

Location of Construction: 125 Hersey St. Portland, ME 04103		Owner: Francis C. Martinez		Phone: 772-7054		Permit No: <b>990904</b> <b>PERMIT ISSUED</b> Permit Issued: AUG 20 1999 <b>CITY ( PORTLAND )</b> Zone: <b>R-3</b> CBL: 128-D-001	
Owner Address: 125 Hersey St. Portland, ME 04103		Lessee/Buyer's Name:		Phone:			Permit Issued: AUG 20 1999 <b>CITY ( PORTLAND )</b> Zone: <b>R-3</b> CBL: 128-D-001
Contractor Name: Monaghan Construction Inc.		Address: P.O. Box 1235, Scarborough, ME 04070		Phone: 929-3755*****			
Past Use:  Single Family		Proposed Use:  Same		COST OF WORK: \$ 10,000.00 PERMIT FEE: \$84.00 FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: <b>R-3</b> Type: <b>5B</b> Signature: <i>[Signature]</i>			
Proposed Project Description: Attached breezeway to house and deck				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/> Signature: _____ Date: _____		Zoning Approval: Special Zone or Reviews: <i>OK to remain 1 Family 8/19/99</i> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: NW		Date Applied For: 8/11/99					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Please call Peter when ready 929-3755

**PERMIT ISSUED  
WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS: \_\_\_\_\_ DATE: August 11, 1999 PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**Action:**

Approved  
 Approved with Conditions  
 Denied

Date: \_\_\_\_\_

CEO DISTRICT 2

COMMENTS

9/2/99 - Per M. Schmuckal - can pour concrete patio as long as no wood (deck) construction. (JM)

2/4 This permit expire, see new permit # 000180 issued 3/15/2000 JM

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

Area 2

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Building or Use Permit Pre-Application  
Additions/Alterations/Accessory Structures  
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 125 Hersey St. Portland, Me 04103

Tax Assessor's Chart, Block & Lot Number Chart# <u>128</u> Block# <u>D</u> Lot# <u>001</u>	Owner: <u>Francis C. Martinez Jr.</u>	Telephone# <u>7727054</u>
Owner's Address: <u>125 Hersey St.</u>	Lessee/Buyer's Name (If Applicable) _____	Cost Of Work: <u>\$10,000.00</u> Fee <u>\$84.00</u>
Proposed Project Description. (Please be as specific as possible) <u>Attached Breezeway To House And Deck</u>		
Contractor's Name, Address & Telephone <u>MONASHAW Construction INC SCARBORO ME 04070</u>		Rec'd By: <u>[Signature]</u>

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 B.O.C.A Mechanical Code.

You must Include the following with you application.

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

*Please call Peter @ 929-3755 when ready*

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

**4) Building Plans (Sample Attached)**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>8/11/99</u>
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Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.



**BUILDING PERMIT REPORT**

DATE: 11 Aug 99 : ADDRESS: 125 Hensley St. CBL: 128-D-001  
 REASON FOR PERMIT: To Construct breezeway and deck  
 BUILDING OWNER: Francis C. Martinez  
 PERMIT APPLICANT: \_\_\_\_\_ (Contractor Monaghan Const. Inc.)  
 USE GROUP A-3 CONSTRUCTION TYPE 5-B

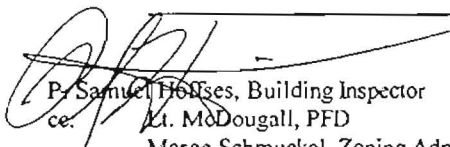
The City's Adopted Building Code (The BOCA National Building Code/1996 with City Amendments)  
 The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: \*1, \*2, \*4, \*8, \*11, \*13, \*27, \*29, \*33, \*32  
 Approved with the following conditions:

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 3e4" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)

17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)
18. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 &19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
 In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
- X-27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min.72 hours notice) and plumbing inspections have been done.
28. All requirements must be met before a final Certificate of Occupancy is issued.
- X-29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements.
- X-32. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.
- X-33. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
34. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code 1996).
35. \_\_\_\_\_
36. \_\_\_\_\_
37. \_\_\_\_\_
38. \_\_\_\_\_

  
 P. Samuel Hennes, Building Inspector  
 ce. Lt. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator

PS1172499

**\*\*On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.**

## Submission Requirements Residential Construction

When a property owner is proposing either a new structure or an addition, this office requires:

- A plot or site plan, showing the shape and dimensions of the entire lot, all existing and proposed structures on the lot and the distance that the structures are from all lot lines. For a new dwelling the plan must be prepared by a registered design professional. For dwelling additions, the plan can be prepared by the owner or agent. (See Figure 1)

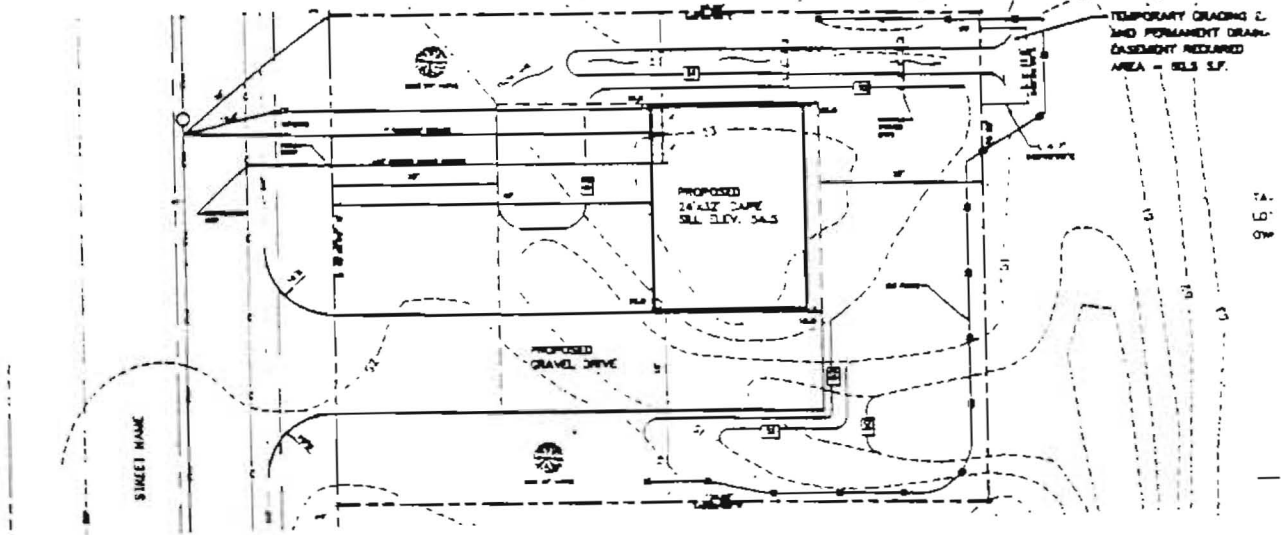


Figure 1. Typical Plot Plan

As can be seen, it is easy to establish the extent of compliance with the required setbacks and lot coverage.

- For new construction, structural alterations, or additions, plans showing structural details must be provided. Minimally they should include foundation plans, including drainage and support column spacing framing details, floor plans and a cross section. (See Figures 2, 3 & 4)

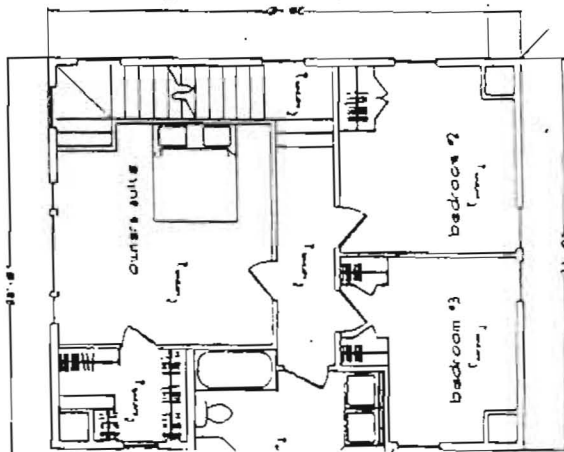


Figure 3. Typical Floor Plan

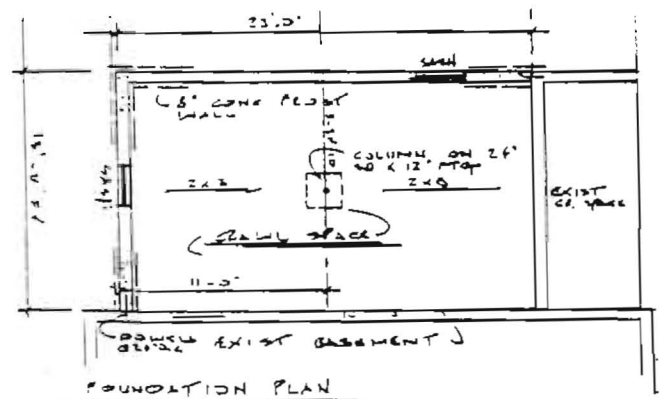
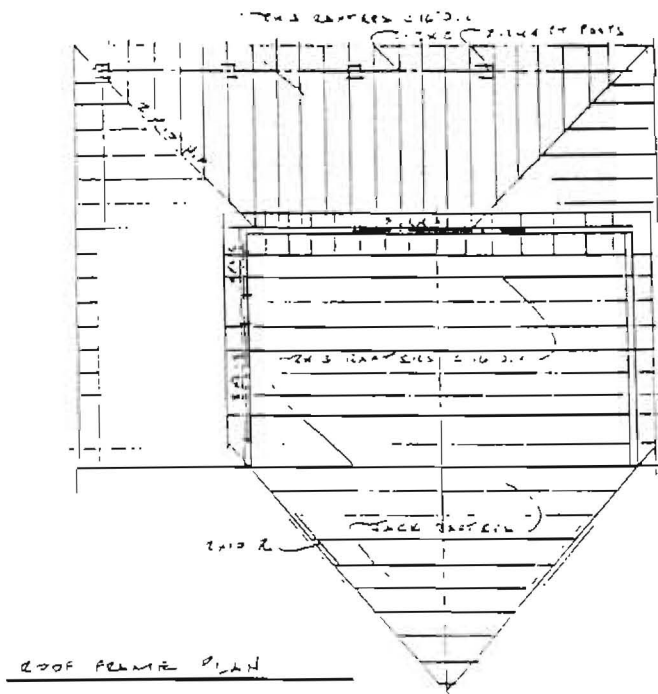
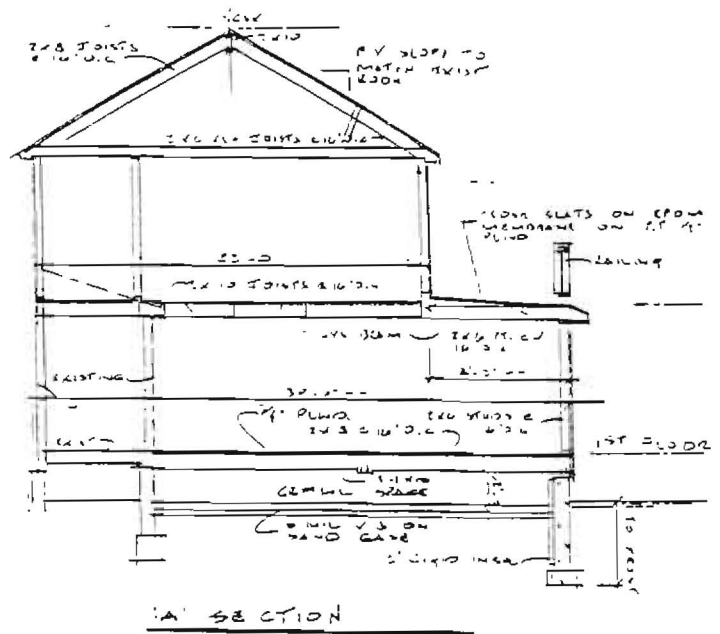


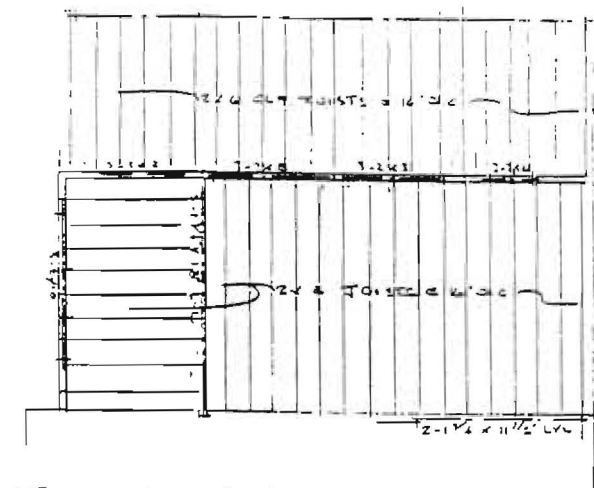
Figure 2. Typical Foundation Plan



ROOF FRAME PLAN



A-A SECTION



2<sup>ND</sup> FLOOR FRAME PLAN

**Figure 4. Typical Framing and Cross Section**

These plans are all done by professionals, you can do your own plans for the purposes of residential construction, the plan does not have to be of this quality, but the level of detail and accuracy is important. When proposing an addition, similar plans are required, the same goes for a detached garage or an attached deck.



# Know all Men by these Presents, That

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hundred  
cents as  
July 1,  
of five  
are to

I, Nicolina T. Martinez, of Portland in the County of Cumberland and State of Maine

in consideration of two thousand (\$2000.00) dollars paid by Guisepe Pio, of said Portland in the County of Cumberland and State of Maine,

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ollars  
xecutors,  
not commit  
rein  
date  
Wilkins  
I, shall

the receipt whereof I do hereby acknowledge do hereby *give, grant, bargain, sell and convey* unto the said Guisepe Pio, his heirs and assigns forever,

A certain lot or parcel of land with the buildings thereon, situated on the southeasterly side of Veranda Street in said Portland, and being lot No. 175 as delineated on a plan of Marine Terrace, recorded in Cumberland County Registry of Deeds in Plan Book 10, Page 103, which said lot is otherwise bounded and described as follows: Commencing at a point on the southeasterly side of Veranda Street distant seventy and sixty-eight hundredths (70.68) feet, more or less, southwestwardly from a stake marking the most northerly corner of said tract of land known as Marine Terrace, which point is the most westerly corner of lot No. 176 on said plan; thence running southwestwardly by said Veranda Street fifty and fifty-six hundredths (50.56) feet, more or less, to the most northerly corner of lot No. 171 on said plan; and from these two points extending southeasterly on parallel lines a distance of one hundred fifty-eight (158) feet more or less, on the northeasterly line and a distance of two hundred fifteen (215) feet, more or less, on the southwesterly line, to the rear end of said lot as delineated on said plan.

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Being the same premises conveyed to me by deed of Carmela Casale to be recorded herewith.

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year of our

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**To Have and to Hold** the aforegranted and bargained premises, with all the privileges and appurtenances

thereof to the said Guisepe Pio, his heirs and assigns, to him and their use and behoof forever.

And I do **covenant** with the said grantee, his heirs and assigns, that I am lawfully seized in fee of the premises; that they are free of all incumbrances;

I have good right to sell and convey the same to the said grantee to hold as aforesaid; and that I and my heirs, shall and will **warrant and defend** the same to the said Guisepe Pio, his heirs and assigns forever against the lawful claims and demands of all persons.



01736

QUITCLAIM DEED  
with Covenant

KNOW ALL MEN BY THESE PRESENTS, THAT I, ANA MARIA FALLONA, of 10428 North Spring Hills Drive, Fresno, California, 93720, in consideration of One Dollar (\$1.00) and other good and valuable consideration paid by FRANCIS C. MARTINEZ, JR., of 125 Hersey Street, Portland, Maine 04103, the receipt whereof I do hereby acknowledge, do hereby REMISE, RELEASE, BARGAIN, SELL and CONVEY and forever QUITCLAIM unto the said Francis C. Martinez, Jr., his heirs and assigns forever,

MAINE REAL ESTATE TAX PAID

A certain lot or parcel of land, together with the house and garage thereon, situated in the City of Portland, in the County of Cumberland and State of Maine, and bounded and described as follows:

Beginning at the northwesterly corner of lot forty-nine (49) as shown on the Plan of Saunders Field recorded in the Cumberland County Registry of Deeds in Plan Book 13, Page 93, which corner is formed by the intersection of the southwesterly side of Hersey Street with the southeasterly side of Clifton Street; thence running southeasterly along said Hersey Street one hundred four (104) feet to a point; thence at right angles to Hersey Street and southwesterly ninety (90) feet to a point; thence parallel to Hersey Street and northwesterly one hundred four (104) feet to said southeasterly side of Clifton Street; thence northeasterly by said Clifton Street ninety (90) feet to the point of beginning.

Meaning and intending to convey and hereby conveying the same real property conveyed by Francis C. Martinez, acting as Personal Representative of the Estate of Nicolina T. Martinez, to Francis C. Martinez by deed dated February 8, 1990, and recorded in the Cumberland County Registry of Deeds in Book 9082, Page 0082.

TO HAVE AND TO HOLD the same, together with all the privileges and appurtenances thereunto belonging, to the said Francis C. Martinez, Jr., his heirs and assigns forever.

AND I do COVENANT with the said Grantee, his heirs and assigns, that I shall and will WARRANT AND DEFEND the premises to the said Grantee, his heirs and assigns forever, against the lawful claims and demands of all persons claiming by, through, or under me.

1) Size Footings 24" dia

$\frac{17' \times 16'}{8' \text{ JUNK}}$

2) MAP Lot ~~128~~

3) Size of lot

~~MAP~~ CHART 128



Blk D

Lot 001



8' side

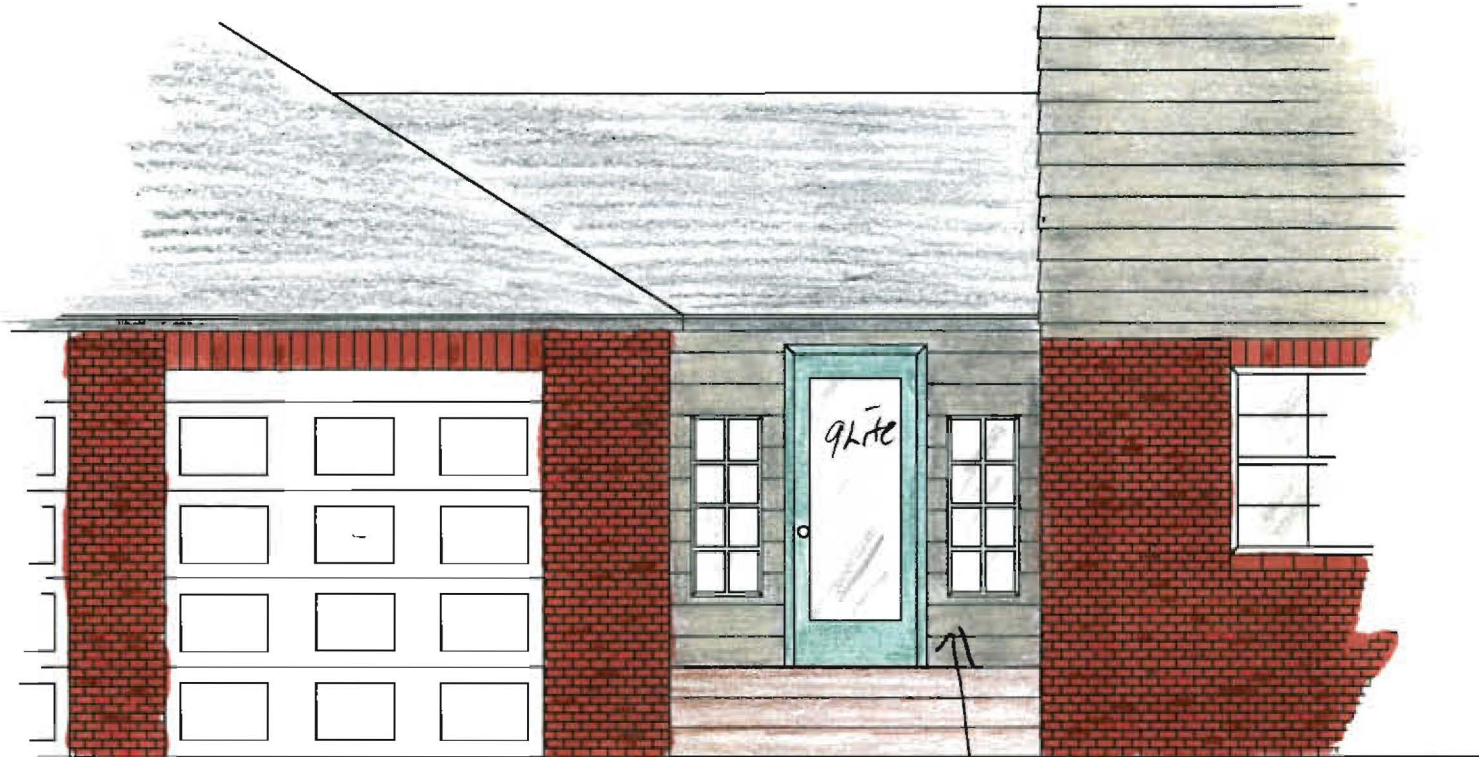
Set Backs

25' Front

Porting Addition

25' Back



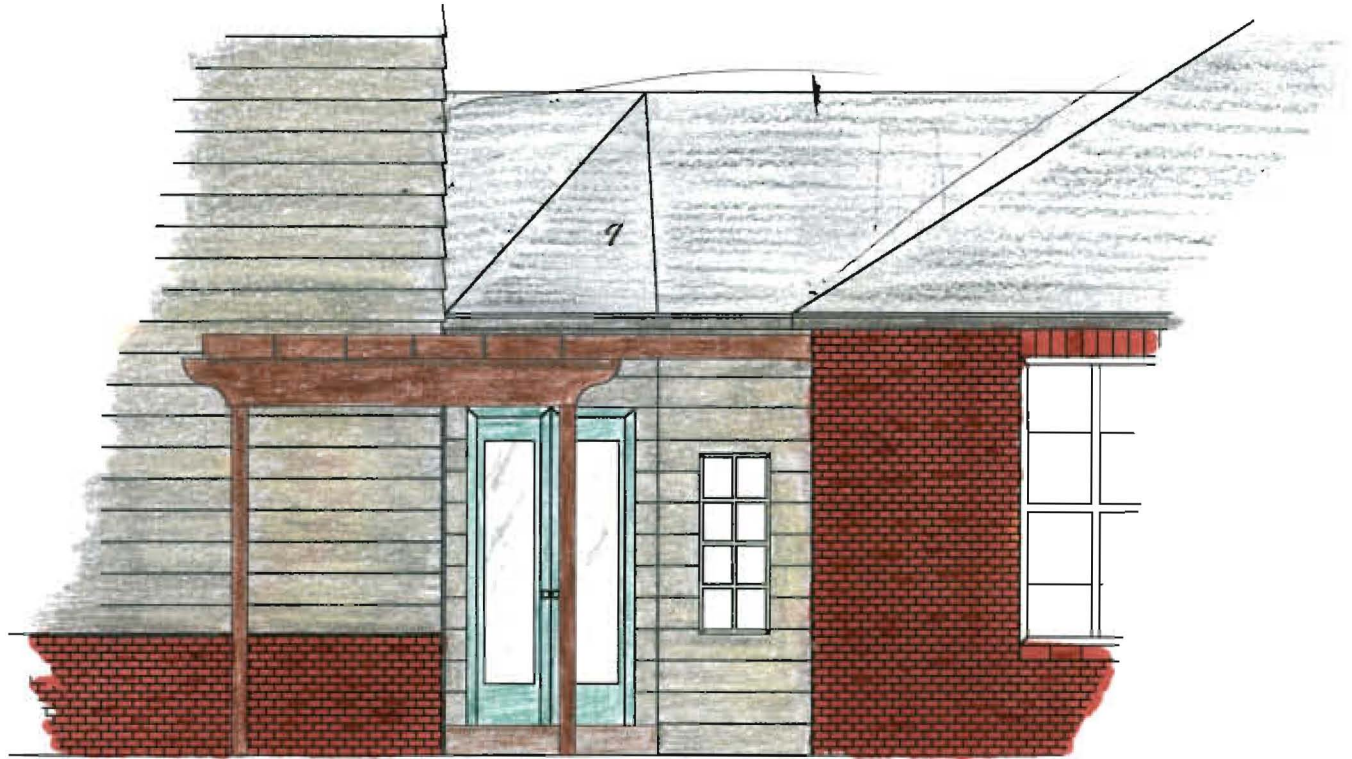


Brick face

Front View



# MARTINEZ JOB

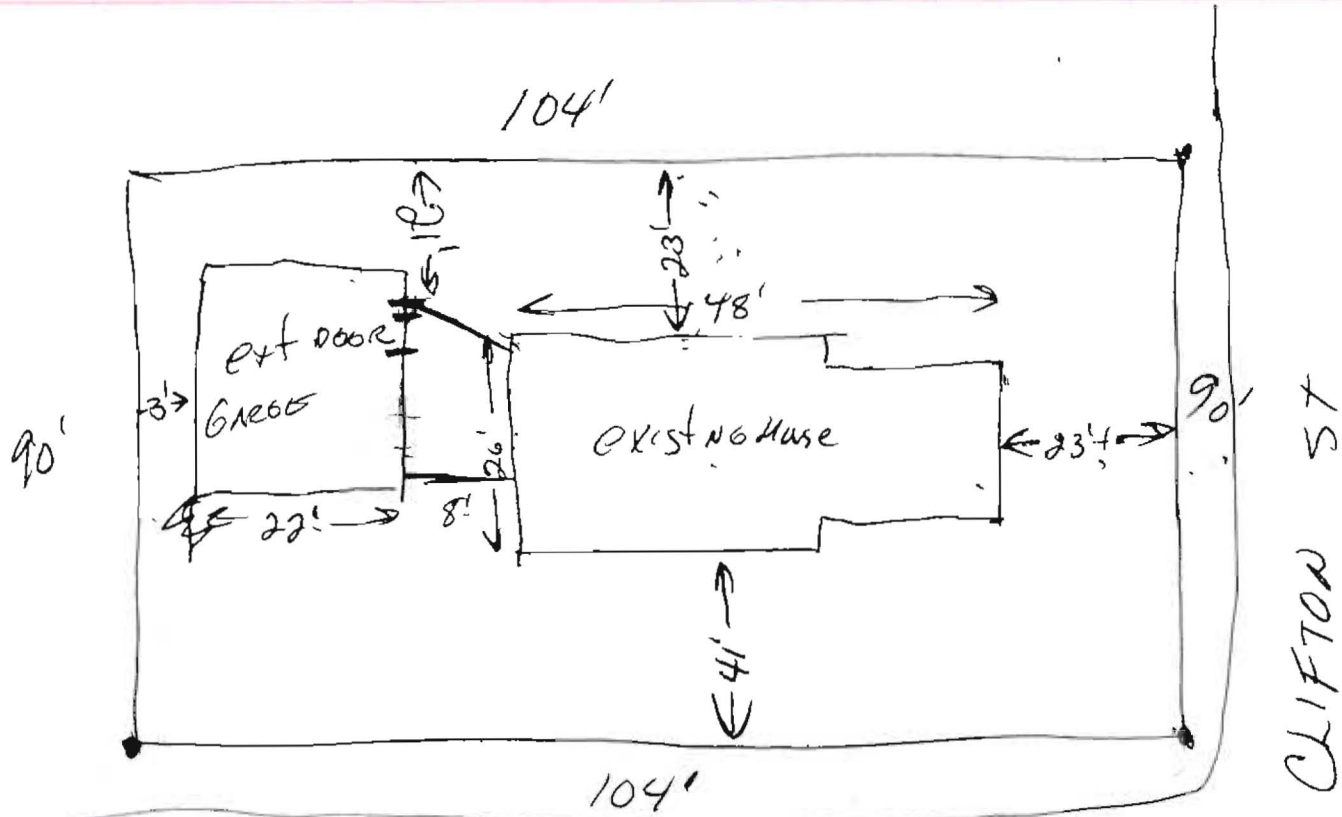


SIDING  
12" exp  
cedar  
shingle  
Plywood  
BOARD  
GROoved

Attrium 6'6"  
Flat vinyl

Rear View

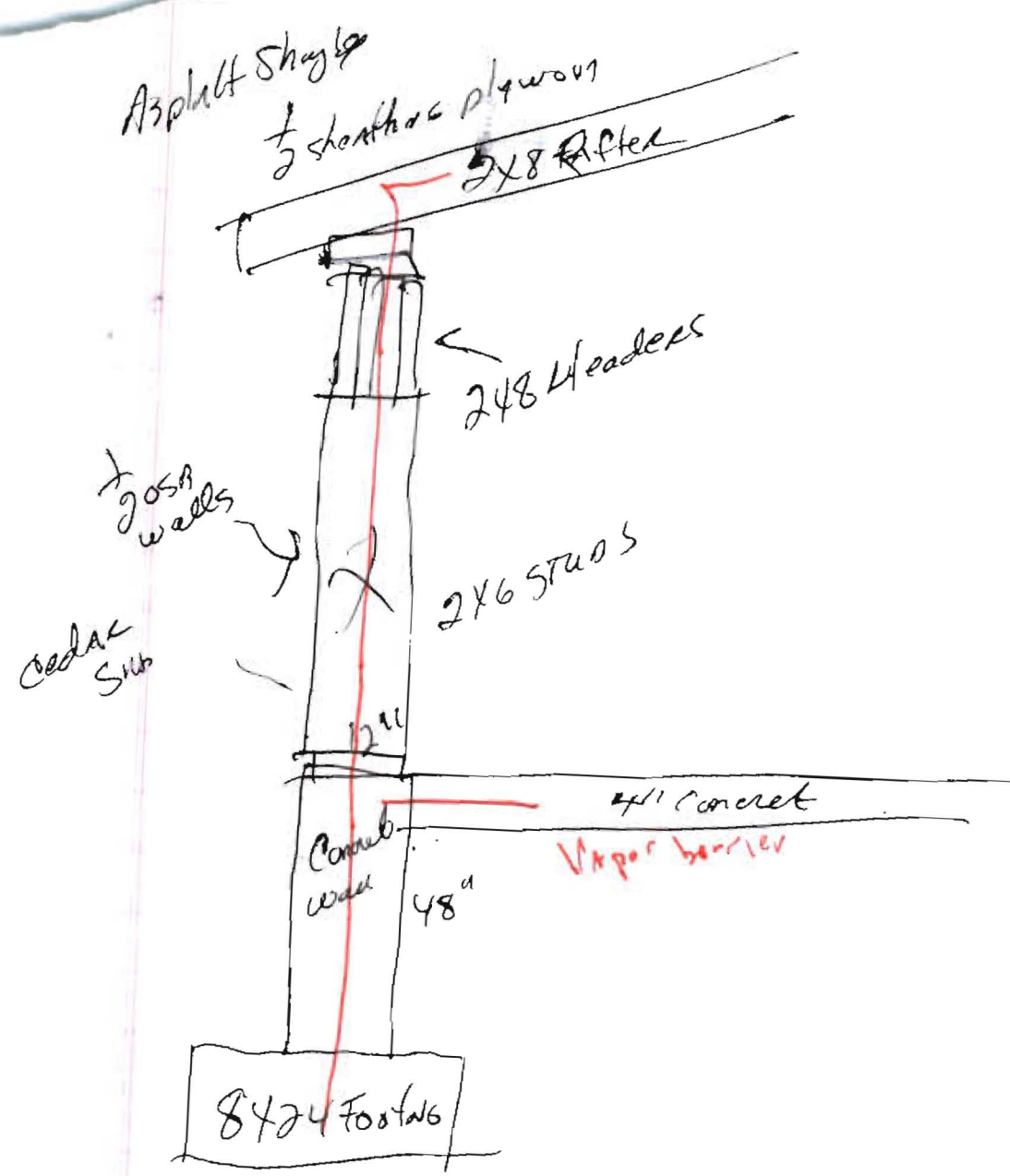
# PLOT PLAN



Ⓢ Note - 21' setback in rear is out of code, because I am trying to tie breezeway to existing door in GARAGE

OK per 14-433

21' in rear OK





# Floor Plan

