

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

# PERMIT

Permit Number: 040541

Please Read Application And Notes, If Any, Attached

This is to certify that Levy Peggy Ann Rowell/Carmel Monsell  
has permission to build 24' x 30' addition  
AT 115 Codman St 128 J018001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Notification of inspection must be given and written permission procured before this building or part thereof is entered or occupied. **HEAVY NOTICE IS REQUIRED.**

Apply to Public Works for street line and grade if nature of work requires such information.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_

**PERMIT ISSUED**  
**MAY 18 2004**  
CITY OF PORTLAND

Department Name

Director - Building & Inspection Services

*[Handwritten Signature]*  
*5/18/04*

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0541	Issue Date: <b>8 2004</b>	CBL: 128 J018001
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Location of Construction: 115 Codman St	Owner Name: Levy Peggy Ann Rowell	Owner Address: 115 Codman St	Phone: 791-7163
Business Name:	Contractor Name: Carey Monsell & Co.	Contractor Address: 23 Glenwood Ave. Portland	Phone: 2077753984
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: single family	Proposed Use: single family - build 24' x 30' addition	Permit Fee: \$1,146.00	Cost of Work: \$125,000.00	CEO District: 4
		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3 Type: SB BOCA 1999	

Proposed Project Description: build 24' x 30' addition	Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: tmm	Date Applied For: 05/05/2004	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input checked="" type="checkbox"/> Shoreland <i>Well beyond 75' HWL</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/18/04</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>5/18/04</i>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

7-2-04 checked setbaals OK  
to pour mud

11/01/04 close in inspection. Met w/ contractor. Gave OK. to  
close in gr

12/01/04 checked ~~3~~ tubes. all @ 48.1 OK. to pour gr

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0541	Date Applied For: 05/05/2004	CBL: 128 J018001
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Location of Construction: 115 Codman St	Owner Name: Levy Peggy Ann Rowell	Owner Address: 115 Codman St	Phone:
Business Name:	Contractor Name: Carey Monsell & Co.	Contractor Address: 23 Glenwood Ave. Portland	Phone (207) 775-3984
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: single family - build 24' x 30' addition	Proposed Project Description: build 24' x 30' addition
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Dept: Zoning      Status: Approved      Reviewer: Tammy Munson      Approval Date: 05/18/2004  
Note:      Ok to Issue:

Dept: Building      Status: Approved with Conditions      Reviewer: Tammy Munson      Approval Date: 05/18/2004  
Note:      Ok to Issue:

1) This permit does not include side entry stairs of the existing house that are to be demolished and rebuilt. As discussed during the review process you will have to file an ammendment with construction details.



# Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/ Address of Construction: <u>115 Codman St</u>		
Total Square Footage of Proposed Structure <u>720 sq FT</u>	Square Footage of Lot <u>36000 +</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>128-5-18-19</u> Block# <u>128-5-034-001</u> Lot# <u>128-5-017-01</u>	Owner: <u>Peggy Ann Levy Keanev</u>	Telephone: <u>207-774-3795</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Peggy Ann Levy Keanev</u> <u>115 Codman St.</u> <u>Portland ME 04103</u>	Cost Of Work: \$ <u>125,000</u> Fee: \$ <u>1,146.00</u>
Current Specific use: <u>YARD</u>		
Proposed Specific use: <u>EAT-IN Kitchen Area &amp; Living AREA</u>		
Project description: <u>We are putting on a single story Addition to expand our Kitchen &amp; Living AREA.</u>		
Contractor's name, address & telephone: <u>Carl A. Monseal 21 Glenwood Street Portland, ME</u> <u>207-774-2125</u>		
Who should we contact when the permit is ready: <u>Joseph A. Keanev</u>		
Mailing address: <u>115 Codman Street</u> <u>Portland Maine 04103</u>		Phone: <u>207-774-3795</u>

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Peggy A. Levy Keanev Date: 4/28/04

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

**Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

**Footing/Building Location Inspection:** Prior to pouring concrete

**Re-Bar Schedule Inspection:** Prior to pouring concrete

**Foundation Inspection:** Prior to placing ANY backfill

**Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

**Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

           If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

*[Signature]*  
Signature of Applicant/Designee

5/20/04  
Date

*[Signature]*  
Signature of Inspections Official

            
Date

CBL: 128-3-18

Building Permit #: 04-0541

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	128 J018001
Location	115 CODMAN ST
Land Use	TWO FAMILY
 Owner Address	 LEVY PEGGY ANN ROWELL 115 CODMAN ST PORTLAND ME 04103
 Book/Page	 128-J-18-19
Legal	CODMAN ST 115-129 BAXTER BLVD 376-388 30895 SF

Valuation Information

Land	Building	Total
\$106,470	\$185,220	\$291,690

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1926	Gambrel	2	3648	0.709	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
5	3		13	Full Finsh	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1968	20X24	C	A
SHED-FRAME	1	1968	11X16	C	A

Sales Information

Date	Type	Price	Book/Page
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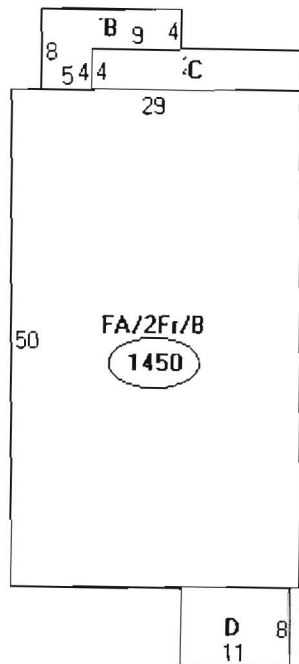
Picture and Sketch

[Picture](#)      [Sketch](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

**New Search!**



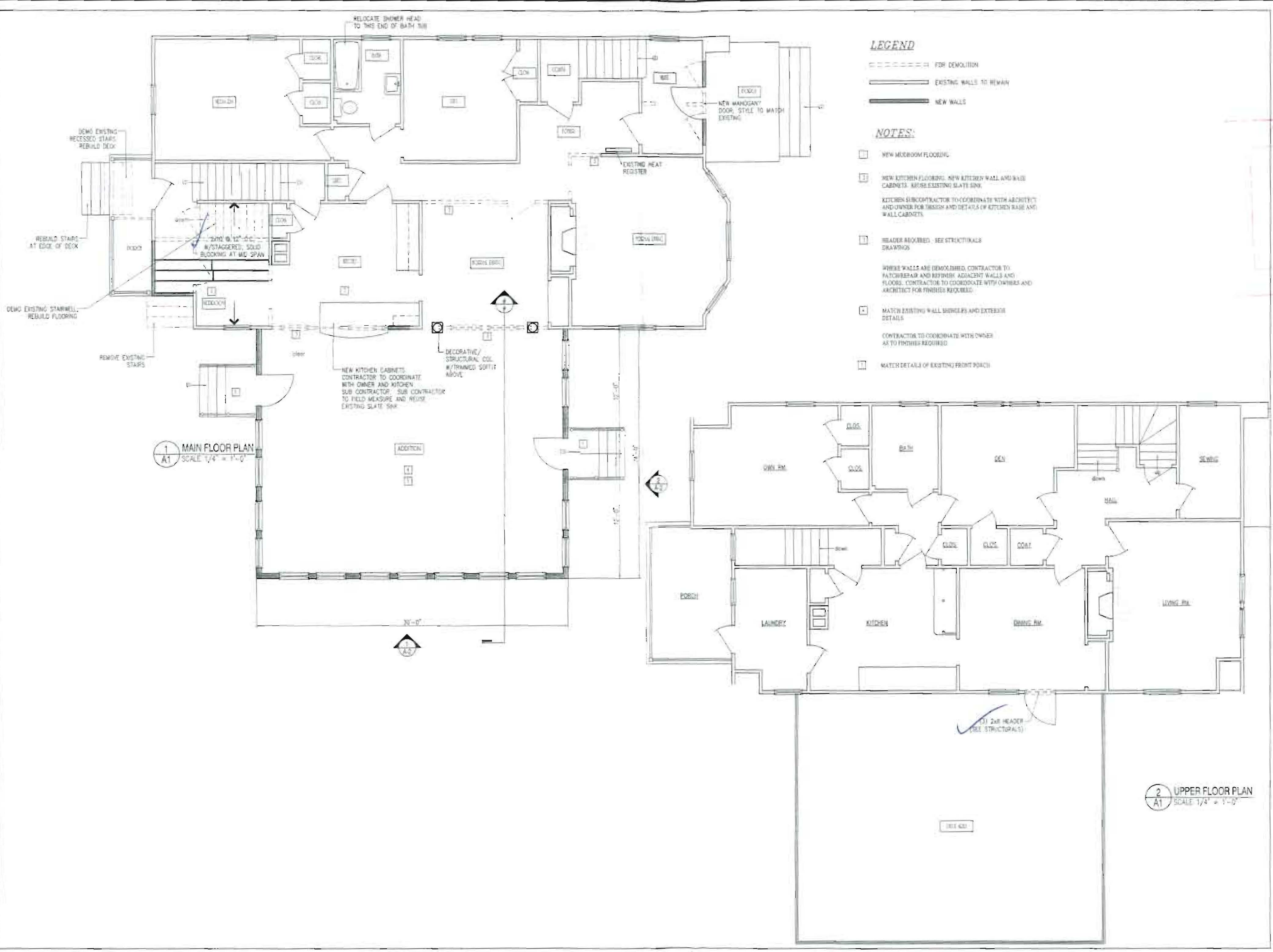
Descriptor/Area

- A: FA/2Fr/B  
1450 sqft
- B: OP/OP  
76 sqft
- C: 2Fr/B  
84 sqft
- D: OFP  
88 sqft

R-3







**LEGEND**

----- FOR DEMOLITION

— EXISTING WALLS TO REMAIN

— NEW WALLS

**NOTES:**

1 NEW MUDROOM FLOORING

2 NEW KITCHEN FLOORING, NEW KITCHEN WALL AND BUILT CABINETS. REUSE EXISTING SLATE SINK. KITCHEN SUBCONTRACTOR TO COORDINATE WITH ARCHITECT AND OWNER FOR DESIGN AND DETAILS OF KITCHEN BASE AND WALL CABINETS.

3 HEADER REQUIR'D - SEE STRUCTURALS DRAWINGS

WHERE WALLS ARE DEMOLISHED, CONTRACTOR TO PATCH/REPAIR AND REFINISH ADJACENT WALLS AND FLOORS. CONTRACTOR TO COORDINATE WITH OWNERS AND ARCHITECT FOR FINISHES REQUIR'D.

4 MATCH EXISTING WALL SHINGLES AND EXTERIOR DETAILS

CONTRACTOR TO COORDINATE WITH OWNER AS TO FINISHES REQUIR'D

5 MATCH DETAILS OF EXISTING FRONT PORCH

1 MAIN FLOOR PLAN  
SCALE 1/4" = 1'-0"

2 UPPER FLOOR PLAN  
SCALE 1/4" = 1'-0"

MAY 13 2004

PERMIT SET - NOT FOR CONSTRUCTION

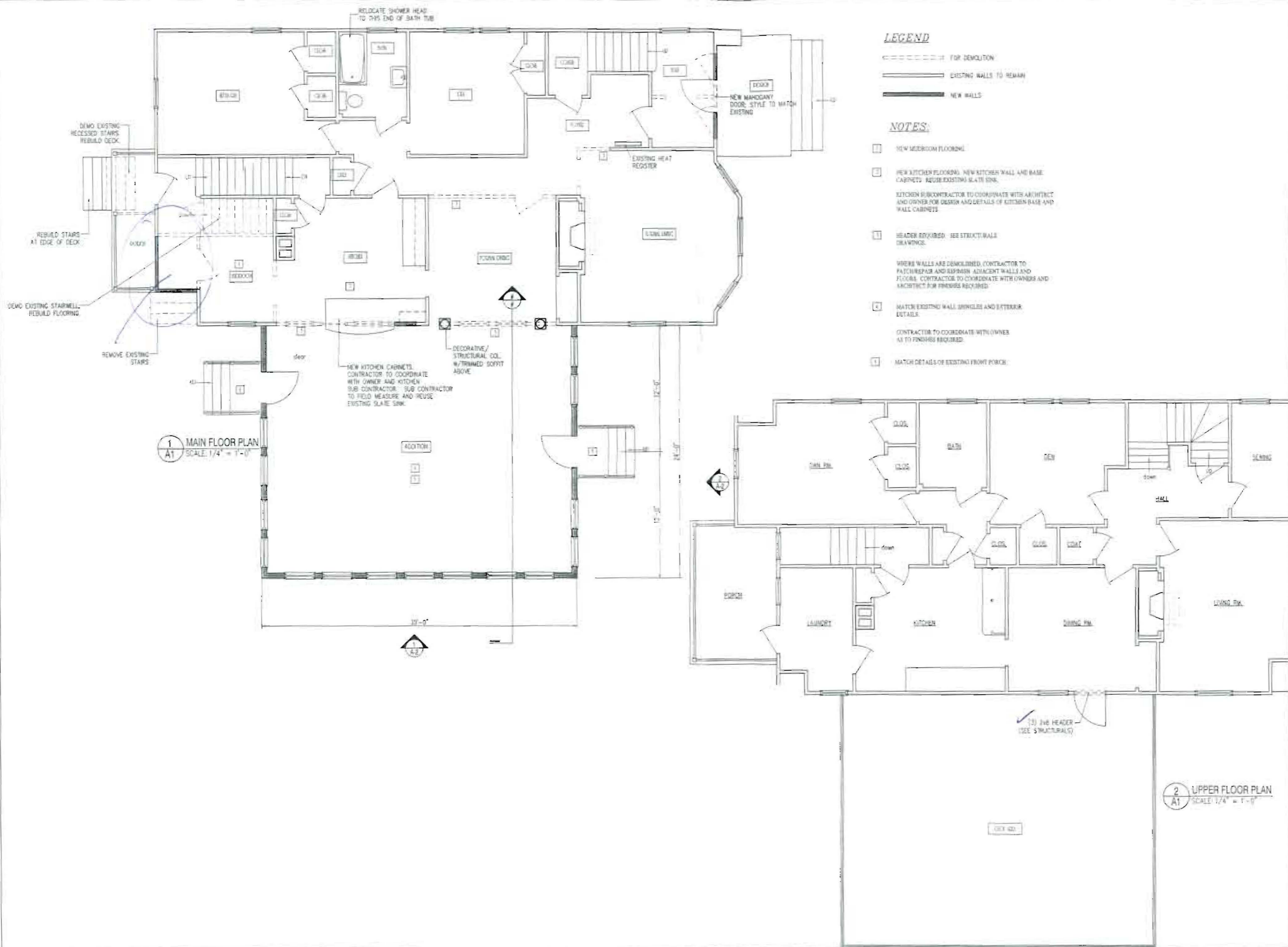
KEANEY House Addition  
115 Codman Street, Portland, Maine  
Proposed Floor Plan

revisions: # / date / Revision Reason


A-1

sheet number  
issued:  
project no.

TLA THERIAULT/LANDMANN ASSOCIATES  
Tel: (207) 842-8280  
Fax: (207) 842-8273  
118 Congress St. Portland, ME 04101 I (800) 228-2283



**LEGEND**

----- FOR DEMOLITION

===== EXISTING WALLS TO REMAIN

===== NEW WALLS

**NOTES:**

1 NEW MUDROOM FLOORING

2 PER KITCHEN FLOORING, NEW KITCHEN WALL AND BASE CABINETS. REUSE EXISTING SLATE SINK.

KITCHEN SUBCONTRACTOR TO COORDINATE WITH ARCHITECT AND OWNER FOR DESIGN AND DETAILS OF KITCHEN BASE AND WALL CABINETS

3 HEADER REQUIRED. SEE STRUCTURAL DRAWINGS.

WHERE WALLS ARE DEMOLISHED, CONTRACTOR TO PATCH/REPAIR AND REFINISH ADJACENT WALLS AND FLOORS. CONTRACTOR TO COORDINATE WITH OWNERS AND ARCHITECT FOR FINISHES REQUIRED.

4 MATCH EXISTING WALL SHIMULES AND EXTERIOR DETAILS.

CONTRACTOR TO COORDINATE WITH OWNERS AS TO FINISHES REQUIRED.

5 MATCH DETAILS OF EXISTING FRONT PORCH.

1  
A1  
MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"

2  
A1  
UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"

PERMIT SET - NOT FOR CONSTRUCTION

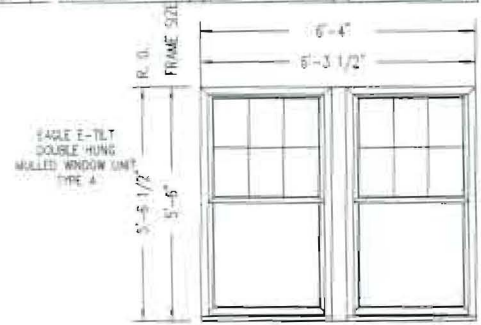
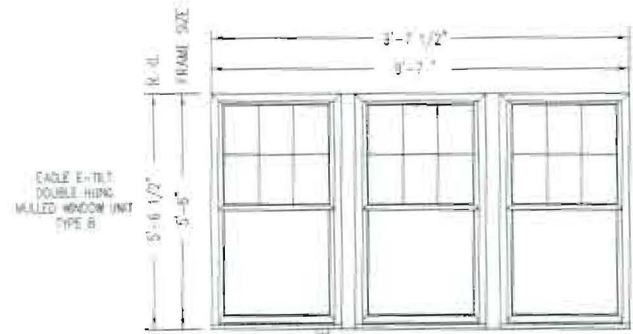
KEANEY House Addition  
115 Codman Street, Portland, Maine  
Proposed Floor Plan

revision # / date / Revision Reason

date 4-00-04 drawn by: JED 1/4" = 1'-0"

**TLA** THERIAULT/LANDMANN ASSOCIATES  
Tel: (207) 842-8300 Fax: (207) 842-8371  
118 Congress St. Portland, ME 04101 (800) 232-2233

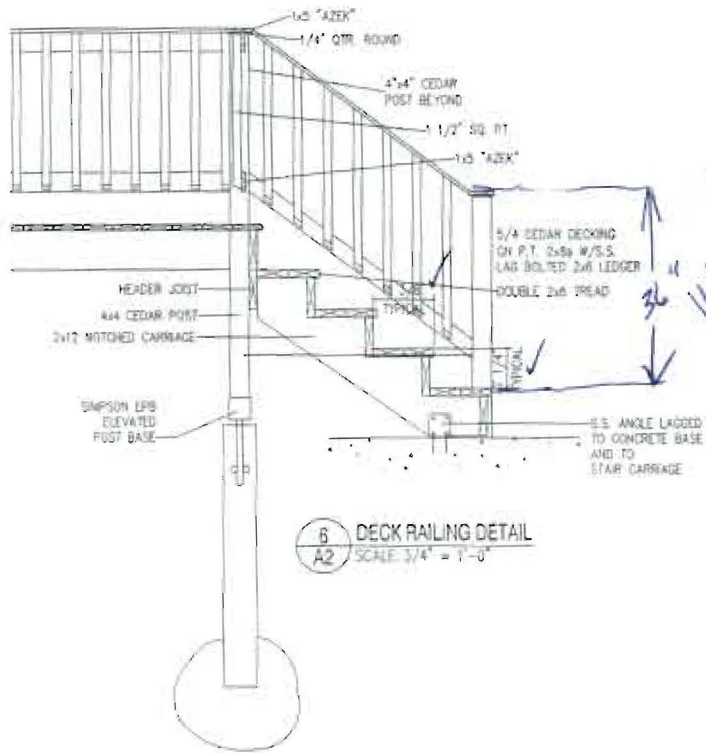
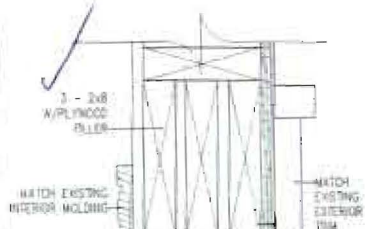
**A-1**  
sheet number  
issued:  
project no.



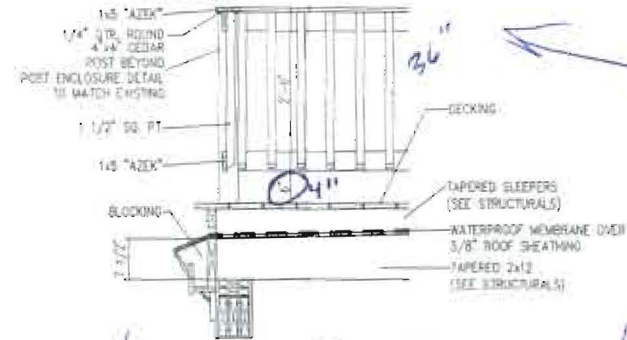
4 WINDOW TYPES  
SCALE 3/4" = 1'-0"



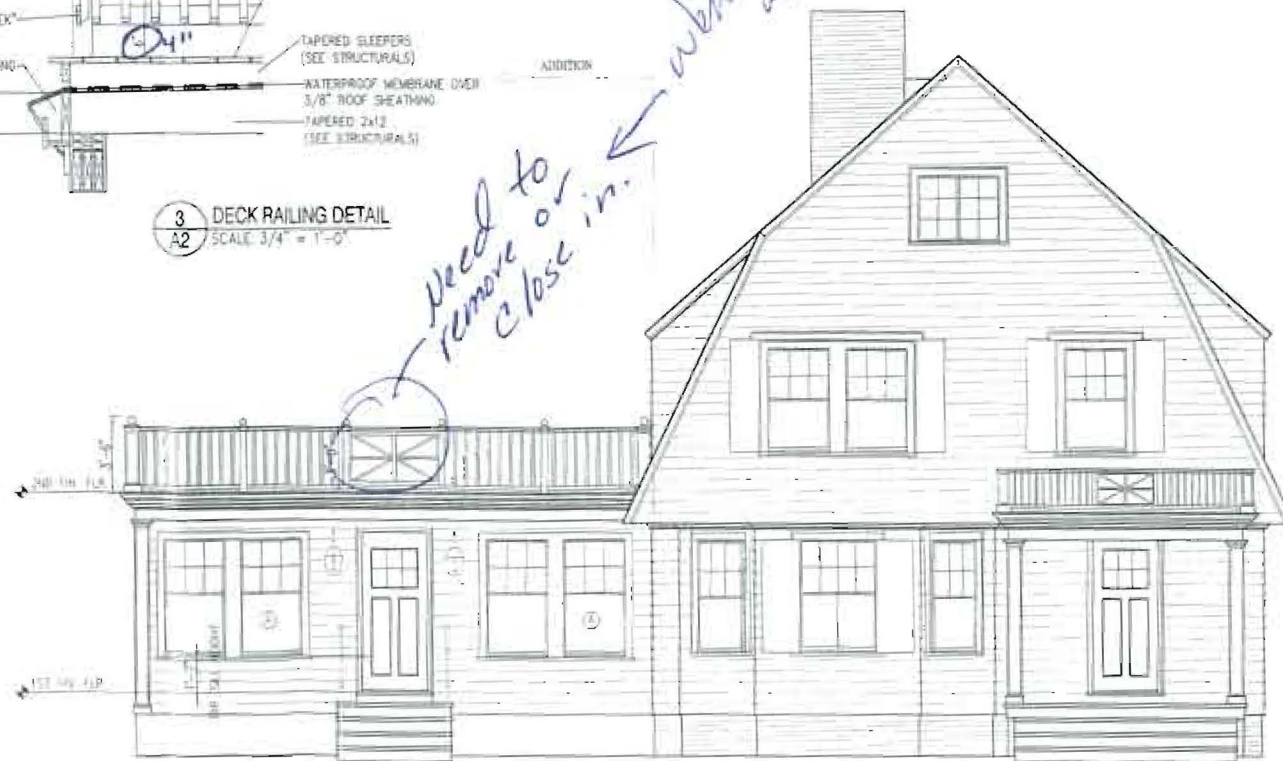
1 WEST ELEVATION  
SCALE 1/4" = 1'-0"



6 DECK RAILING DETAIL  
SCALE 3/4" = 1'-0"



3 DECK RAILING DETAIL  
SCALE 3/4" = 1'-0"



2 SOUTH ELEVATION  
SCALE 1/4" = 1'-0"

5 TYP. WINDOW HEADER  
SCALE 3/4" = 1'-0"

PERMIT SET - NOT FOR CONSTRUCTION

KEANEY House Addition  
115 Codman Street, Portland, Maine  
PROPOSED EXTERIOR ELEVATIONS

revision #/	date	Revision Reason

date 4-05-04 drawn by: JEB 1/4" = 1'-0"

A-2  
sheet number  
project no.

TLA THERIAULT/LANDMANN ASSOCIATES  
Tel: (207) 842-0260  
Fax: (207) 842-0271  
118 Congress St. Portland, ME 04101 1 (800) 232-2253



# CITY OF PORTLAND, MAINE

## Department of Building Inspections

5/5/04  
20

Received from Joseph Kearney

Location of Work 115 Codman St.

Cost of Construction \$ 125 000

Permit Fee \$ 1146

Building (I1)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 128-J-18

Check #: 8079

Total Collected \$ 1146

# THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy