

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

2-9-11
Mistakenly gave BOTH
has a copy of B permit
copy to customer

Job No: 2011-02-376-ALTR	Date Applied: 2/4/2011	CBL: 128-AA-019-001	
Location of Construction: 94 CODMAN	Owner Name: BERNARD J & GORDON	Owner Address: 94 CODMAN ST PORTLAND, ME 04103	Phone: <i>Debel</i>
Business Name:	Contractor Name: Blake, Travis	Contractor Address: PO BOX 368 SCARBOROUGHMAINE04074	Phone: 415-3450
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Single Family	Proposed Use: Same - Single Family - alterations to kitchen & bathroom	Cost of Work: 30000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	Inspection: Use Group: R-3 Type: SB IRC-2009 Signature: <i>JMB</i>
Proposed Project Description: 94 Codman - alterations to kitchen & bathroom		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>2/4/11</i> <i>ok w/ conditions JBM</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>JBM</i></p>
	<p>CERTIFICATION</p>		

PERMIT ISSUED

FEB 9 2011

City of Portland

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

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	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: 2/4/11 ok w/conditions ARB	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ARB

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PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis Littel

Job ID: 2011-02-376-ALTR

Located At: 94 CODMAN

CBL128 - - A - 019 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. This permit is for interior work only.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
3. Per Section R314.3.1 of the IRC 2009, when alterations, repairs or additions requiring a permit occur, the dwelling unit shall be equipped with smoke alarms located as required for new dwellings. Per Section R315.2 carbon monoxide alarms shall be provided in dwellings with fuel-fired appliances or attached garages. Verification of this will be upon inspection.

PERMIT ISSUED

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City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close In Elec/Plmb/Framing prior to insulation, drywall, or finishing
 2. Final at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUOPIED.

PERMIT ISSUED

FEB 9 2011

City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>94 COOMAN RD, PORTLAND ME</u>		
Total Square Footage of Proposed Structure/Area <u>NO CHANGE IN FLOOR PLAN</u>		Square Footage of Lot <u>N/A INTERIOR WORK</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>BERNARD + MARYANN GORDIN</u> Address <u>94 COOMAN RD</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address <u>Same</u> City, State & Zip	Cost Of Work: \$ <u>30,000</u> Plus Conf Fee: \$ <u>348.00</u> <u>Fines</u> Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Same</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Remove interior cabinets & ceiling, install new lighting</u> <u>Replumb 1/2 Bath, Finish both spaces.</u>		
Contractor's name: <u>Maine Properties Inc. TRAVIS BLAKE</u> Address: <u>PO Box 368 / 197 US Route 1</u> City, State & Zip <u>Scarborough, ME 04070</u> Telephone: <u>207 883 8753</u> Who should we contact when the permit is ready: <u>TRAVIS BLAKE</u> Telephone: <u>207 820 7415 - 3450</u> Mailing address: <u>PO Box 368, Scarborough, ME 04070</u>		

*Stop work
Be late
Double plus
Electric 100*

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

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Signature: [Signature] Date: 2/3/11

This is not a permit; you may not commence ANY work until the permit is issue



Maine Properties, Inc.

197 U.S. Route 1, P.O. Box 368, Scarborough, ME 04070-0368 207 / 883-3753 Fax • 207 / 883-2135

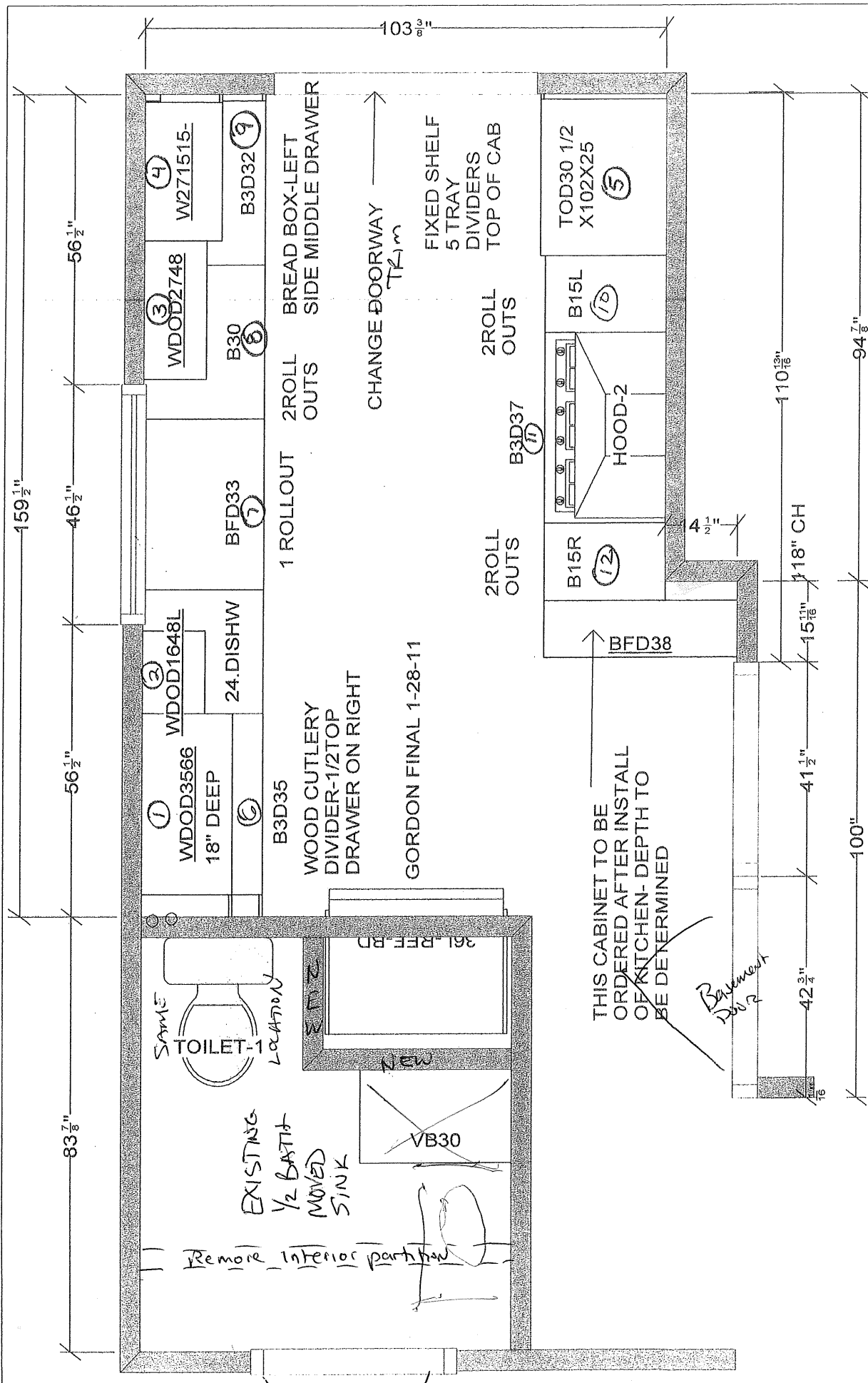
Mary Ann Gordon
94 Codman Street
Portland, ME 04103

RE: Kitchen and bath remodel

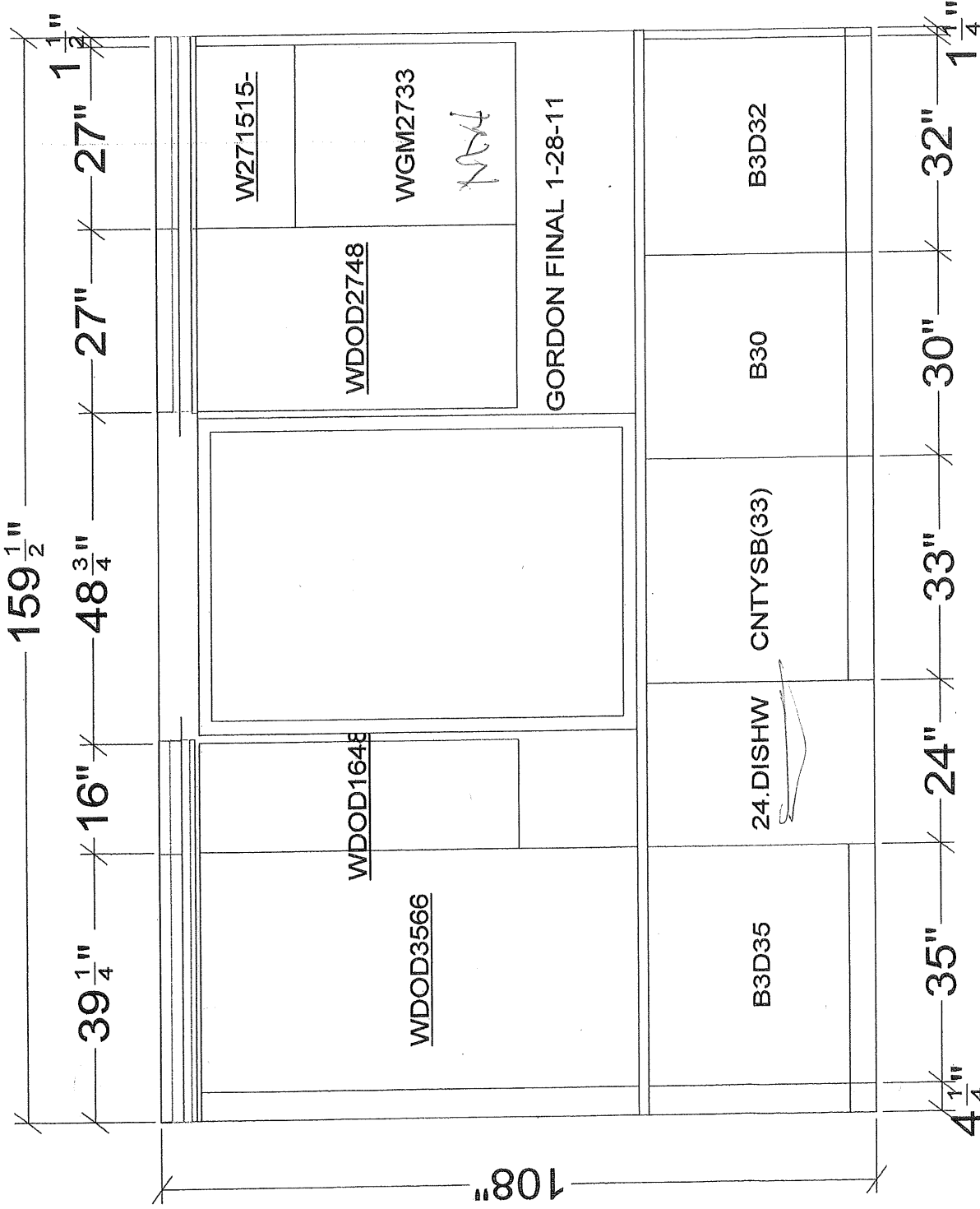
Maine Properties, Inc proposes to supply labor and materials to perform the following scope of work.

Scope of Work:

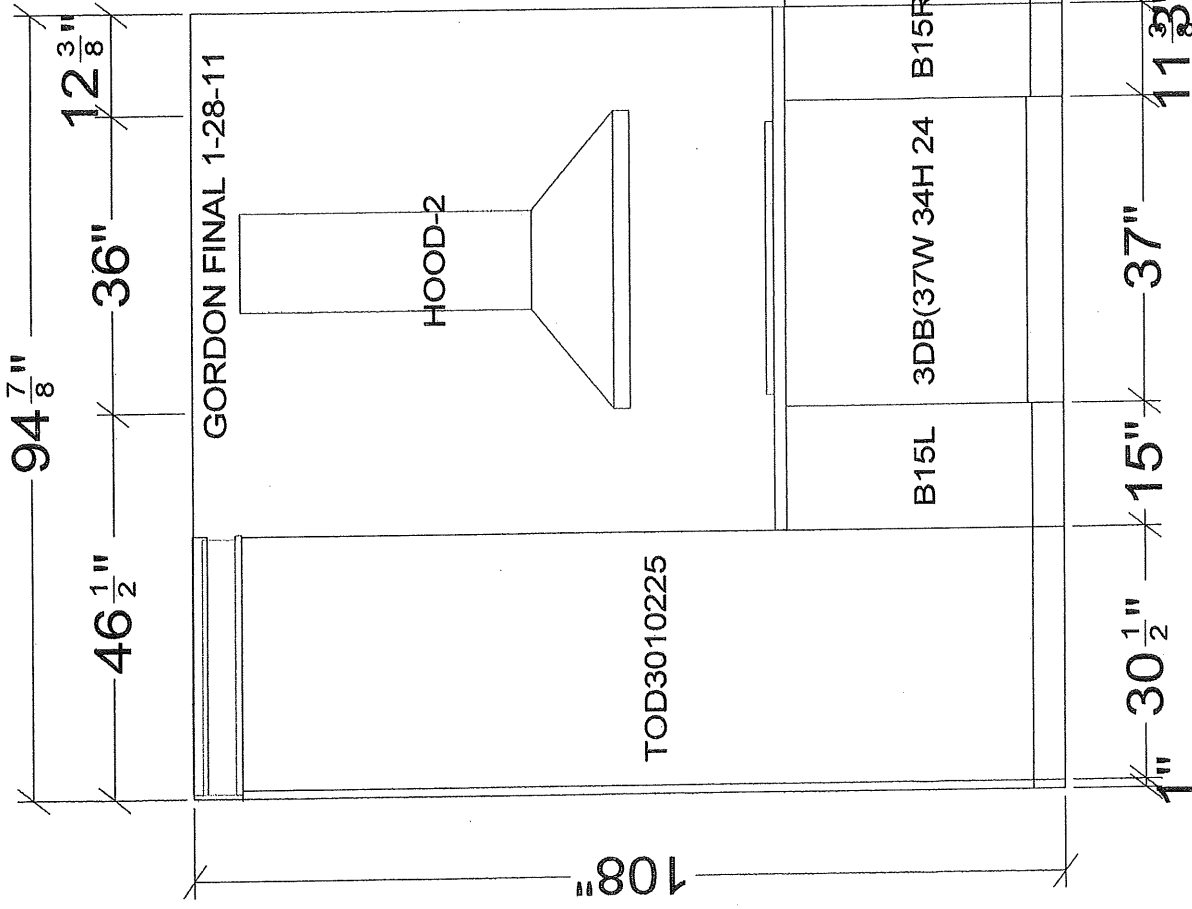
- Remove existing cabinets, linoleum, and ceiling in kitchen
- Framed 2 partitions for Fridge
- Removed interior closet partition for new access to bathroom
- Removed dropped down ceiling
- Install new ceiling at 9' (original building ceiling still exists at 11')
- Install draft blocking for exterior walls and interior partitions
- Re-work plumbing and interior partition walls for new bath layout
- Install necessary electrical for new plan
- Re-sheetrock all necessary areas
- Install gas line for stove, does not include any tank or changes to existing system for new line
- Price based on patching a few boards in and sanding and refinishing hardwood in kitchen
- Install new tile in bathroom floor
- Install new customer supplied cabinets and appliances
- Paint kitchen and bathroom walls, ceiling and trim
- Clean up and dispose of all construction debris



All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.	SHERY McFARLAND CKD, CBD HOME AGAIN by HANCOCK LUMBER 207-837-6317 SOUTH PORTLAND, ME	This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.	Designed: 10/15/2010 Printed: 1/28/2011
Gordon 10-10 SOLD		All	Drawing #: 1

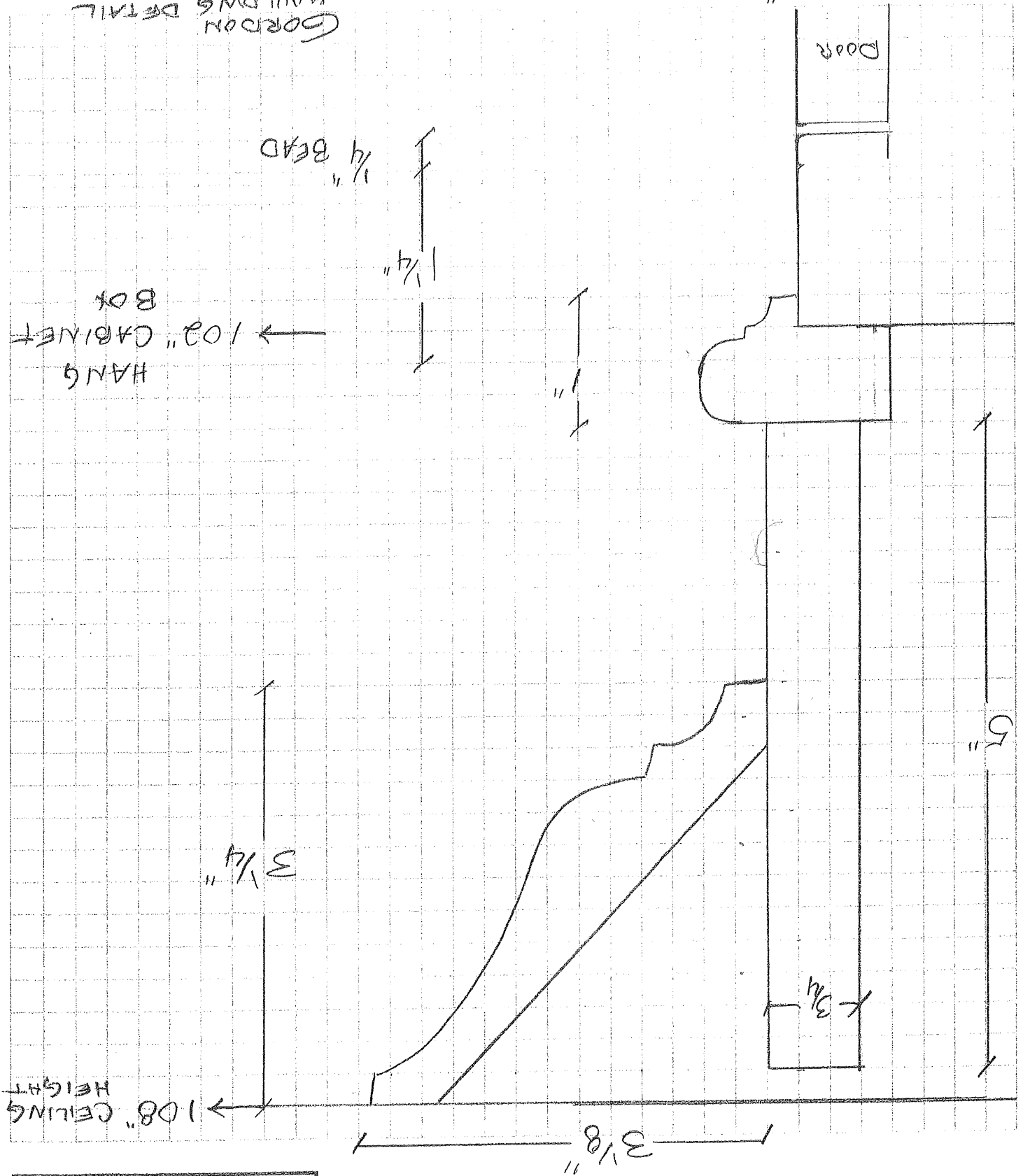


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Drawing #: 1	E12	Gordon 10-10 SOLD	

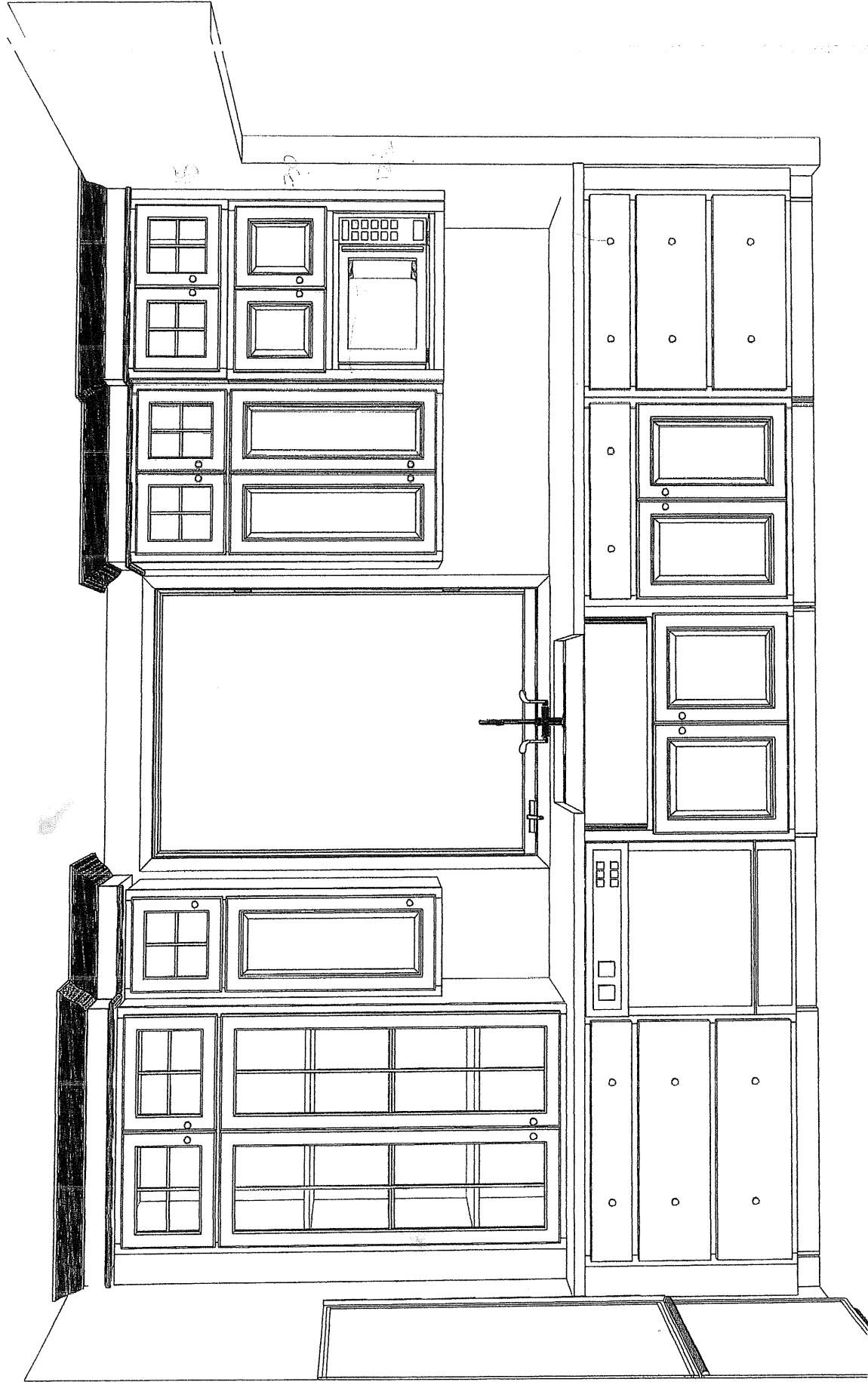
GORDON
MOLDINGS
DETAIL
11-1-10



HANG
BOX
102" CABINET



GORDON KITCHEN, FINAL 1-28-11							
#	CODE	WIDTH	HEIGHT	DEPTH	DESCRIPTION	NOTES	
1	WDOD	35	66	18	DOUBLE STACKED WALL CAB, SITS ON CTOP	6" LEFT EXTENDED STILE, MULLION GLASS	
2	WDOD	16	48	12 1/2	DOUBLE STACKED WALL CAB	MULLION GLASS	
3	WDOD	27	48	12 1/2	DOUBLE STACKED WALL CAB	MULLION GLASS	
4	WGM	27	48	15	DOUBLE STACKED WALL CAB	MULLION GLASS, MICROWAVE OPENING	
5	TOD	30 1/2	102	25	TALL OVEN CAB	3" LEFT EXTENDED STILE, OVEN CAB	
6	B3D	35	34 1/2	24	BASE 3 DRAWER	6" LEFT EXTENDED STILE, VARIOUS DRAWER INSERTS	
7	BFD	33	34 1/2	24	BASE FULL HEIGHT DOORS	FARM SINK CAB, ROLLOUT WITH PIPE CUTOUT	
8	B	30	34 1/2	24	BASE, 2 DOORS AND DRAWER	2 ROLLOUTS	
9	B3D	32	34 1/2	24	BASE 3 DRAWER	3" RIGHT EXTENDED STILE, VARIOUS DRAWER INSERTS	
10	B	15	34 1/2	24	BASE, DOOR AND DRAWER	2 ROLLOUTS	
11	B3D	37	34 1/2	24	BASE 3 DRAWER	FALSE TOP DRAWER FOR COOKTOP	
12	B	15	34 1/2	24	BASE, DOOR AND DRAWER	2 ROLLOUTS	
13	MLS				24 LF LIGHT RAIL	1" HIGH X 1 1/2" OUT	
14	MOG4				24 LF 4" CROWN	3 1/4" HIGH X 3 1/8" OUT	
15	MSS3				24 LF SOLID STOCK	5" HIGH X 3/4" THICK	
16	ATUK				TOUCH UP KIT		
17	TKC				4 8' PIECES TOE KICK		
SOAPSTONE SINK IS 29" WIDE X 8" HIGH X 18" DEEP- EXTERIOR DIMENSIONS							



Note: This drawing is an artistic interpretation of the general appearance of the design. It is not meant to be an exact rendition.

SHERRY McFARLAND
 CKD, CBD HOME AGAIN
 by HANCOCK LUMBER
 207-837-6317
 SOUTH PORTLAND, ME

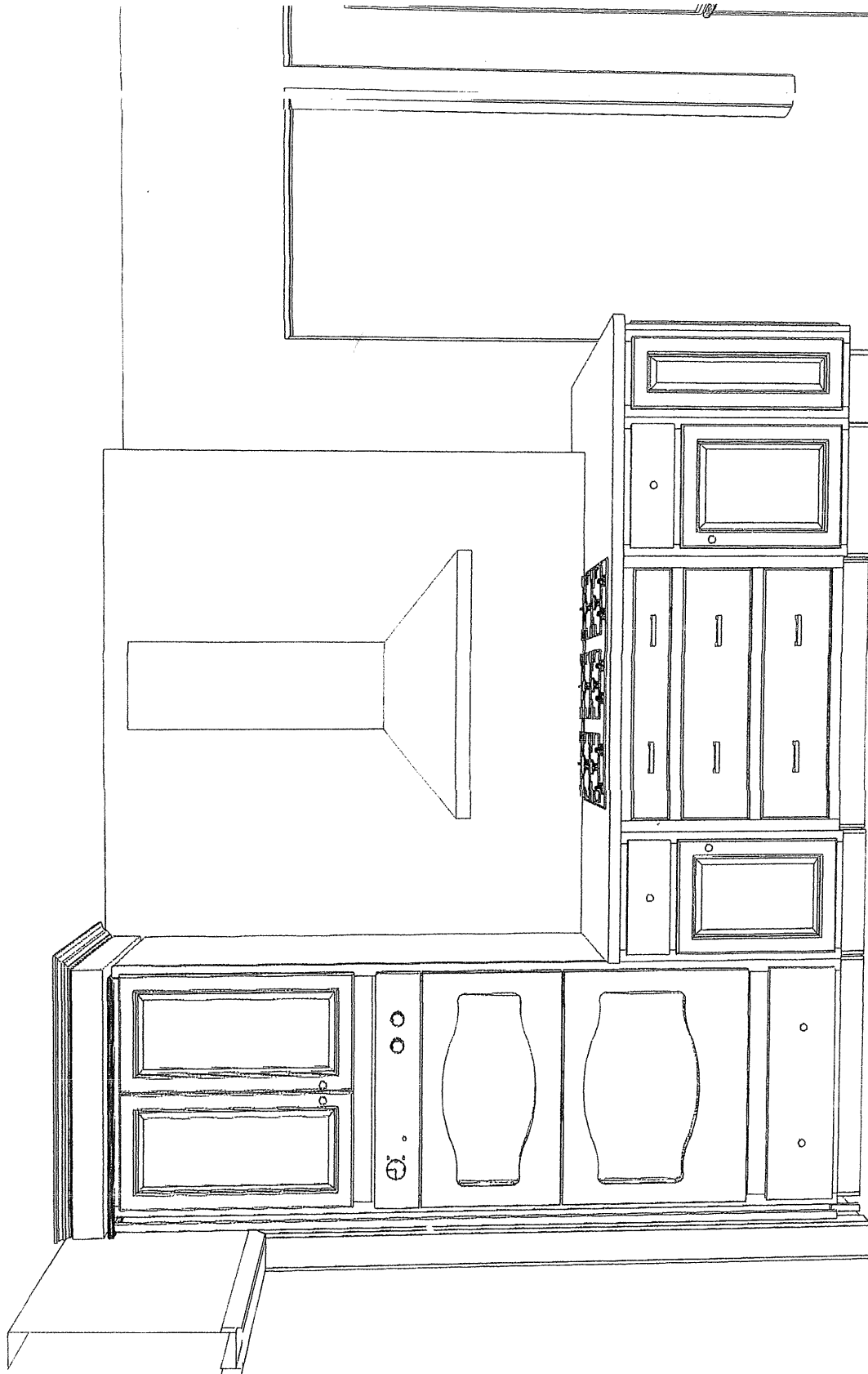
Designed: 10/15/2010
 Printed: 10/23/2010

Thompson Gordon 10/25/10

Gordon 10-10

All

Drawing #: 1



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SHERRY McFARLAND
 CKD, CBD HOME AGAIN
 by HANCOCK LUMBER
 207-837-6317
 SOUTH PORTLAND, ME

Design d: 10/15/2010
 Printed: 10/22/2010

Gordon 10-10

All

Drawing #: 1

Sherry McFarland