

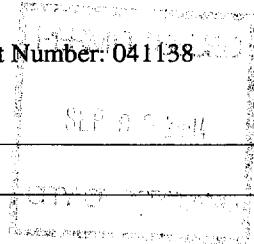
# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING DEPARTMENT

## PERMIT

Permit Number: 041138



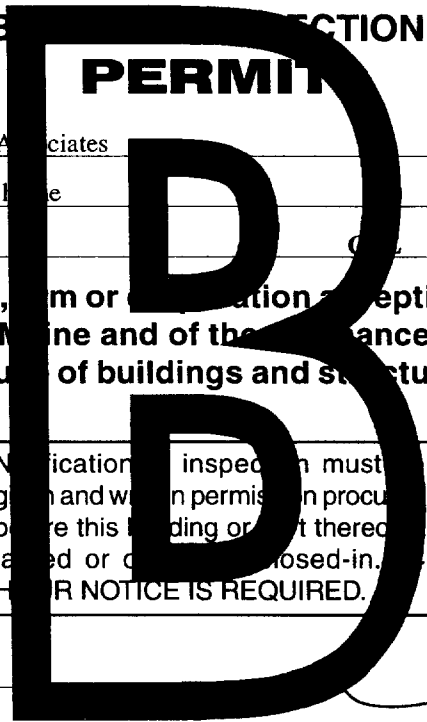
This is to certify that Hinkens Andrew G /Sewall Associates

has permission to 24x22 expansion to existing building

AT 106 Codman St

Call 128 A022001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in permit in progress before this building or part thereof is occupied or closed-in. 48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Handwritten signature]*  
9/8/04  
Director - Building & Inspection Services

### PENALTY FOR REMOVING THIS CARD

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1138	Issue Date:	CBL: 128 A022001
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<b>Location of Construction:</b> 106 Codman St	<b>Owner Name:</b> Hinkens Andrew G	<b>Owner Address:</b> 106 Codman St	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Sewall Associates	<b>Contractor Address:</b> P.O. Box 6610 Portland	<b>Phone:</b> 2077744755
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	<b>Zone:</b> R-3

<b>Past Use:</b> single family	<b>Proposed Use:</b> single family	<b>Permit Fee:</b> \$795.00	<b>Cost of Work:</b> \$85,420.00	<b>CEO District:</b> 4
-----------------------------------	---------------------------------------	--------------------------------	-------------------------------------	---------------------------

<b>Proposed Project Description:</b> 24x22 expansion to existing home	<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	<b>INSPECTION:</b> Use Group: R-3 Type: SB <i>BOCA 1999</i>
	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input checked="" type="checkbox"/> Denied
Signature:	Date:	

<b>Permit Taken By:</b> dmartin	<b>Date Applied For:</b> 08/10/2004	<b>Zoning Approval</b>	
------------------------------------	--	------------------------	--

<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/8/04</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmar <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9/8/04</i>
	<i>OK Part under 14-436B</i>		

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

9/29/04 Setback inspection forms in place. 20' requirement on Clinton, all setbacks are OK. GAVE Steve Sewall OK. to FUNK Postings. JR

10/21/04 Backfill inspection. Sump in place. Storm in place. OK. to Backfill JR

6/29/05 close in inspection. ON site w/ contractor, Plumbing OK (Test only) electric, Framing, OK. REV'd Specs on GAS Inreplaces GAVE OK. to close in JR

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 04-1138	<b>Date Applied For:</b> 08/10/2004	<b>CBL:</b> 128 A022001
------------------------------	--	----------------------------

<b>Location of Construction:</b> 106 Codman St	<b>Owner Name:</b> Hinkens Andrew G	<b>Owner Address:</b> 106 Codman St	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Sewall Associates	<b>Contractor Address:</b> P.O. Box 6610 Portland	<b>Phone</b> (207) 774-4755
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> single family	<b>Proposed Project Description:</b> 24x22 expansion to existing home
---------------------------------------	--

**Dept:** Zoning      **Status:** Approved      **Reviewer:** Tammy Munson      **Approval Date:** 09/08/2004  
**Note:**      **Ok to Issue:**

**Dept:** Building      **Status:** Approved      **Reviewer:** Tammy Munson      **Approval Date:** 09/08/2004  
**Note:**      **Ok to Issue:**

5600'  
349'

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 106 COOMAN ST.		
Total Square Footage of Proposed Structure 1st FLOOR 5600' 2nd FL. 349'	Square Footage of Lot 7,403 SQ. FT.	
Tax Assessor's Chart, Block & Lot Chart# 128 Block# A022 Lot# 001	Owner: ANDREW HINKENS	Telephone: 780-1663
Lessee/Buyer's Name (If Applicable) N/A	Applicant name, address & telephone: MARTY MEIER 325 MAIN ST. YALMOUTH, ME 04096	Cost Of Work: \$ 85,420.00 Fee: \$ 795.00
Current use: RESIDENTIAL S/F 846-3749		
If the location is currently vacant, what was prior use: N/A		
Approximately how long has it been vacant: N/A		
Proposed use: RESIDENTIAL		
Project description: EXPANSION TO EXISTING HOME 24' x 22'		
Contractor's name, address & telephone: <del>STEVE</del> SEWALL ASSOCIATES, INC. 23 OCEAN AVE. PORTLAND		
Who should we contact when the permit is ready: STEVE SEWALL		
Mailing address: 23 OCEAN AVE. PORTLAND, ME, 04103 X4 Cell		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 774-4755		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 08-06-04
---	----------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

       If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

       CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

*[Signature]*  
Signature of Applicant/Designee:

Date 9/9/04

*[Signature]*  
Signature of Inspections Official

Date

CBL: 125A022

Building Permit #: 041138

ATTN:

TAMMY

MUNSON

FROM:

MARTY

MEIER



90 Hodsdon Rd., Pownal, ME 04069 Phone 207.688.4640 Fax 207.688.4986

CIVIL & STRUCTURAL ENGINEERING  
www.casco-bay-engineering.com

September 2, 2004

Mr. Michael Nugent  
Inspection Services Manager  
City of Portland  
389 Congress Street  
Portland, ME 04101

Re: Hinkins Residence  
Building Renovation New Support Beams

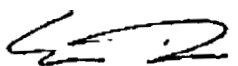
Project Number: 4044


Mr. Nugent:

This letter is to confirm that Casco Bay Engineering has analyzed and designed the floor and roof supporting beams for the above referenced building (renovated portion only). We designed the structural beams in accordance with BOCA 1999 structural loads chapter for the appropriate residential loading.

Please contact us if you have any additional questions or concerns.

Sincerely,

  
Eric Dube  
President  
Casco Bay Engineering

  
Carolyn C. Bird  
Vice President  
Casco Bay Engineering



SEP - 8



# Fax Cover Sheet

Martin W. Meier  
P.O. Box 359  
Yarmouth, ME 04096  
Ph./ Fax 207-846-3749

<b>Send to:</b> Inspections City of Portland	<b>From: Marty Meier</b>
Attention: Tammy Munson	Date: Aug. 9, 2004
Office Location:	Office Location: Yarmouth, ME
Fax Number:	Phone Number: 207-846-3749

- Urgent
- Reply ASAP
- Please comment
- Please Review
- For your Information

Total pages, including cover: 3

**Comments:**

Hinkens residence permit application

SEP - 8

**Martin W. Meier**  
**Custom Home Designer**

P.O Box 359  
Yarmouth, ME 04096

Ph./ Fax 207-846-3749  
martinmeier@adelphia.net

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9/7/04

Tammy Munson  
Inspections  
City of Portland

Addendum to plans draw for: Job #04014  
Hinkens residence  
14 Codman Street  
Portland, ME

Dated August 4, 2004

- ✓ 1. All drainage stone to be covered with filter fabric
- ✓ 2. All rails and guards are to be 36" high.
- ✓ 3. All deck piers to be min. 48" below grade.
- ✓ 4. All bedrooms to have min. one egress sized window.
- ✓ 5. All ceiling and walls adjoining to living space to meet 1 hr. fire rating.  
Including casing in all steel beams.
- ✓ 6. Door to garage to be fire rated.
7. All building construction to comply with the 1999 BOCA basic building code.

003 - 8



**CASCO BAY**

CIVIL & STRUCTURAL ENGINEERING  
www.cascobayengineering.com

90 Hodsdon Rd., Pownal, ME 04069 Phone 207.688.4630 Fax 207.688.4986

July 27, 2004

Invoice No. 4044-2

Mr. Martin Meier  
PO Box 359  
Yarmouth, ME 04096

**INVOICE FOR 1 SERVICES**

**Project No. 4044**

**Project:** Hinkins Residence, Portland, Maine  
Structural Design

**Description of Services:** Provided structural calculations and beam design for the structural beams for the new addition (not including lateral design) for the above referenced residence.

Project Engineer                      3 hours @ \$75 per hour                      \$ 225.00

**TOTAL DUE    \$ 225.00**

Sincerely,

Eric Dube  
Casco Bay Engineering



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

### Current Owner Information

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	128 A022001
<b>Location</b>	106 CODMAN ST
<b>Land Use</b>	SINGLE FAMILY
<b>Owner Address</b>	HINKENS ANDREW 6 106 CODMAN ST PORTLAND ME 04103
<b>Book/Page</b>	15456/244
<b>Legal</b>	128-A-22-23 CODMAN ST 104-106 CLIFTON ST 130-140 7630 SF

### Valuation Information

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$42,420	\$93,350	\$135,770

### Property Information

<b>Year Built</b>	<b>Style</b>	<b>Story Height</b>	<b>Sq. Ft.</b>	<b>Total Acres</b>	
1931	Colonial	2	1400	0.175	
<b>Bedrooms</b>	<b>Full Baths</b>	<b>Half Baths</b>	<b>Total Rooms</b>	<b>Attic</b>	<b>Basement</b>
2	1	1	6	None	Full

### Outbuildings

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
GARAGE-WD/CB	1	1971	18X18	C	A

### Sales Information

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
05/08/2000	LAND + BLDING	\$210,000	15456-244

### Picture and Sketch

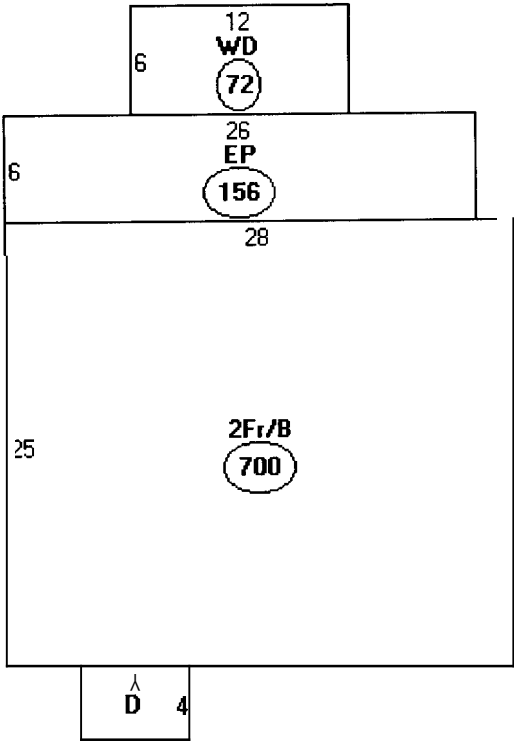
[Picture](#)

[Sketch](#)

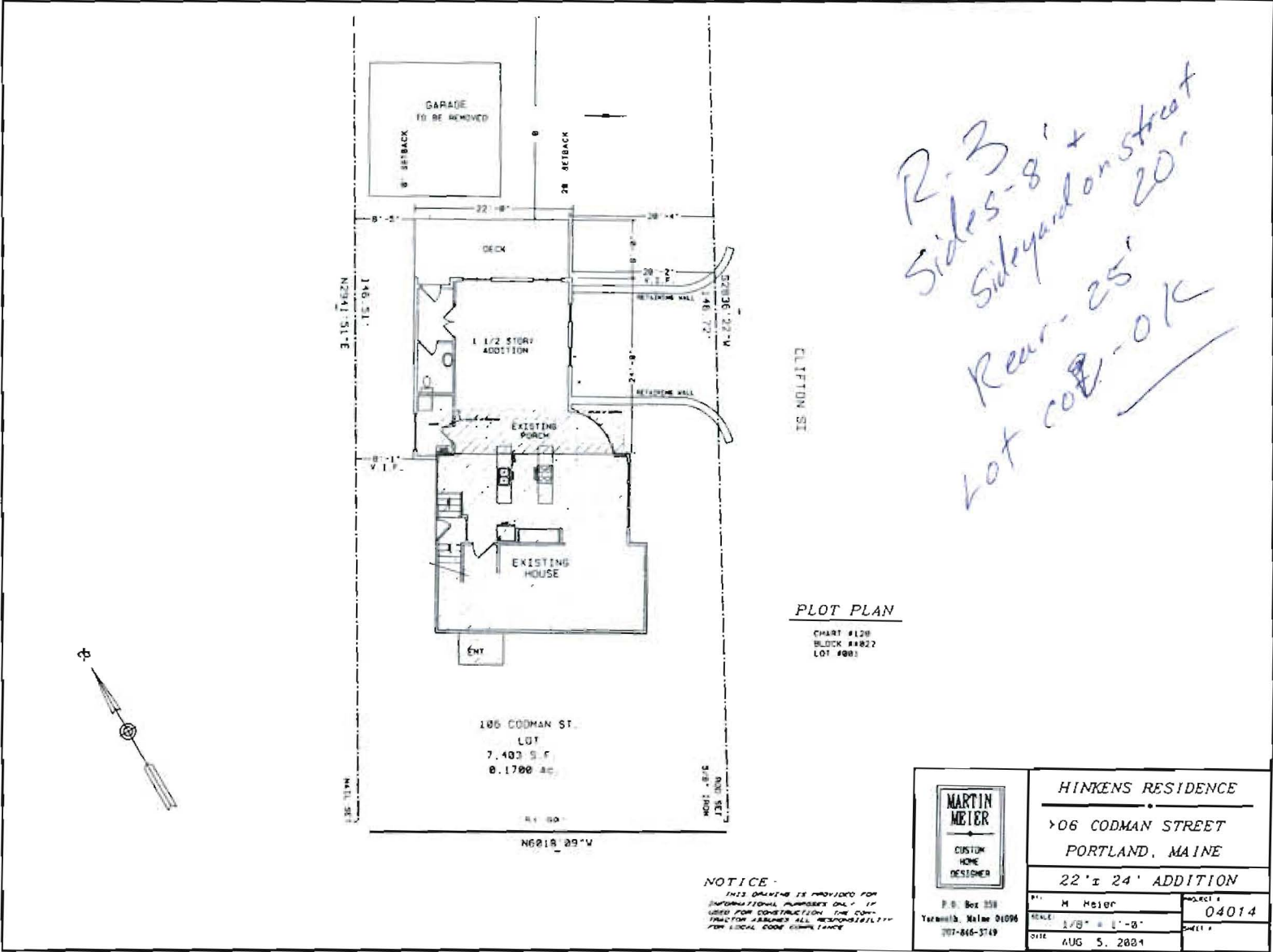
[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

**New Search!**



- Descriptor/Area
- A: 2Fr/B  
700 sqft
  - B: EP  
156 sqft
  - C: WD  
72 sqft
  - D: FUB  
24 sqft



*R-3  
Sides-8' +  
Sideyard on street  
20'  
Rear-25'  
Lot COE-OK*

**PLOT PLAN**

CHART #120  
BLOCK #822  
LOT #881

106 CODMAN ST.  
LOT  
7,403 S.F.  
0.1700 AC.

**NOTICE:**  
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE.

	HINKENS RESIDENCE	
	106 CODMAN STREET PORTLAND, MAINE	
	22' x 24' ADDITION	
	P.O. Box 558 Yorkville, Maine 04096 207-846-3749	PROJECT # <b>04014</b>
SCALE 1/8" = 1'-0"	DATE AUG 5, 2004	SHEET #

## A-1 MINIMUM RISE THROUGH-THE-WALL VENTING:

The minimum vertical rise for vent installation through the wall is 16 1/4" from the top of the fireplace to the centerline of the 90° elbow in installations where only a 6" (or 7") horizontal vent section is used (refer to chart on PG.14 when using horizontal sections). NOTE: We recommend always using the most vertical rise the installation will allow. This maximizes efficiency and flame appearance. This is especially true for LP gas installations and for installations at higher altitudes. Use "fixed" pipe sections in place of adjustable pipe sections wherever possible. 1000° sealant must be used on ALL inner pipe joints. Always maintain 1" clearances from vent pipe to combustibles, 2" above pipe on horizontal runs. Do not fill air spaces with insulation or other material.

For **L.P. gas and High Altitude (above 4,000 ft.)**, 45° elbows must be used in place of 90° elbows.

NOTE: This requires 19" minimum rough opening depth (see PG. 15). CAUTION: If 90° elbows must be used, a 3-foot vertical starter section must be used directly off the top of the fireplace.

**The DXV-35 Fireplace must be installed by a qualified Mendota approved serviceperson.**

**IMPORTANT: REFER TO DRAWINGS ON PAGES 11-15 WHILE FOLLOWING THESE INSTRUCTIONS.**

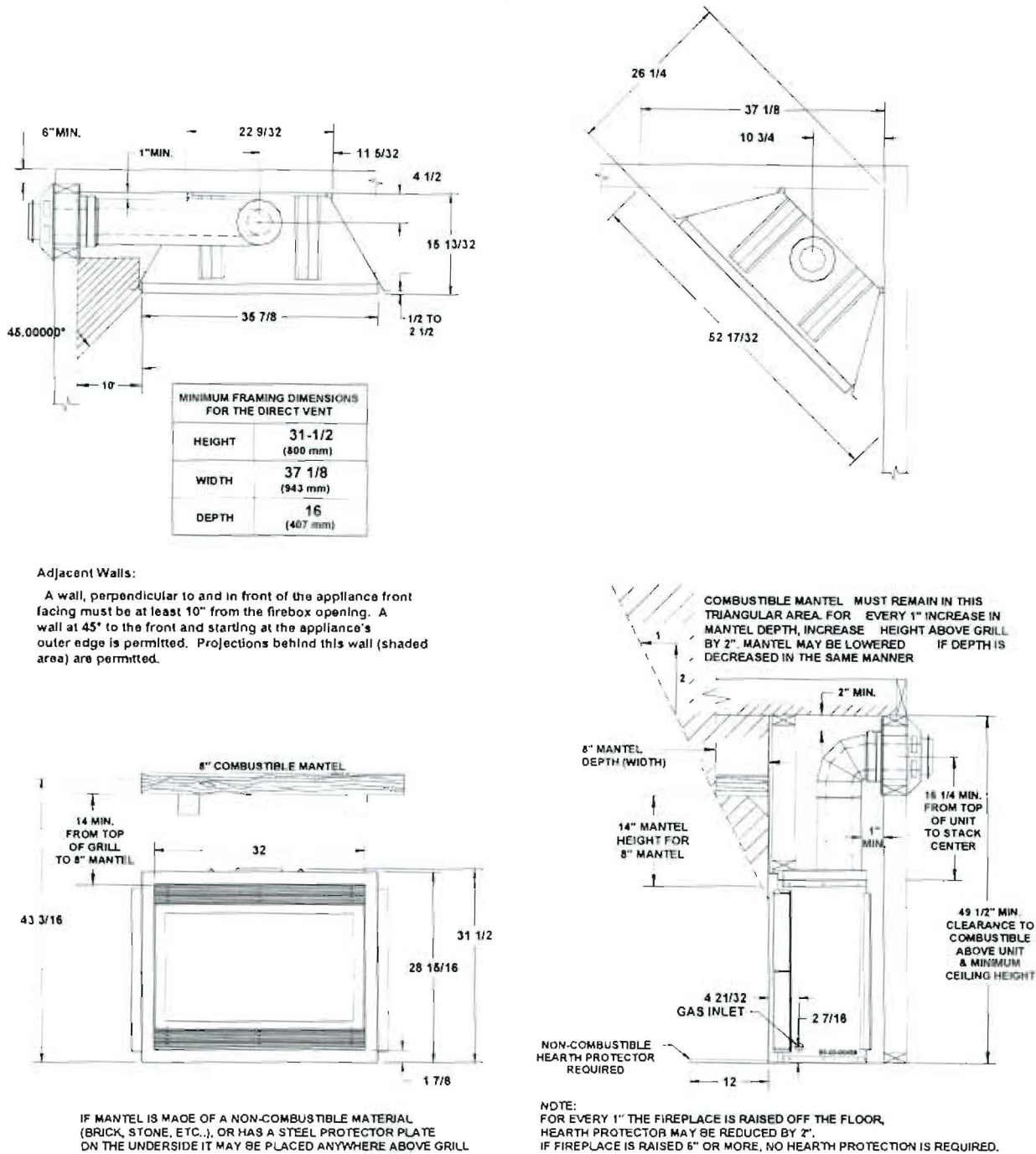
1. Position fireplace in desired location. See PG. 8 for guidelines on proper vent cap placement on the exterior of home. Check to determine if wall studs are in the way when venting system is attached. If this is the case, you may want to adjust the fireplace location.
2. Measure from the top of the fireplace up minimum (see Figure 4: Specifications & Clearances, PG. 12) and mark wall directly at the center of where the vent pipe will penetrate the wall.
3. Cut and frame a 9" wide x 10" high opening in the wall. The hole must be positioned so the vent system will run level or have a 1/4" rise AND be perpendicular to the wall. The height of the opening must be located to meet all local and national building codes and not allow the termination to be easily blocked or obstructed. If wall being penetrated is non-combustible material, i.e. masonry block, brick, etc., a 7-inch diameter hole is acceptable.
4. Assemble the components to the fireplace adapter with pipe seams oriented toward the wall or floor -- as much out of view as possible. Be sure all vent component connections are in their fully twist-locked position and are leak-proof. Be sure 1000° sealant is used on the inner pipe joints of all pipe sections manufactured by Simpson DuraVent. American Metal pipe joints do not required this sealant.
  - **NOTE: DO NOT SEPARATE TELESCOPING SECTIONS.**
  - **THEY MUST BE USED AS COMPLETE ASSEMBLIES.**
5. The length of the horizontal piece that fits through the wall will be determined by the thickness of the wall. When installed, the end of the horizontal piece must be flush with the exterior wall of the home. There **MUST** be a minimum of 1" air space clearance to combustibles from all vent pieces (2" above horizontal runs).
6. **A wall thimble must always be used when penetrating combustible wall materials.**  
NOTE: Combustible wall thickness must be 4" to 8" maximum.
7. From the exterior of the home, slide the horizontal vent cap over the end of the horizontal pipe and tightly secure the cap to the wall with screws. Seal with a high quality caulking.  
NOTE: Venting terminal should not be recessed into wall or siding.



# MENDOTA DXV-35 GAS DIRECT VENT FIREPLACE

## SPECIFICATIONS & CLEARANCES FOR TOP VENTING

**WARNING:** Do not cover the 2" faceplate border of the unit with combustible materials.



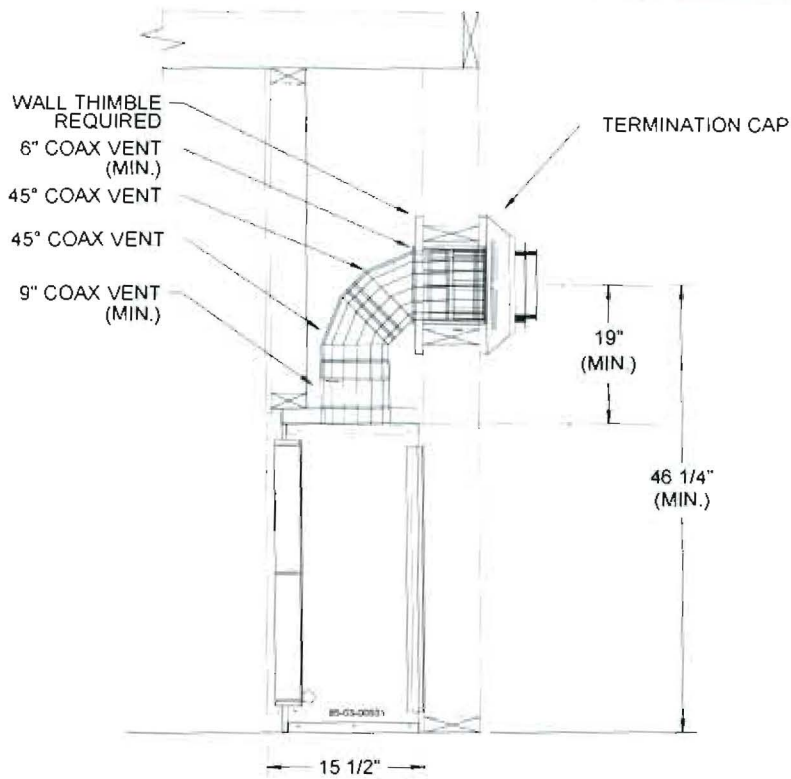
**Figure 4: Specifications & Clearances**

**NOTE:** For L.P. & High Altitude (above 4,000 ft. but below 7500 ft.), 45° elbows must be used in place of 90° elbows (see PG. 12). FOR INSTALLATION AT ALTITUDES ABOVE 7,500 FEET, FIRST CALL MENDOTA TECHNICAL HOTLINE FOR FURTHER INFORMATION ON THE STRICT REQUIREMENTS FOR INSTALLATIONS AT THESE ALTITUDES.

Using 45° elbows requires 19" minimum opening to center (see PAGE 15). CAUTION: If 90° elbows must be used with LP or at high altitudes, a 3-foot vertical starter section must be used directly off the top of the fireplace.

# L.P. GAS MINIMUM HEIGHT HORIZONTAL TERMINATION

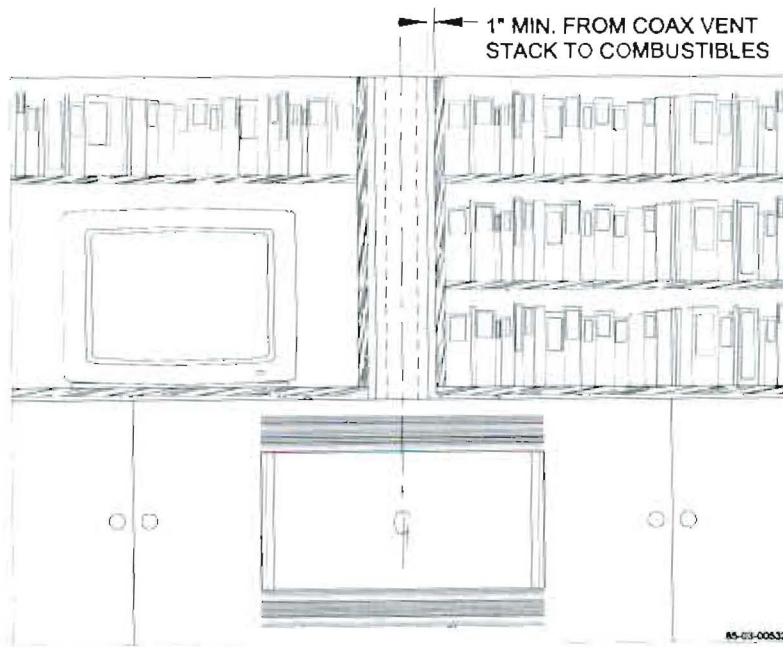
L.P. GAS OR HIGH ALTITUDE (ABOVE 4,000 FT. BUT BELOW 7500 FT.)



For L.P. gas and high altitude installations (above 4,000 ft.), 45° elbows must be used in place of 90° elbows.

**NOTE:** This requires 19" minimum height to center.

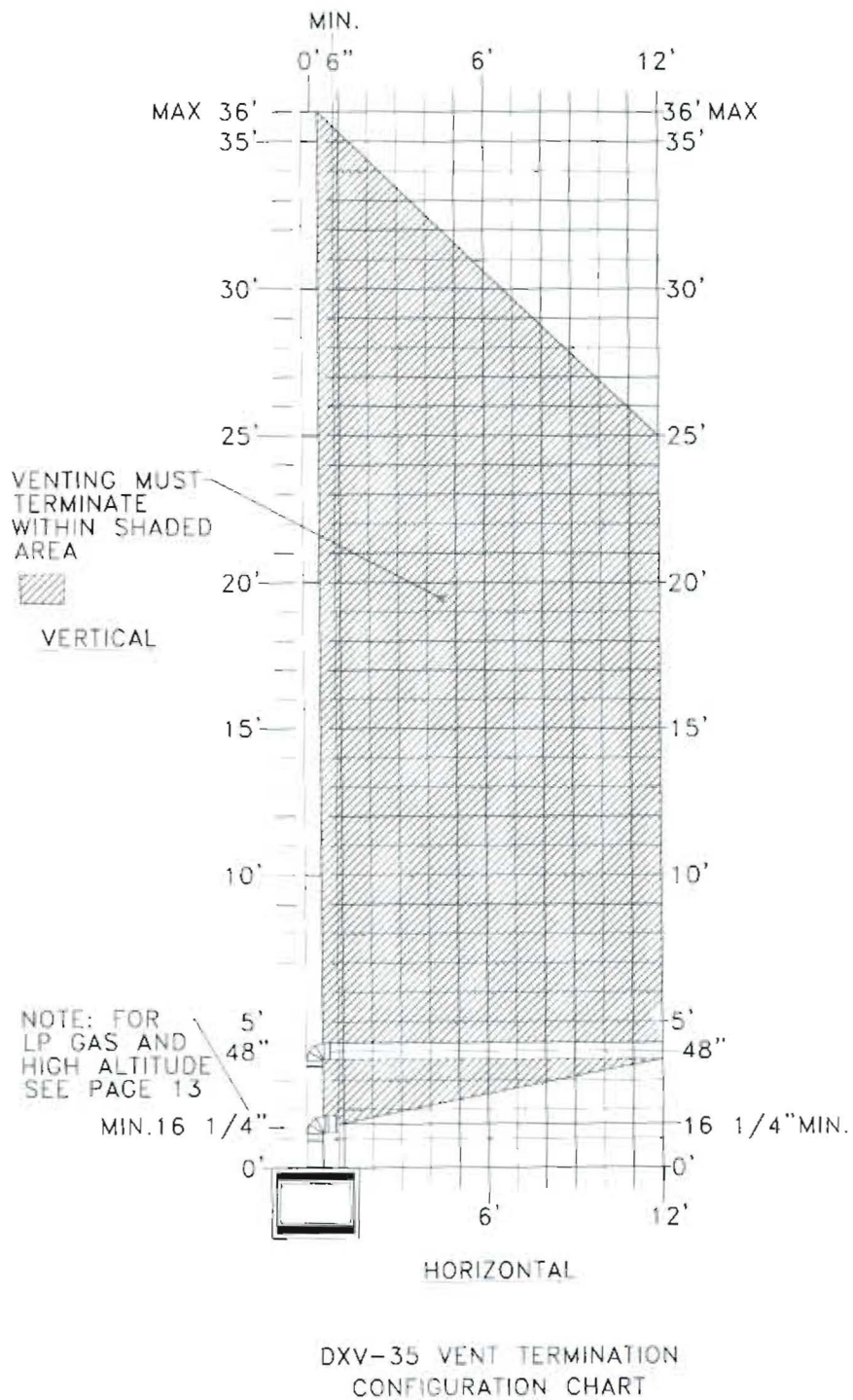
**CAUTION:** If 90° elbows must be used, a 3-foot vertical starter section must be used off the top of the fireplace.



OPTIONAL SHELVING INSTALLATION

# FLUE VENTING REQUIREMENTS FOR TOP VENT SYSTEMS

NOTE: FOR LP GAS & HIGH ALTITUDE, SEE PG. 15



**Figure 6: DXV35 Vertical & Horizontal Vent Requirements**

\*NOTE: 9" MINIMUM VERTICAL PIPE CAN BE USED IF NO HORIZONTAL VENT SECTIONS GREATER THAN 6" (or 7") ARE USED. ALL OTHER INSTALLATIONS MUST FALL WITHIN ABOVE SHADED AREA.



104  
Codman

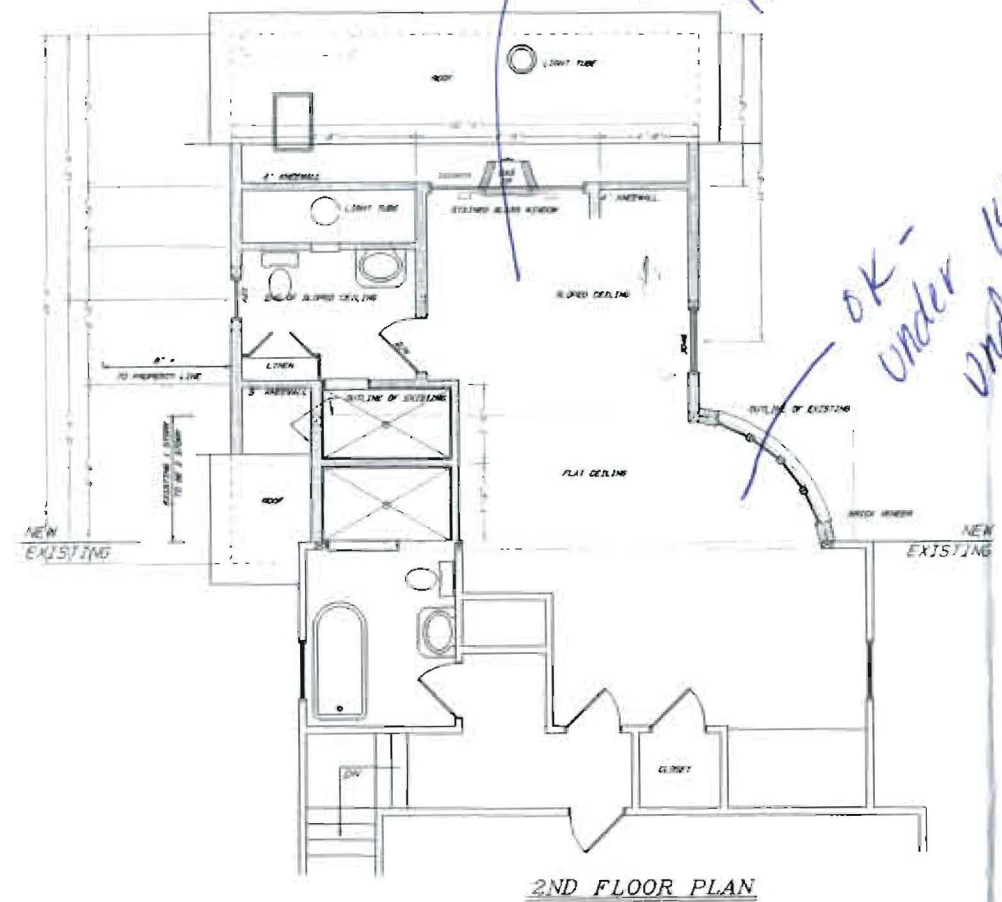
128 A 032  
AUG - 9 2004  
MARTIN MEIER ARCHITECTURE

22' x 11' over 4' =  
242 SF - OK  
less than 2/3  
1/2 stories

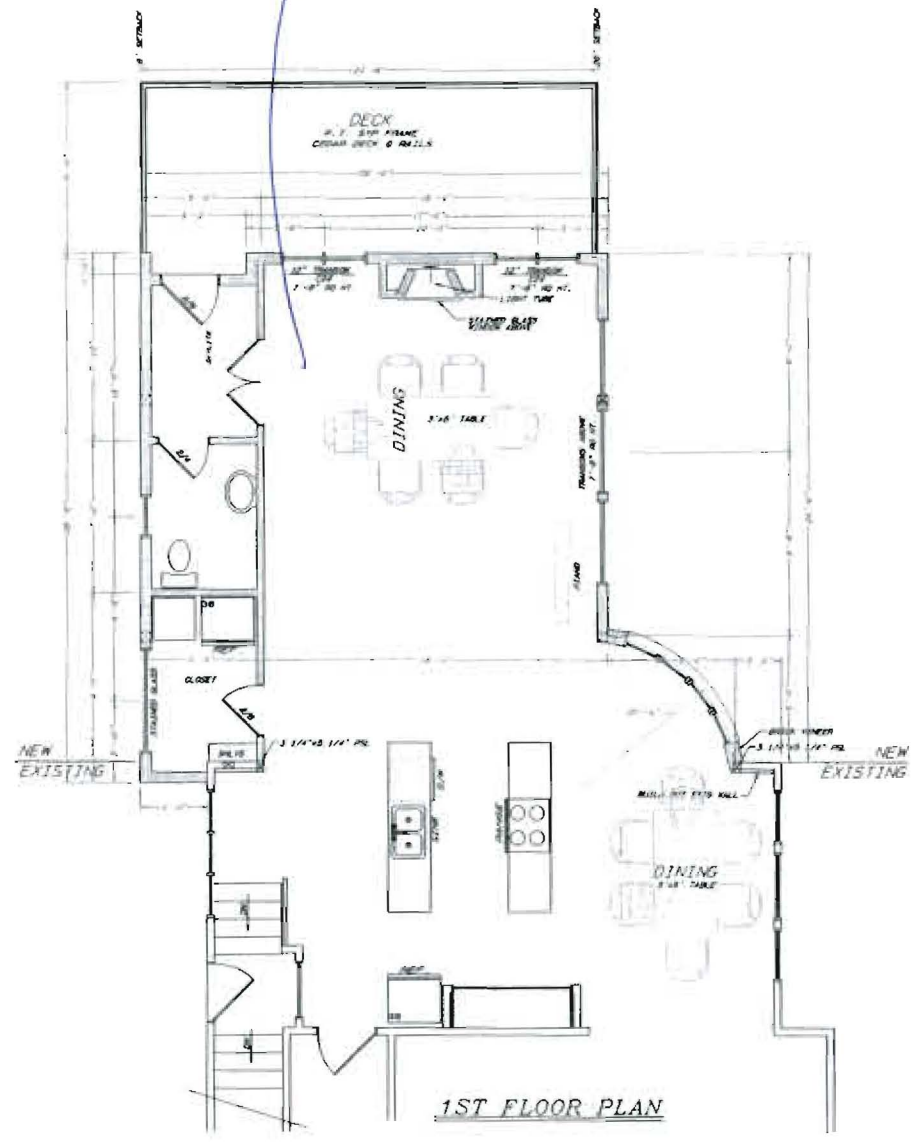
$396 \times \frac{2}{3} = 264$

$18' \times 22' = 396$

OK -  
under 14-436B  
under 80%



2ND FLOOR PLAN



1ST FLOOR PLAN

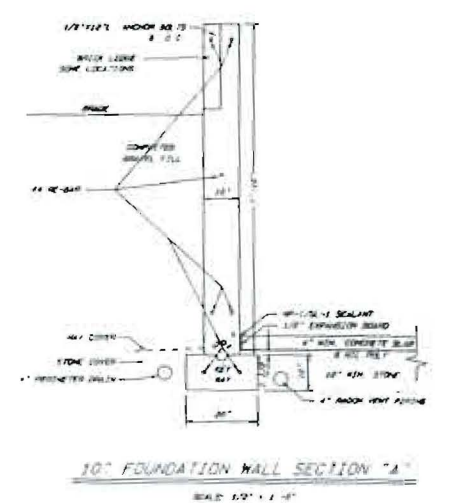
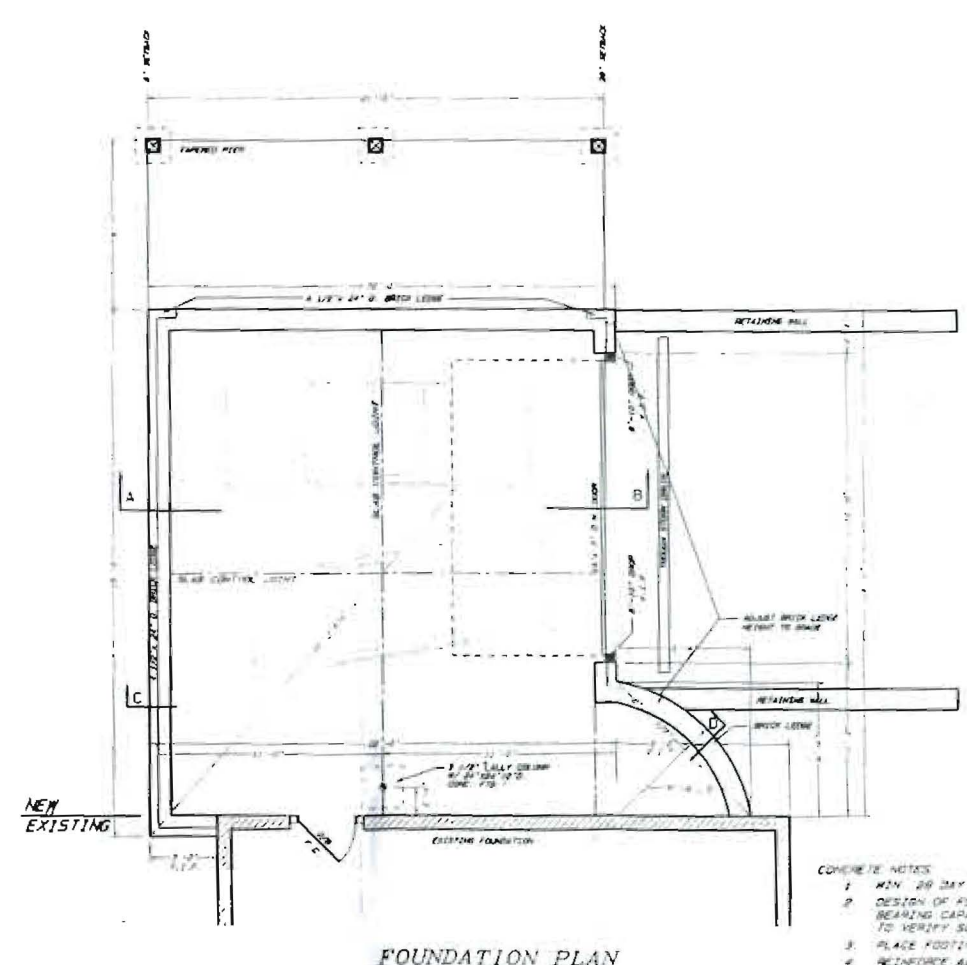
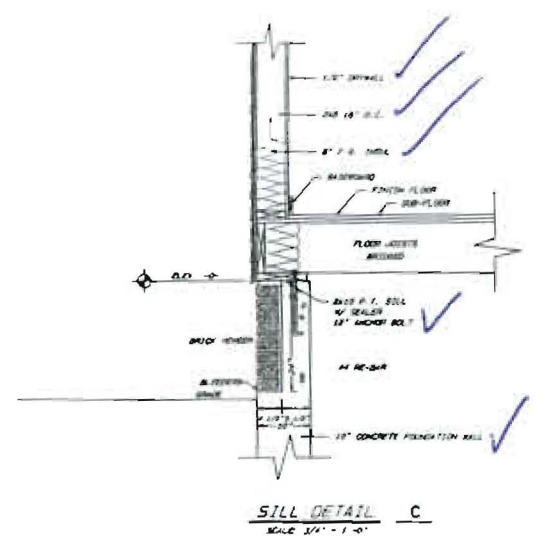
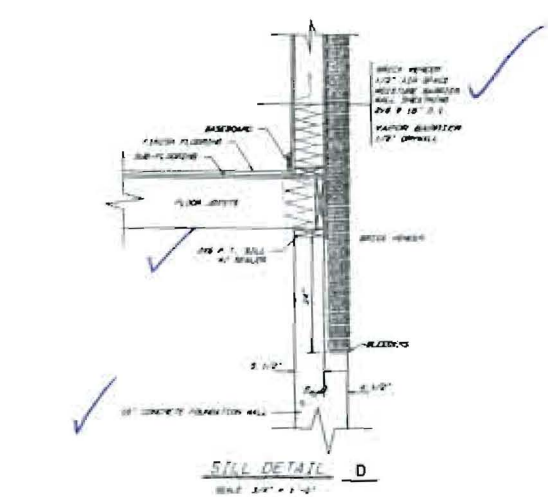
NOTE:  
ALL DIMENSIONS, MEASURES, ROOF PITCH, ELEVATION,  
DROPS, STUD HEIGHTS AND EXISTING STRUCTURAL  
INTEGRITY, ARE TO BE FIELD VERIFIED  
BY BUILDER/CONTRACTOR PRIOR TO  
PERFORMING CONSTRUCTION. ALL ADJUSTMENTS  
ARE TO BE PERFORMED AS REQUIRED.

NOTICE:  
THIS DRAWING IS PROVIDED FOR  
INFORMATIONAL PURPOSES ONLY. IF  
USED FOR CONSTRUCTION, THE CON-  
TRACTOR ASSUMES ALL RESPONSIBILITY  
FOR LOCAL CODE COMPLIANCE.

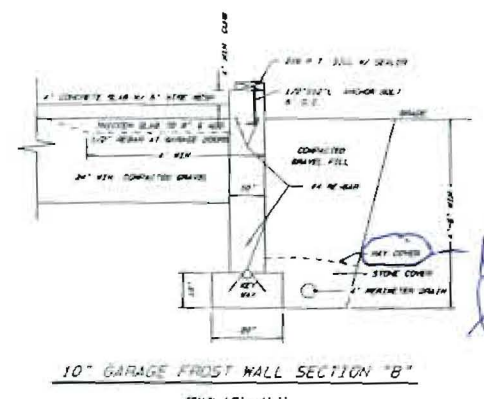


P.O. Box 350  
Yorkmouth, Maine 04096  
207-866-3769

HINKENS RESIDENCE	
106 CODMAN STREET PORTLAND, MAINE	
22' x 24' ADDITION	
BY: M. Meier	PROJECT # 04014
SCALE: 1/4" = 1'-0"	SHEET #
DATE: AUG 4, 2004	2 of 5



10" FOUNDATION WALL SECTION "A"  
SCALE 1/2" = 1'-0"



10" GARAGE FROST WALL SECTION "B"  
SCALE 1/2" = 1'-0"

*Need fabric filter*

- CONCRETE NOTES
1. MIN. 28 DAY COMPRESSIVE STRENGTH 3000 PSI
  2. DESIGN OF FOOTINGS IS BASED ON AN ASSUMED SOIL BEARING CAPACITY OF 2500 PSF @ 28 DAYS. CONTRACTOR TO VERIFY SOIL BEARING CAPACITY PRIOR TO ANY CONSTRUCTION.
  3. PLACE FOOTINGS ON UNDISTURBED MATERIAL.
  4. REINFORCE ALL SPREAD FOOTINGS W/ #4 REBAR @ 16" O.C. EACH DIRECTION @ 3" CLEAR FROM BOTTOM.
  5. FROST PROTECTION 4'-6" MIN.

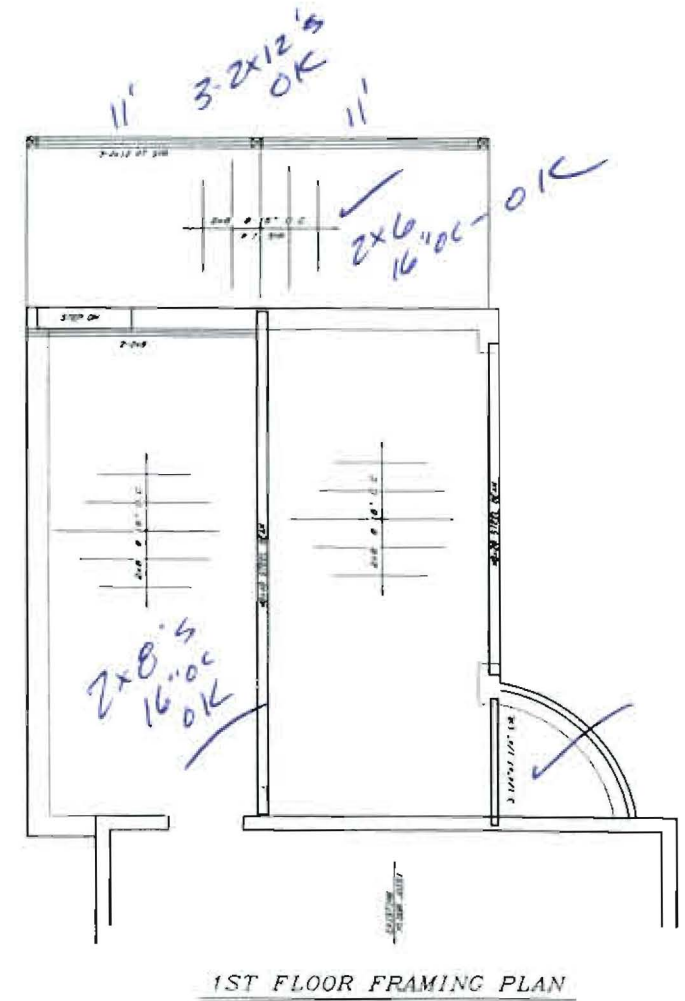
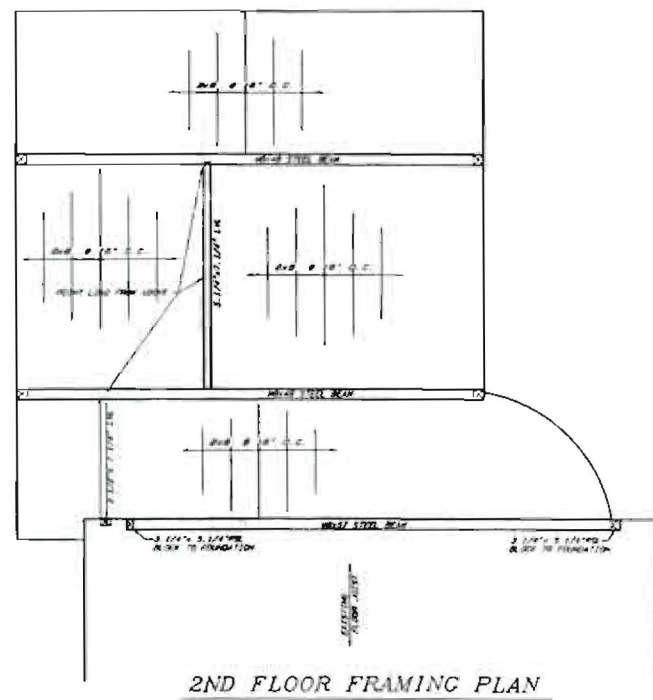
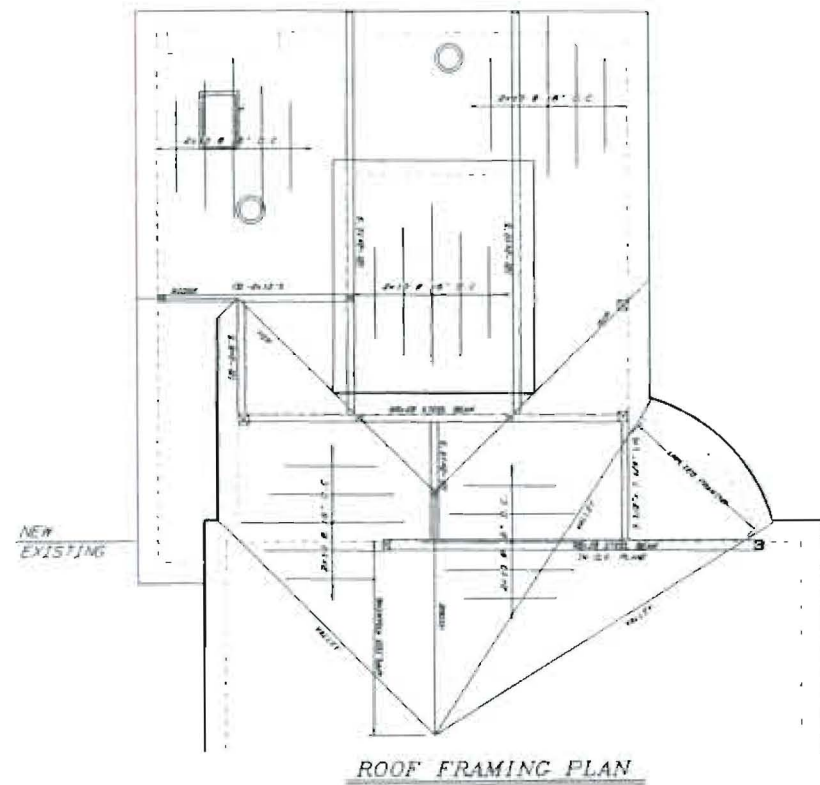
NOTE:  
ALL DIMENSIONS, MEASURES, ROOF PITCH, ELEVATION DROPS, SLOE HEIGHTS AND EXISTING STRUCTURAL INTEGRITY, ARE TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR PRIOR TO PERFORMING CONSTRUCTION. ALL ADJUSTMENTS ARE TO BE PERFORMED AS REQUIRED.

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	<b>HINKENS RESIDENCE</b> 106 CODMAN STREET PORTLAND, MAINE 22' x 24' ADDITION	
	BY: H. Maier SCALE: 1/4" = 1'-0" DATE: AUG 4, 2004	PROJECT #: 04014 SHEET #: 3 of 5

P.O. Box 359  
Yarmouth, Maine 04096  
207-846-3749

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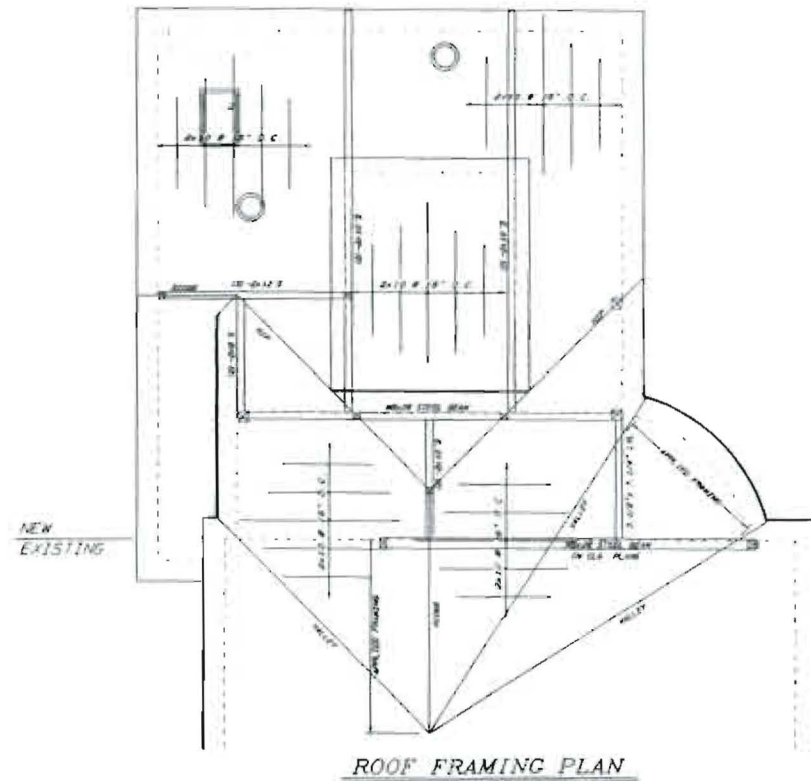
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 ALL DIMENSIONS, MEASURES, ROOF PITCH, ELEVATION  
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 INTEGRITY, ARE TO BE FIELD VERIFIED  
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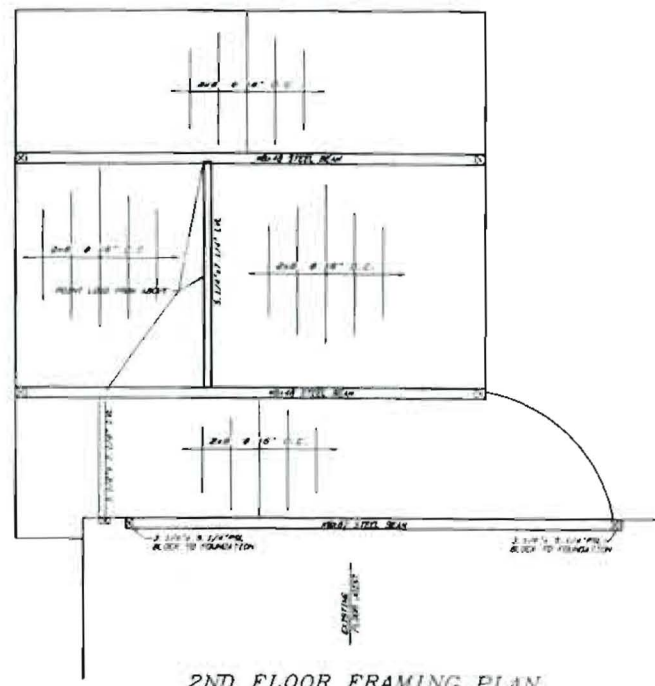
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 CUSTOM HOME DESIGNER	HINKENS RESIDENCE 106 CODMAN STREET PORTLAND, MAINE	
	22' x 24' ADDITION	
P.O. Box 359 Yarmouth, Maine 04096 207-646-3749	BY: M. Meier SCALE: 1/4" = 1'-0" DATE: AUG. 4, 2004	PROJECT # 04014 SHEET # 2 of 5

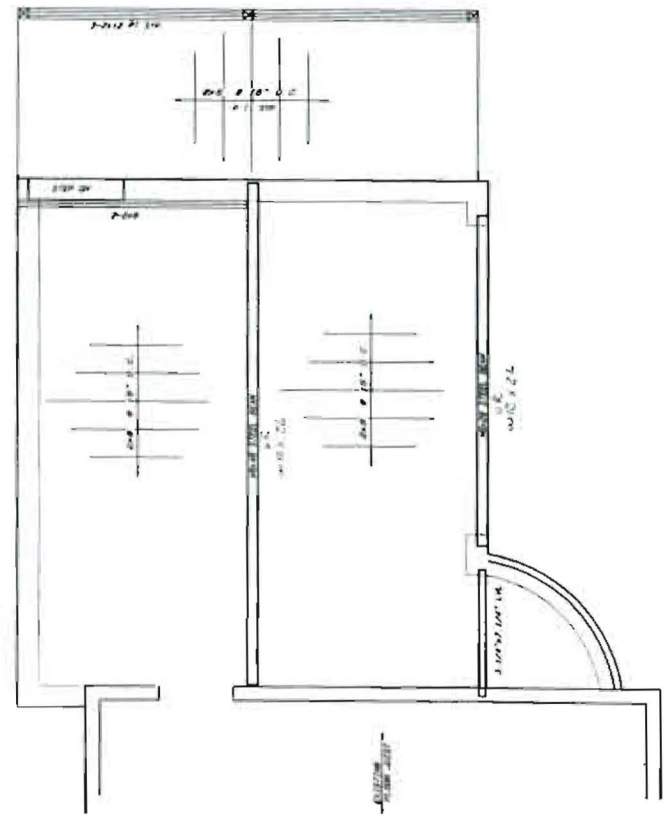




ROOF FRAMING PLAN



2ND FLOOR FRAMING PLAN



1ST FLOOR FRAMING PLAN

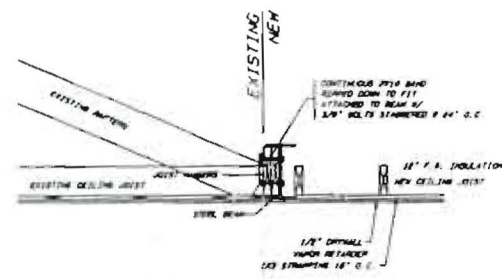
NOTE:  
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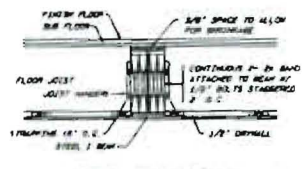


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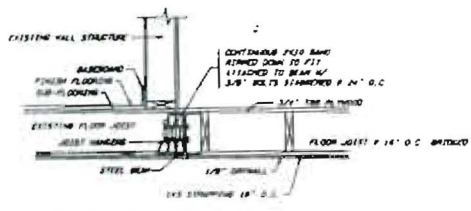
HINKENS RESIDENCE	
106 CODMAN STREET PORTLAND, MAINE	
22' x 24' ADDITION	
BY: H. Meier	PROJECT: 04014
SCALE: 1/4" = 1'-0"	SHEET: 2 of 5
DATE: AUG 4, 2004	



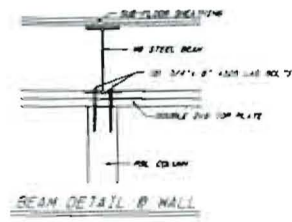
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SCALE 3/4" = 1'-0"



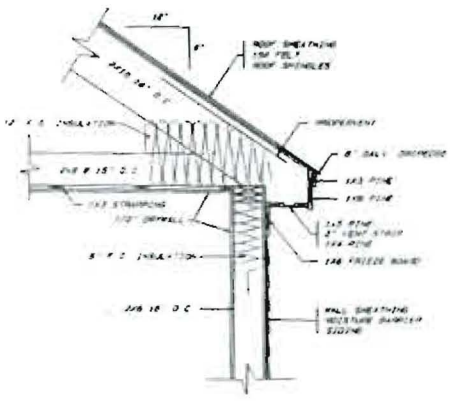
STEEL BEAM DETAIL B  
SCALE 3/4" = 1'-0"



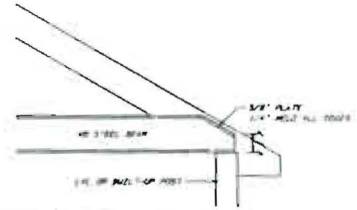
STEEL I BEAM DETAIL A  
SCALE 3/4" = 1'-0"



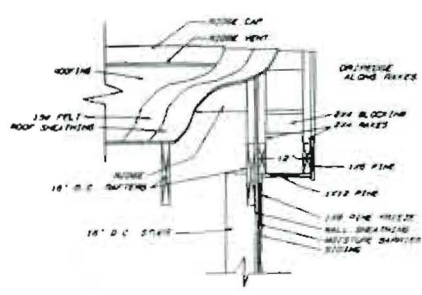
BEAM DETAIL B WALL



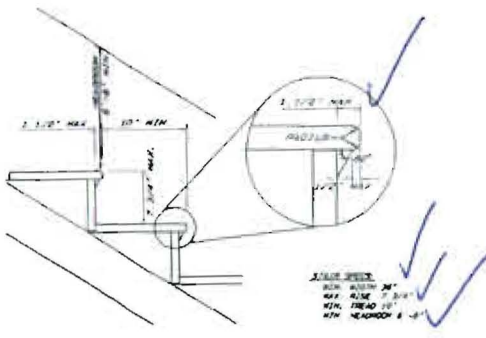
SOFFIT DETAIL  
SCALE 3/4" = 1'-0"



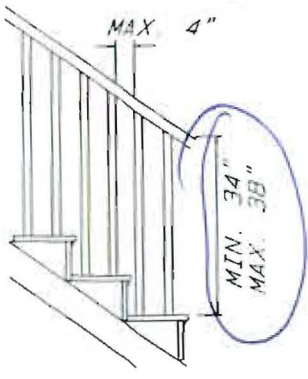
DETAIL B END OF STEEL BEAM  
SCALE 3/4" = 1'-0"



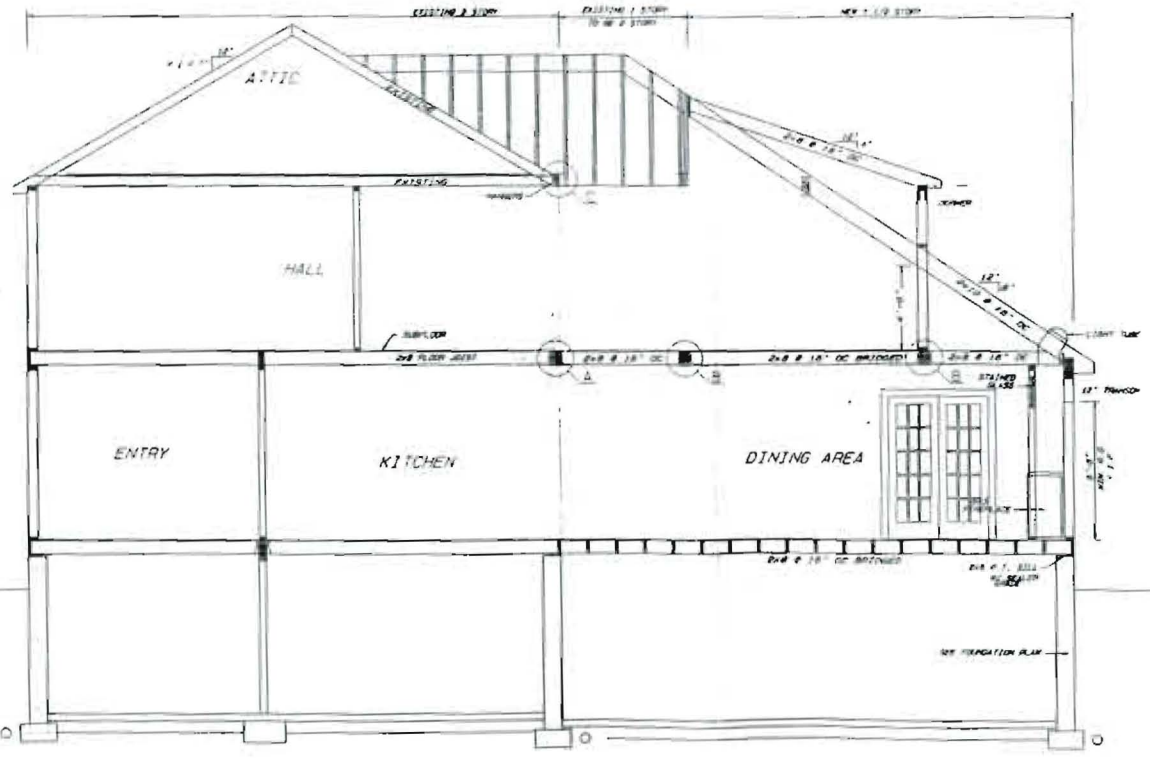
RAKE TRIM DETAIL  
SCALE 3/4" = 1'-0"



STAIR DETAIL



HANDRAIL DETAIL

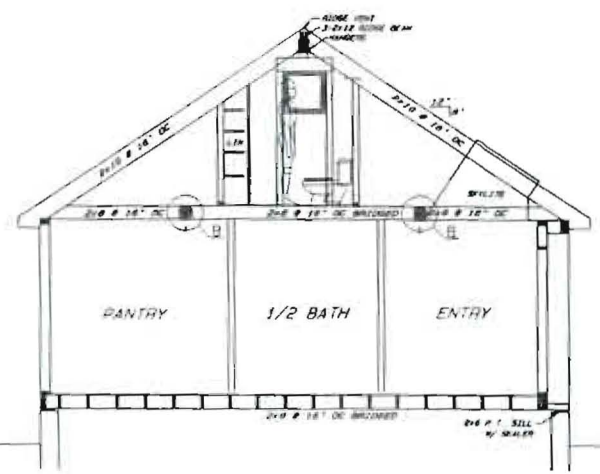


FRAMING SECTION  
SCALE 1/4" = 1'-0"

FRAMING MATERIAL SPECIFICATIONS	
FLOOR SHEATHING	3/4" T&G EXT. PLYWOOD
WALL SHEATHING	1/2" CDX EXT. PLYWOOD
ROOF SHEATHING	3/8" CDX EXT. PLYWOOD
UNDERLAYMENT	3/8" AC PLYWOOD
MOISTURE BARRIER	TIKEX HOUSEWRAP
VAPOR RETARDANT	TIKEX
EXTERIOR SIDING	1/2" 5/8" S.C. CLAPBOARD
EXTERIOR TRIM	CLEAR PINE
BILLS	2x6 PRESSURE TREATED
FLOOR JOIST	2x8 SPRUCE
WALL STUDS	2x6 SPRUCE
CEILING JOIST	2x6 SPRUCE
RAFTERS	2x12 SPRUCE
EAVE VENT	2" SMT ALUMINUM
DRIPEDGE	3" GALVANIZED
ROOFING SHINGLES	30# TIMBERLINE 30 YR.
RIDGE VENT	ROLL VENT
1" AIR SPACE MAT	INSULVENT
FOUNDATION INSULATION	NOPE
BILL BEALER	PER AVAILABILITY
FLOOR BLOCKS & RUNNERS	18" FIBERGLASS
1ST FLOOR INSULATION	3 1/2" FIBERGLASS
EXTERIOR WALL INSULATION	5" FIBERGLASS
2ND FLOOR INSULATION	3 1/2" FIBERGLASS
CELLULOSE INSULATION	15" CELLULOSE
SLOPED ROOF INSULATION	8" T. & M. 1" RIGID INSL.

WOOD FRAMING NOTES

- STRUCTURAL LUMBER, NO. 2 SPRUCE, PINE, FIR OR BETTER
- DESIGN CODE, NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FORESTRY ASSOCIATION
- FASTENERS, COMPLY WITH RECOMMENDED FASTENER SCHEDULES OF THE BOCA BASIC BUILDING CODE 1997, UNLESS SHOWN OTHERWISE ON THE DRAWINGS
- WALL AND CEILING REQUIREMENTS FOR WOOD FLOOR DECKS, ROOF DECKS AND SHEDS SHALL FOLLOW AS FOLLOWS, UNLESS SHOWN OTHERWISE:
  - 1/2" O.C. ALONG ALL PANEL EDGES
  - 1/2" O.C. ALONG INTERMEDIATE MEMBERS
  - ALL WOOD SUB-FLOORS TO BE NAIL AND NAILED WITH 8D SCREW NAILS
- SPICES, JOISTES, ALL FRAMING MEMBERS WHICH ARE BUILT-UP WITH 2x8 NAILS 8 D 16" O.C. TOP AND BOTTOM
- PROVIDE GALVANIZED METAL JOIST HANGERS AT FLOOR FRAMED JOISTS, 1/2" SLICES AND NOT SHOWN ON PLANS, PROVIDE HANGERS EQUAL TO JOISTING LAP OR LAPED
- PROVIDE 3" x 2x10 HEADERS OVER ALL OPENINGS IN BEARING WALLS UNLESS SHOWN OTHERWISE
- PROVIDE DOUBLES FOR PLATE IN ALL EXTERIOR WALLS AND ALL BEARING WALLS STABILIZE TOP PLATE BOLDS IN EXTERIOR WALLS 4" x 4" AND PROVIDE AT LEAST 8" x 10" NAILS PER SPLICE
- PROVIDE BRACING PER ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE
- PROVIDE MINIMUM OF TWO 2x4 STUDS AT THE ENDS OF ALL BUILT-UP 2x BEAMS UNLESS SHOWN OTHERWISE
- ROOF AND WALL SHEATHING AND RAKE SHEATHING, EXTERIOR OR STRUCTURAL 7 OR 9 PLY SHEATHING, EXTERIOR OR ROOF 5/8" THICK
- INSTALL SHEETS WITH GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS
- ROOF & CEILING OF EXTERIOR WALLS, PROVIDE 8D NAIL OR 3" x 2x6 MINIMUM
- PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SPANNINGS OF ALL JOISTS AND RAFTERS WHERE JOISTS AND RAFTERS FRAME OVER SUPPORTS
- PROVIDE STAINLESS STEEL NAILS TO ATTACH SIDING AND EXT. TRIM
- MICROLAM BEAMS (ULMI) BLUE LAMINATED VENEER LUMBER OF DOUBLES PINE AS MANUFACTURED BY TOLU-JOIST OR BOICE, JOIST OR APPROVED EQUAL, 1/2" x 8" x 24" x 8' x 12' x 16' x 20' x 24' x 30' x 36' x 48' x 60' x 72' x 84' x 96' x 108' x 120' x 144' x 168' x 192' x 216' x 240' x 270' x 300' x 324' x 360' x 384' x 408' x 432' x 456' x 480' x 504' x 528' x 552' x 576' x 600' x 624' x 648' x 672' x 696' x 720' x 744' x 768' x 792' x 816' x 840' x 864' x 888' x 912' x 936' x 960' x 984' x 1008' x 1032' x 1056' x 1080' x 1104' x 1128' x 1152' x 1176' x 1200' x 1224' x 1248' x 1272' x 1296' x 1320' x 1344' x 1368' x 1392' x 1416' x 1440' x 1464' x 1488' x 1512' x 1536' x 1560' x 1584' x 1608' x 1632' x 1656' x 1680' x 1704' x 1728' x 1752' x 1776' x 1800' x 1824' x 1848' x 1872' x 1896' x 1920' x 1944' x 1968' x 1992' x 2016' x 2040' x 2064' x 2088' x 2112' x 2136' x 2160' x 2184' x 2208' x 2232' x 2256' x 2280' x 2304' x 2328' x 2352' x 2376' x 2400' x 2424' x 2448' x 2472' x 2496' x 2520' x 2544' x 2568' x 2592' x 2616' x 2640' x 2664' x 2688' x 2712' x 2736' x 2760' x 2784' x 2808' x 2832' x 2856' x 2880' x 2904' x 2928' x 2952' x 2976' x 3000' x 3024' x 3048' x 3072' x 3096' x 3120' x 3144' x 3168' x 3192' x 3216' x 3240' x 3264' x 3288' x 3312' x 3336' x 3360' x 3384' x 3408' x 3432' x 3456' x 3480' x 3504' x 3528' x 3552' x 3576' x 3600' x 3624' x 3648' x 3672' x 3696' x 3720' x 3744' x 3768' x 3792' x 3816' x 3840' x 3864' x 3888' x 3912' x 3936' x 3960' x 3984' x 4008' x 4032' x 4056' x 4080' x 4104' x 4128' x 4152' x 4176' x 4200' x 4224' x 4248' x 4272' x 4296' x 4320' x 4344' x 4368' x 4392' x 4416' x 4440' x 4464' x 4488' x 4512' x 4536' x 4560' x 4584' x 4608' x 4632' x 4656' x 4680' x 4704' x 4728' x 4752' x 4776' x 4800' x 4824' x 4848' x 4872' x 4896' x 4920' x 4944' x 4968' x 4992' x 5016' x 5040' x 5064' x 5088' x 5112' x 5136' x 5160' x 5184' x 5208' x 5232' x 5256' x 5280' x 5304' x 5328' x 5352' x 5376' x 5400' x 5424' x 5448' x 5472' x 5496' x 5520' x 5544' x 5568' x 5592' x 5616' x 5640' x 5664' x 5688' x 5712' x 5736' x 5760' x 5784' x 5808' x 5832' x 5856' x 5880' x 5904' x 5928' x 5952' x 5976' x 6000' x 6024' x 6048' x 6072' x 6096' x 6120' x 6144' x 6168' x 6192' x 6216' x 6240' x 6264' x 6288' x 6312' x 6336' x 6360' x 6384' x 6408' x 6432' x 6456' x 6480' x 6504' x 6528' x 6552' x 6576' x 6600' x 6624' x 6648' x 6672' x 6696' x 6720' x 6744' x 6768' x 6792' x 6816' x 6840' x 6864' x 6888' x 6912' x 6936' x 6960' x 6984' x 7008' x 7032' x 7056' x 7080' x 7104' x 7128' x 7152' x 7176' x 7200' x 7224' x 7248' x 7272' x 7296' x 7320' x 7344' x 7368' x 7392' x 7416' x 7440' x 7464' x 7488' x 7512' x 7536' x 7560' x 7584' x 7608' x 7632' x 7656' x 7680' x 7704' x 7728' x 7752' x 7776' x 7800' x 7824' x 7848' x 7872' x 7896' x 7920' x 7944' x 7968' x 7992' x 8016' x 8040' x 8064' x 8088' x 8112' x 8136' x 8160' x 8184' x 8208' x 8232' x 8256' x 8280' x 8304' x 8328' x 8352' x 8376' x 8400' x 8424' x 8448' x 8472' x 8496' x 8520' x 8544' x 8568' x 8592' x 8616' x 8640' x 8664' x 8688' x 8712' x 8736' x 8760' x 8784' x 8808' x 8832' x 8856' x 8880' x 8904' x 8928' x 8952' x 8976' x 9000' x 9024' x 9048' x 9072' x 9096' x 9120' x 9144' x 9168' x 9192' x 9216' x 9240' x 9264' x 9288' x 9312' x 9336' x 9360' x 9384' x 9408' x 9432' x 9456' x 9480' x 9504' x 9528' x 9552' x 9576' x 9600' x 9624' x 9648' x 9672' x 9696' x 9720' x 9744' x 9768' x 9792' x 9816' x 9840' x 9864' x 9888' x 9912' x 9936' x 9960' x 9984' x 10000'

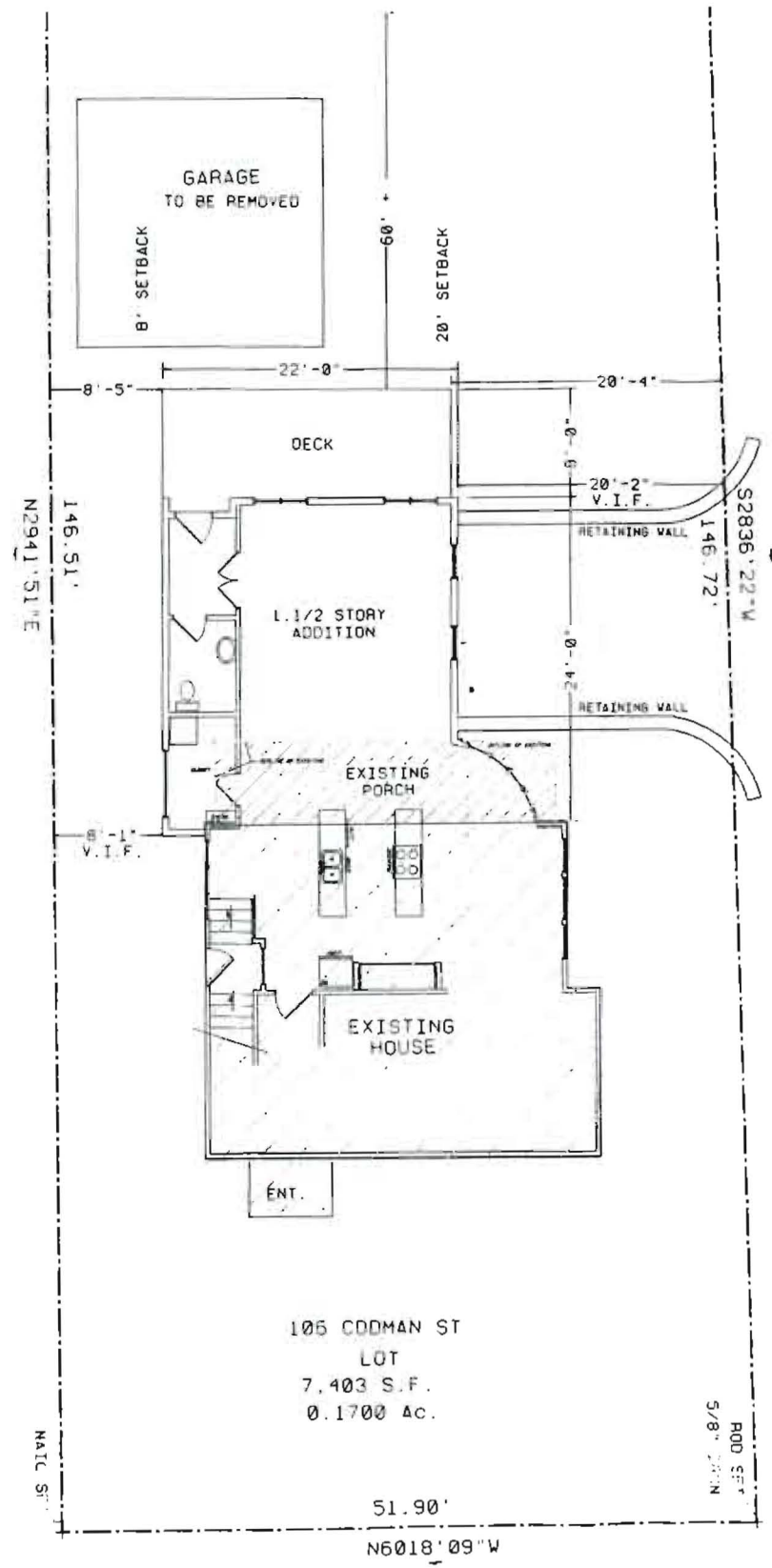
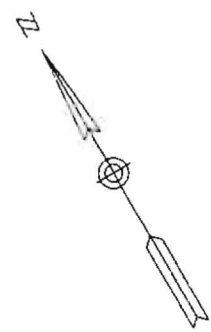


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	HINKENS RESIDENCE	
	106 CODMAN STREET PORTLAND, MAINE	
	22' x 24' ADDITION	
	BY: H. Meier	PROJECT #: 04014
P.O. Box 358 Yarmouth, Maine 04096 707-846-3749	SCALE: 1/4" = 1'-0"	SHEET #: 5 of 5
	DATE: AUG. 4, 2004	





**PLOT PLAN**

CHART #128  
 BLOCK #4022  
 LOT #001

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 CUSTOM HOME DESIGNER P.O. Box 359 Yarmouth, Maine 04096 207-846-3749	<b>HINKENS RESIDENCE</b>	
	106 CODMAN STREET PORTLAND, MAINE	
	<b>22' x 24' ADDITION</b>	
	BY: M. Meier	PROJECT # <b>04014</b>
SCALE: 1/8" = 1'-0"	SHEET #	
DATE: AUG. 5, 2004		



RIGHT SIDE ELEVATION  
CLIFFTON STREET

*Not a Story Below grade*




REAR ELEVATION



LEFT SIDE ELEVATION

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 CUSTOM HOME DESIGNER	<b>HINKENS RESIDENCE</b> 106 CODMAN STREET PORTLAND, MAINE 22' x 24' ADDITION	
	P.O. Box 259 Yarmouth, Maine 04096 207-846-3749	PROJECT # <b>04014</b>
SCALE <b>1/4" = 1'-0"</b>	DATE <b>AUG 4, 2004</b>	



# CITY OF PORTLAND, MAINE

## Department of Building Inspections

Aug 8 2004

Received from Andrew Hinkley MD

Location of Work 106 Colman

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ 195.00

Building (IL)  Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 108 A000

Check #: 3102 Total Collected \$ 195.00

# THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

*Handwritten signature/initials*