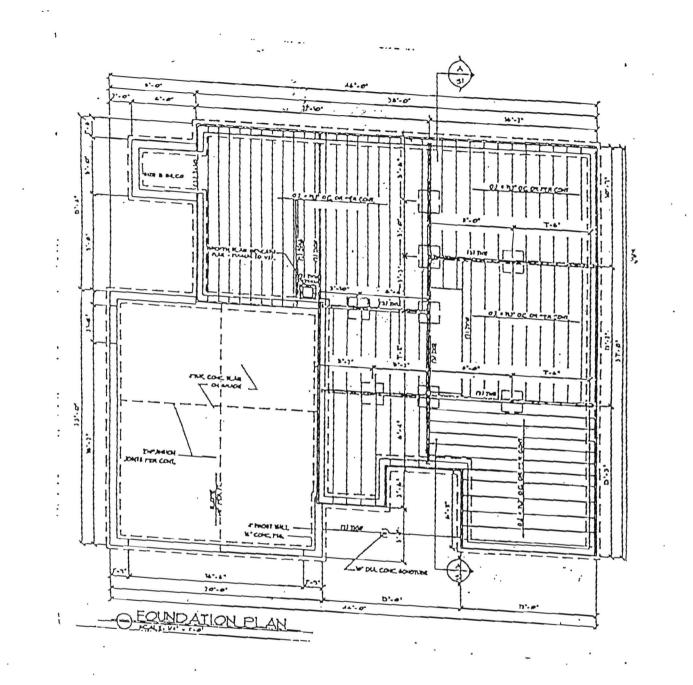
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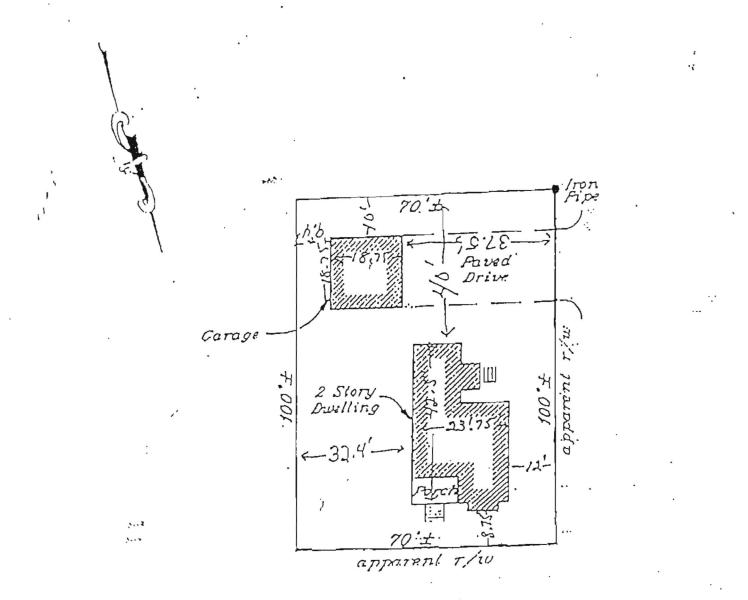
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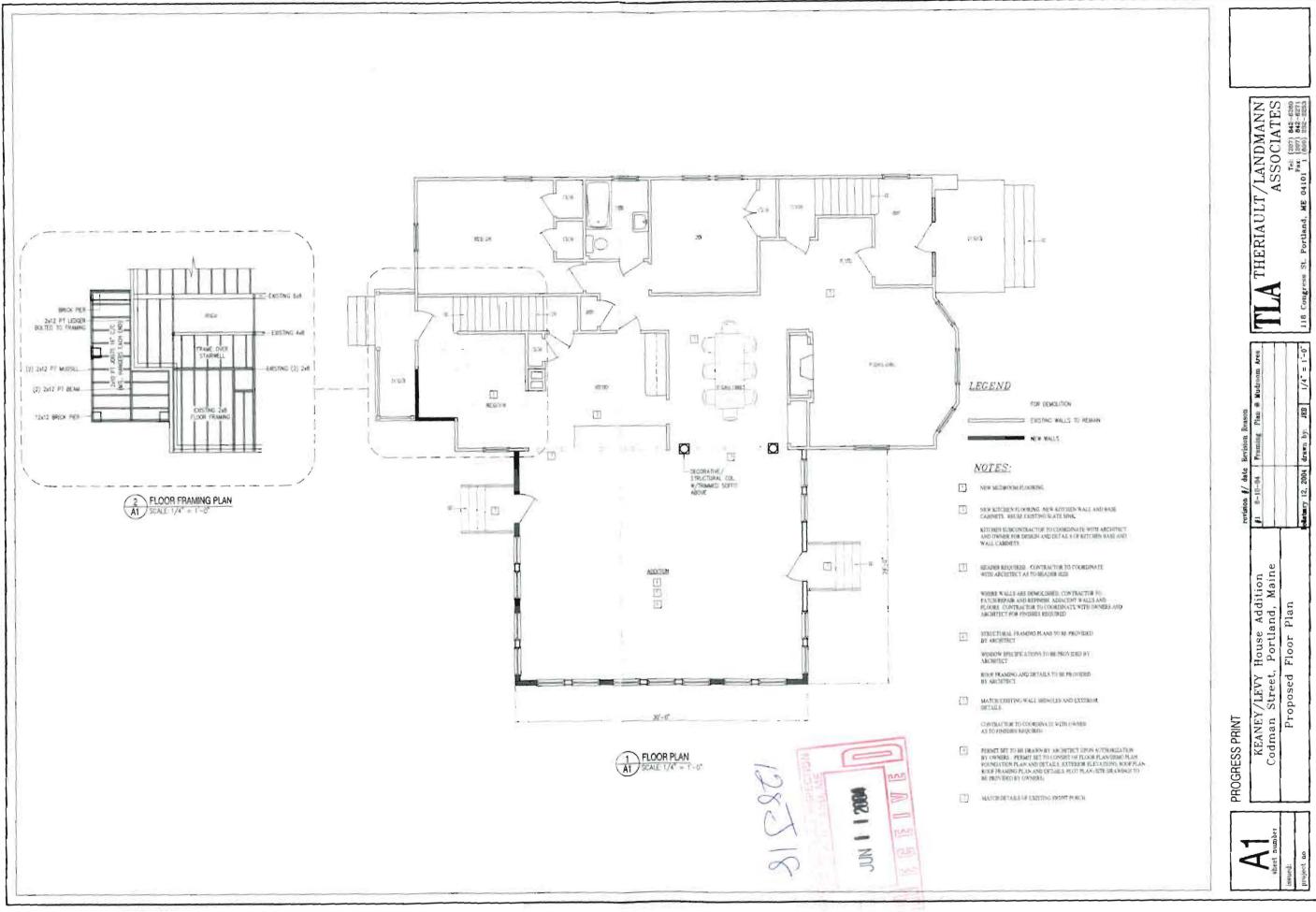
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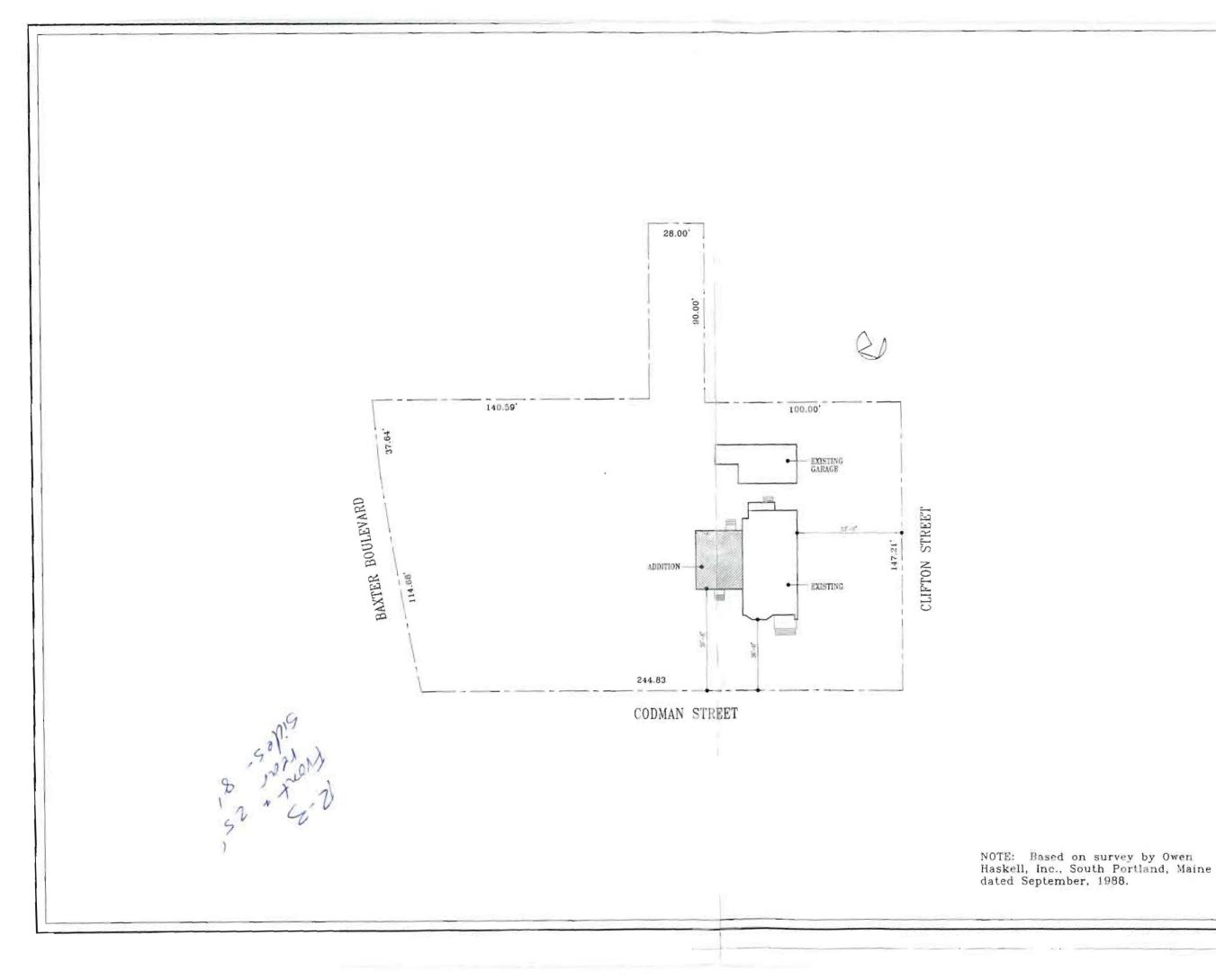


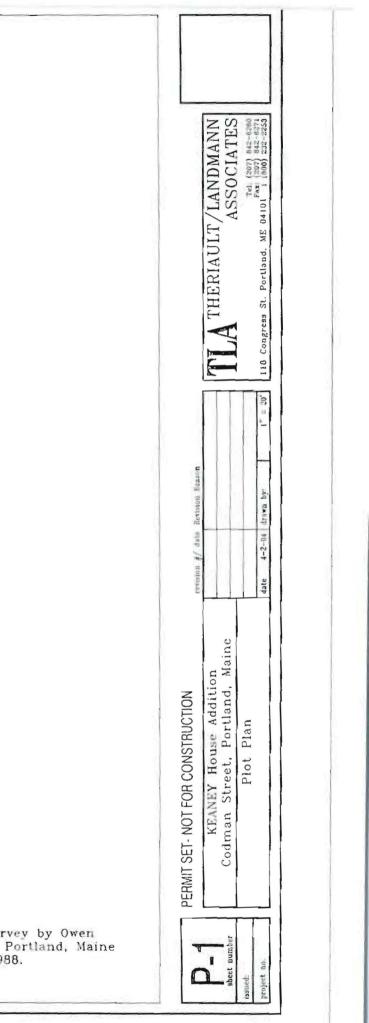
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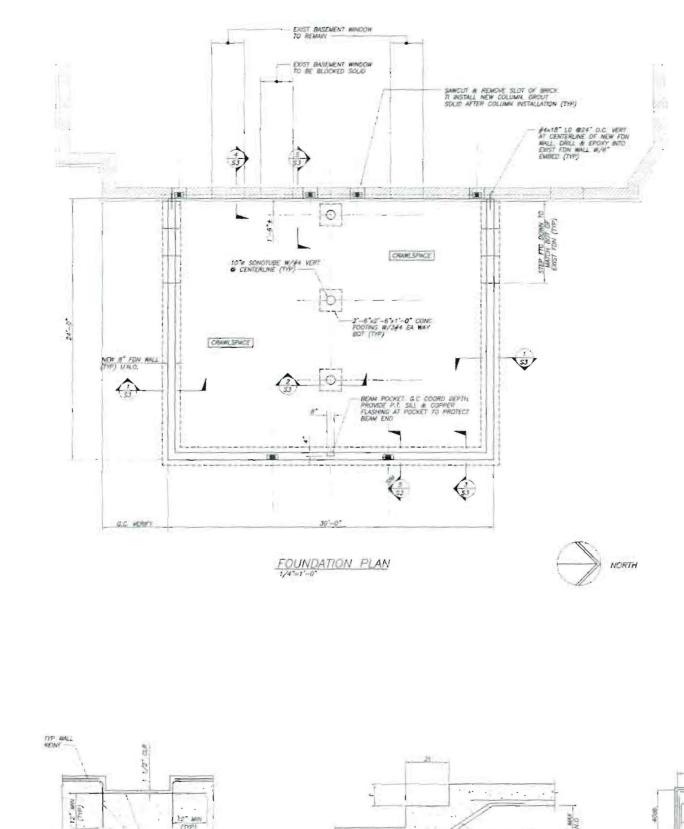
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GENERAL MOTES

- STRUCTURAL DRAWINGS SHALL BE USED IN CONTAINCTION WITH ARCHITECTURAL MECHANICAL ELECTRICAL PLUMBING, MAD STE DRAWINGS, CONSULT INESE DRAWINGS FOR LOCATIONS AND DWWINSDONS OF OPPONISS, CHARGES, INSULVES, RECLETS, SLEEVES, DEPRESSIONS, MOD OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
- 2 ALL DMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD AN DISOREPANCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- 3. IT IS THE CONTINUTOR'S RESPOSED.IT TO VERY DOSTING SOL CONDITIONS AND BRING ANY DISCREPANCES TO THE ATTENTION OF THE ARCHIECT PRIOR TO COMMENSION FULCIENT OF FOUNDATIONS.

CONCRETE MOTES

- CONCRETE WORK SHALL CONFERM TO BUILDING CODE REGURDEMENTS FOR REINFORCED CONCRETE (ACI J18 LATEST)," AND "SPECIFICATIONS FOR STRUCTURAL CONGRETE (ACI J31-LATEST)."
- 2 GENERAL CONTRACTOR SHALL HAVE ANALABLE ON SITE AT ALL TIMES A COPY OF ACT THELD RETERENCE MARKAL SP-15(95)*

- 3 CONCRETE MOL DESIGN FOOTMOS AND FOONDATION WALLS: A STRENGTH, JOOD FOI 428 DAYS B AGDREATE J/4 C, W/C RATICE 0.35 MAX D ENTRANED AT, BX MAX, 6% MIN E, SLUMP, 4* MAX
- 4. REINFORCING BARS SHULL CONTORN TO ASTM ARTS GRADE GO DEFORMED BARS AND SHALL BE DITUALED, FADRICATED AND FLACED IN ACCORDANCE WITH AC 315, LATEST GUIDON.

STRUCTURAL STEEL NOTES

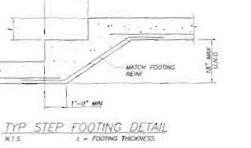
- 1 STRUCTURAL STEEL FABRICATION, DRECTION, AND CONNECTION DESIGN SHALL CONFIDENT TO ASIC "SPECIFICATION FOR THE DESIGN PABRICATION, AND ERECTION OF STRUCTURAL STEEL" 8TH EDITION, AND THE "DODE OF STANDARD PRACTICE, LATEST EDITION.
- STRUCTURAL STEEL: STEEL PLATES, ANGLES, AND BARS SHALL CONFORM TO ASTW ASS STRUCTURAL STEEL INDE-FLANNE SECTIONS SHALL CONFORM TO ASTW ASSE (ASTW. AST/C GROUP SO WITH SPECIME RECOMPENDING PEP ASSE TECHNICAL BULLETIN #3 DATED WARCH, 1987)
- 3 STRUCTURE TURING CONFORM TO ASTM ASOO GRADE BAG KSL
- FELD CONNECTIONS SHALL BE BOLTED USING 3/4"- DAMETER ASTM A325N HIGH STRENDTH BOLTS (U.N.O.)
- 5 INHERE WELDING IS INDICATED, ALL WELDING SHALL DOWNORM TO ABS D1.1-LATEST EDITION. ELECTRODES SHALL BE CONFORM TO ARE AS LETITICS SERVES WITH PROPER ROO TO FRODUCE OFFINIA WELD (LOW HINDICAL)

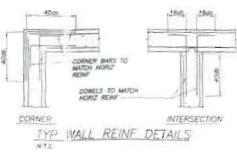
NTE

(2)#4 THEM BASS

FORMONTION WHELE

TYP TOP OF WALL OPENING





TIMPER NOTES

- 5

ALL THREEP FRAMING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ATTC THREEP CONSTRUCTION MANUAL AND THE AEMITA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS).

MONDUAL TIMOOP FRAMING MEMBERS SHALL BE VISUALLY GRADED, MINIMUM GRADE NOT/NGO SPRUCE-PINE-FIN KUN DHIED TO THE MAXIMUM MOISTURE DONTENT UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

J. WOOD I-JOISTS, LAMINIED VENER LLANDER (LV) AND PARALLEL STRAND LLANDER (PSL) SHALL BE AS SPECTRED ON THE DRAWNER AND ANALASCHURED BY TRUG-JOIST MACHILLAN. BOSE CASEARE OF EDUAL AS APPROVED BY THE ENOMER. REFER TO MANUFACTURER'S LITERATURE FOR PROPER HANDLING AND INSTALLATION BUDGLINES.

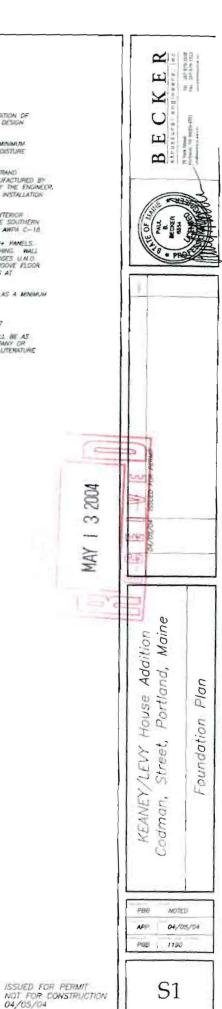
4 PRESSURE TREATED LUMBER SHALL BE USED FOR SAL MEMBERS, EXTERIOR DROSURE, OR WHERE SHOWN ON THE DRAWINGS. TWEEK SHALL BE SOUTHERN YELLOW PINE TREATED WITH CCA TO 0.4 \$705 IN ACCORDANCE WITH AWAR C-18

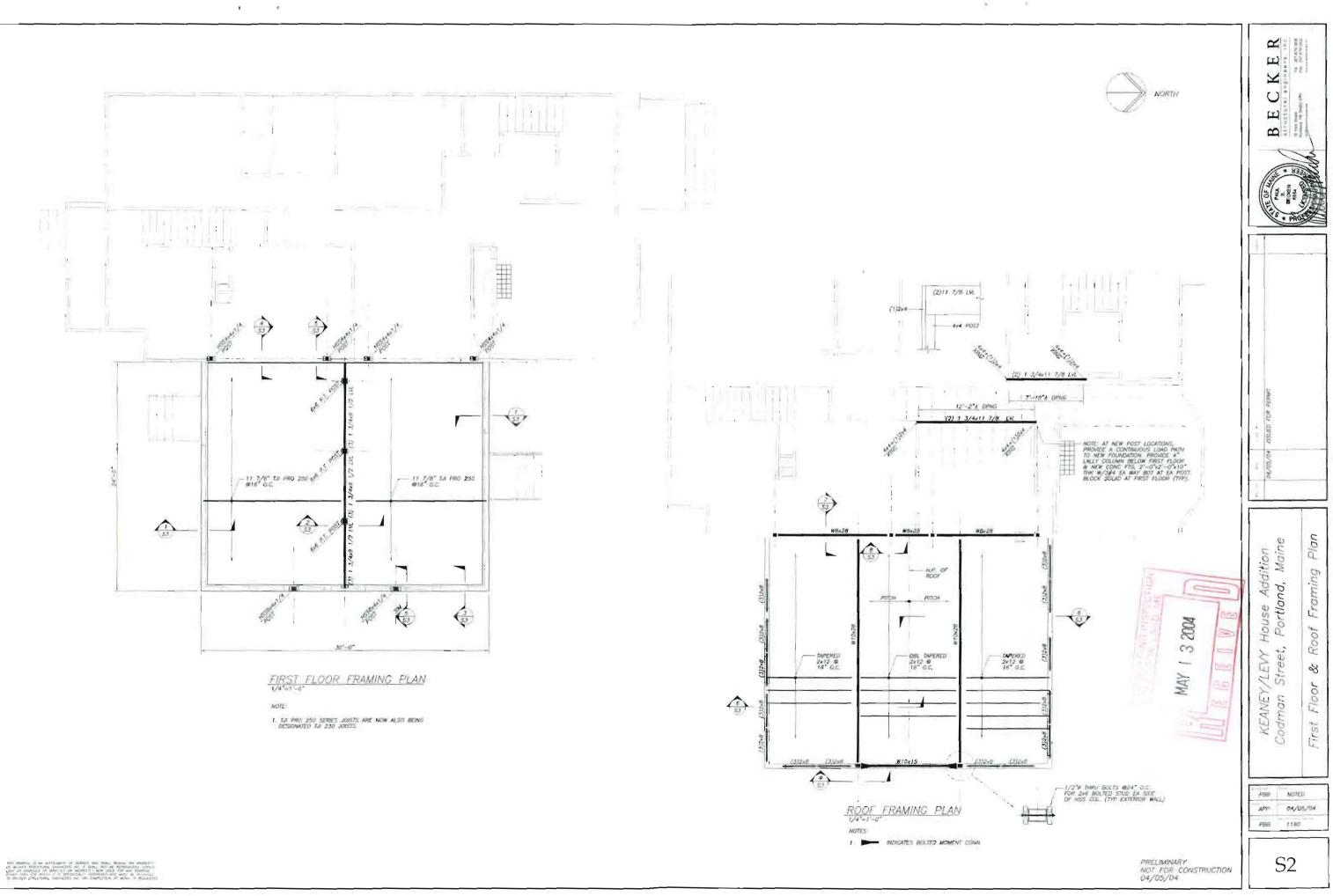
ALL SHEATHING SHILL BE APA PERFORMANCE RATED, ADVANTECH VIP+ HANELS, PROVIDE 1/2" THEON WALL BENEATHING AND 5/8" THEON ROOT SHEATHING WALL A ROOF SHEATHING SHALL BE ALLED TO FRAMMOR AT 8" OC AT EDDES UN O. FLOOR SHEATHING SHELL BE 31/32" ADVANTECH VIP+ TONGLE & GROOVE FLOOR SHEATHING SHELL BE GLUE/SICREWED TO FRAMMOR AT 6" O.C. AT EDGES U.N.O.

6. ALL BURT-OF BEARS AND COLUMNS SHOLL BE NAMED AS FOLLOWS AS A MINIMUM BEAMS 2-16D NALES AT 5" O.C. IN EACH PRECE COLUMNS: TOD NALES AT 5" O.C. IN EACH PRECE

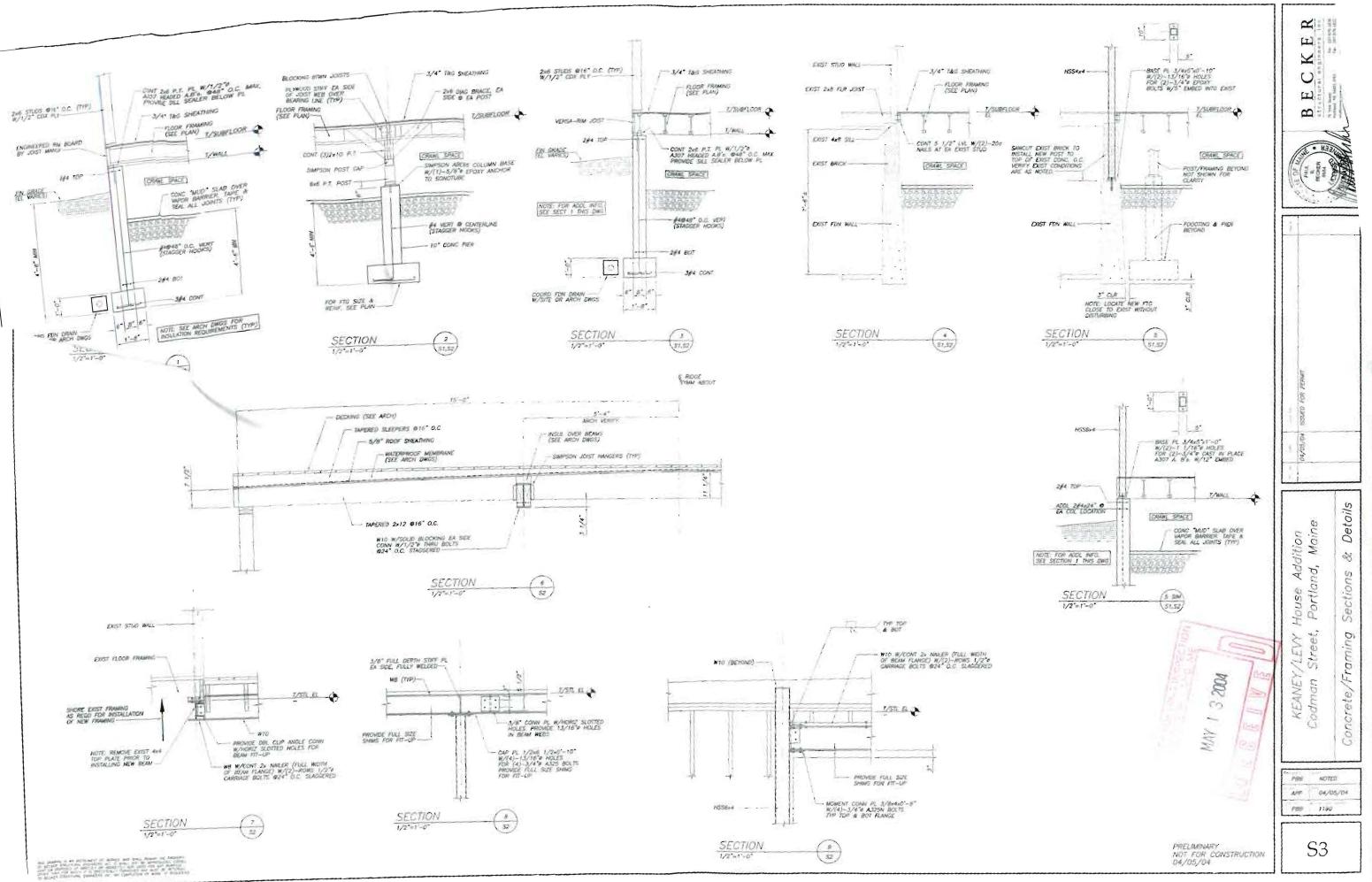
7. PASTENING NOT SPECIFIED SHALL CONFORM WITH BOCA TABLE 2305.2

8 JOIST HANDERS, BEAN HANDERS, FOST BASES AND DAP PLATES SHALL BE AS MODATED ON THE DRAWINGS AND MANEFACTURED BY SAMPSON DDWIMAY OF EDUA, AS APPROVED BY THE TRANSPER MYNEFACTURES LITERATURE FOR PROPER HANDLING AND INSTALLATION GUIDELINES.





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CITY OF PORTLAND, MAINE Department of Building Inspections

		You have	1/ 2007
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Received from	aseph	KCGINE	4
Location of Work	115 CO	Inari	St.
Cost of Construction	\$		
Permit Fee	\$ 30%	2	
Building (IL) Plumb	bing (I5) El	ectrical (I2)	Site Plan (U2)
Other	5		
ing it	18.		
CBL: 128 U	0		R
Check #:		Total Colle	cted s

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy YELLOW - Office Copy PINK - Permit Copy