



Jeff Levine, AICP, Director  
Planning & Urban Development Department

Tammy Munson, I  
Inspections I

Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions

Date: 11/19/14

**Electronic Signature and Fee Payment Confirmation**

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, once my complete permit application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.

Within 24-48 hours, once my permit application and corresponding paperwork has been electronically delivered, I intend to **hand deliver** a payment method to the Inspections Office, Room 315, Portland City Hall.

I intend to deliver a payment method through the U.S. Postal Service mail once my permit paperwork has been electronically delivered.

Applicant Signature: 

Date: 10/29/14

I have provided digital copies and sent them on: *email*

Date: 10/29/14

NOTE: All electronic paperwork must be delivered to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov) or by physical means ie; a thumb drive or CD to the office.

# 88 CODMAN ST DECK REPAIR



Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions

Date: 11/19/14



SCALE  $\frac{1}{4}'' = 1$  FOOT

Acknowledgment of Code Compliance Responsibility- Fast Tra



Reviewed for Code Compliance  
Inspections Division  
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I, Michael Monsell am the owner or duly authorized owner's agent of the property Date: 11/19/14  
Print Legal Name

88 Codman St.  
Physical Address

I am seeking a permit for the construction or installation of:

Repairs to the front porch within the existing footprint, decking, skirting, treads, rails  
Proposed Project Description

I understand that the permits obtained pursuant to this acknowledgement of code compliance responsibility will be in my name and that I am acting as the **general contractor** for this project. I accept full responsibility for the work performed.

I am submitting for a permit authorized by the **State of Maine Uniform Building and Energy Code (MUBEC), Fuel Board Laws and Rules and all locally adopted codes and standards applying to Plumbing, Electrical, Fire Prevention and Protection in anticipation of having it approved or approved with conditions.** I have read the following statement and understand that **failure to comply with all conditions once construction is begun may necessitate an immediate work stoppage until such time as compliance with the stipulated conditions is attained.** I certify that I have made a diligent inquiry regarding the need for concurrent state or federal permits to engage in the work requested under this building permit, and no such permits are required or I will have obtained the required permits prior to issuance of this permit. I understand that the granting of this permit shall not be construed as satisfying the requirements of other applicable Federal, State or Local laws or regulations, including City of Portland historic preservation requirements, if applicable. I understand and agree that this permit does not authorize the violation of regulations.

In addition, I understand and agree that this building permit does not authorize the violation of the **12 M.R.S. § 12801 et seq. - Endangered Species.**

I certify under penalty of perjury and under the laws of the State of Maine the foregoing is true and correct. I further certify that all easements, deed restrictions, or other encumbrances restricting the use of the property are shown on the site plans submitted with this application.

I hereby apply for a permit as a owners agent of the below listed property and by so doing will assume responsibility for compliance with all applicable codes, bylaws, rules and regulations.  
Owner or Owner's Agent

*I further understand that it is my responsibility to schedule inspections of the work as required and that the City's inspections will, at that time, check the work for code compliance. The City's inspectors may require modifications to the work completed if it does not meet applicable codes.* MM INITIAL HERE

Sign Here: [Signature]  
Owner or Owner's Authorized Agent

Date: 10/29/14

PLEASE ALSO FILL OUT AND SIGN SECOND PAGE

# Acknowledgment of Code Compliance Responsibility- Fast Tra

OFFICE USE ONLY

PERMIT # \_\_\_\_\_

CBL # \_\_\_\_\_



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THIS PROJECT IS ELIGIBLE FOR FAST TRACK PERMITTING BECAUSE IT IS IN THE FOLLOWING CATEGORY / CATEGORIES (CHECK ALL THAT APPLY):

- One/Two Family Swimming Pools, Spas or Hot Tubs
- One/Two Family Decks, Stairs and Porches (attached or detached) First Floor Only
- One/Two Family Detached One Story Accessory Structures (garages, sheds, etc.) not to exceed 600sq ft with no habitable space
- Home Occupations (excluding day cares )
- One/Two Family Renovation/Rehabilitation (within the existing shell)
- Attached One /Two Family Garages /Additions/Dormers bearing the seal of a licensed design professional
- New *Sprinklered* One and Two Family Homes (bearing the seal of a licensed design professional stating code compliance) – **MUST STILL RECEIVE LEVEL 1 SITE PLAN APPROVAL FROM PLANNING**
- One/Two Family HVAC (including boilers, furnaces, heating appliances, pellet and wood stoves)
- Interior office renovations with no change of use (no expansions; no site work; no load bearing structural changes are eligible) bearing the seal of a licensed design professional stating code compliance
- Interior Demolition with no load bearing demolition
- Amendments to existing permits
- Commercial HVAC systems (with structural and mechanical plans bearing the seal of a licensed design professional stating code compliance)
- Commercial HVAC for Boilers/Furnaces/Heating Appliances
- Commercial Signs or Awnings
- Exterior Propane Tanks
- Residential or Commercial Subsurface Waste Water Systems (No Rule Variance Only)
- Renewal of Outdoor Dining Areas
- Temporary Outdoor Tents and stages under 750 sq ft per tent or stage
- Fire Suppression Systems (Both non-water and water based installations)
- Fences over 6'-0" in height
- Site work only
- Retaining walls over 4ft in height with stamped plans (or approval from inspection staff)

I understand that if the property is located in a historic district this application will also be reviewed by Historic Preservation. I further understand that the Building Inspections Division reserves the right to deny a fast track eligible project.

Sign Here: \_\_\_\_\_

Owner or Owner's Authorized Agent

Date: 10/29/14

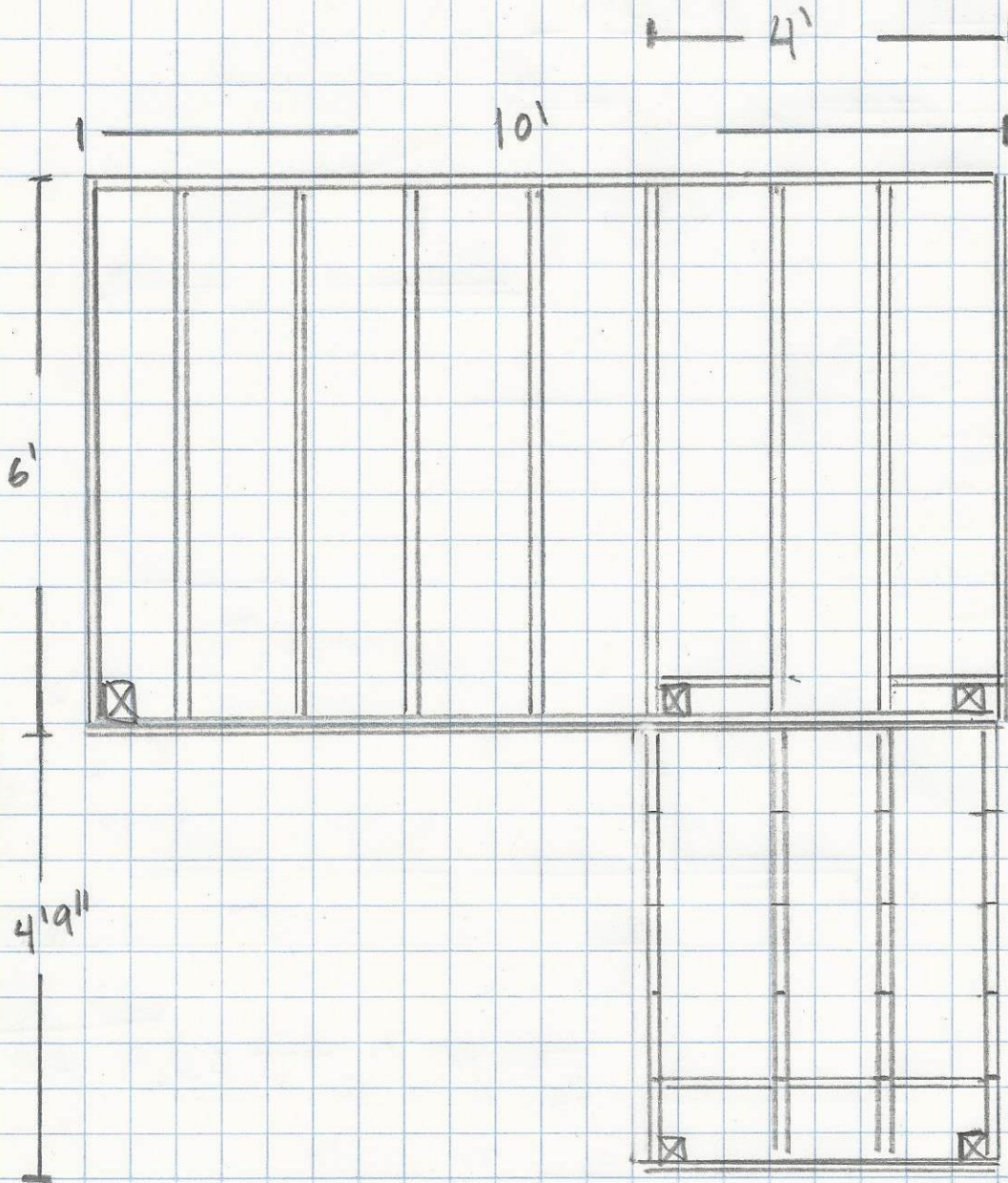
88 CODMAN ST DECK REPAIR  
FRAMING PLAN



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FRAMING 2x8 PT 16 O.C.  
ALL JOIST CONNECTED TO LEDGE & RIM W/  
FRONT RIM JOIST DOUBLED UP 2x8 PT

Date: 11/19/14



$\frac{1}{2}'' = 1 \text{ Foot}$   
PAGE 1 of 4



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# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges within the City, payment arrangements must be made before permits of any kind are accepted.


Date: 11/19/14

Address/Location of Construction: 88 Codman St. Portland,		
Total Square Footage of Proposed Structure:		80sq ft
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#	Applicant Name: Michael Monsell Address 21 Glenwood Ave City, State & Zip Portland 04103	Telephone: 518-1004  Email: c.a.monsellandco@gmail.com
Lessee/Owner Name : (if different than applicant) Address: James McMullan City, State & Zip: 74 Ballpark Dr Portland, ME 04103 Telephone 407 754 5157 E-mail:	Contractor Name: (if different from Applicant) Address:  City, State & Zip:  Telephone  E-mail:	Cost Of Work: \$ 3,000  C of O Fee: \$ 49  Historic Rev \$  Total Fees : \$ 49
Current use (i.e. single family) Single Family		
If vacant, what was the previous use? _____		
Proposed Specific use: _____		
Is property part of a subdivision? ___ If yes, please name _____		
Project description: Repairs to front porch within existing foot print decking, skirting treads and rails		
Who should we contact when the permit is ready: Mike Monsell		
Address: 21 Glenwood Ave		
City, State & Zip: Portland, ME 04103		
E-mail Address: c.a.monsellandco@gmail.com		
Telephone: 207 518 1004		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at <http://www.portlandmaine.gov/754/Applications-Fees> or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 10/29/14

This is not a permit; you may not commence ANY work until the permit is issued.

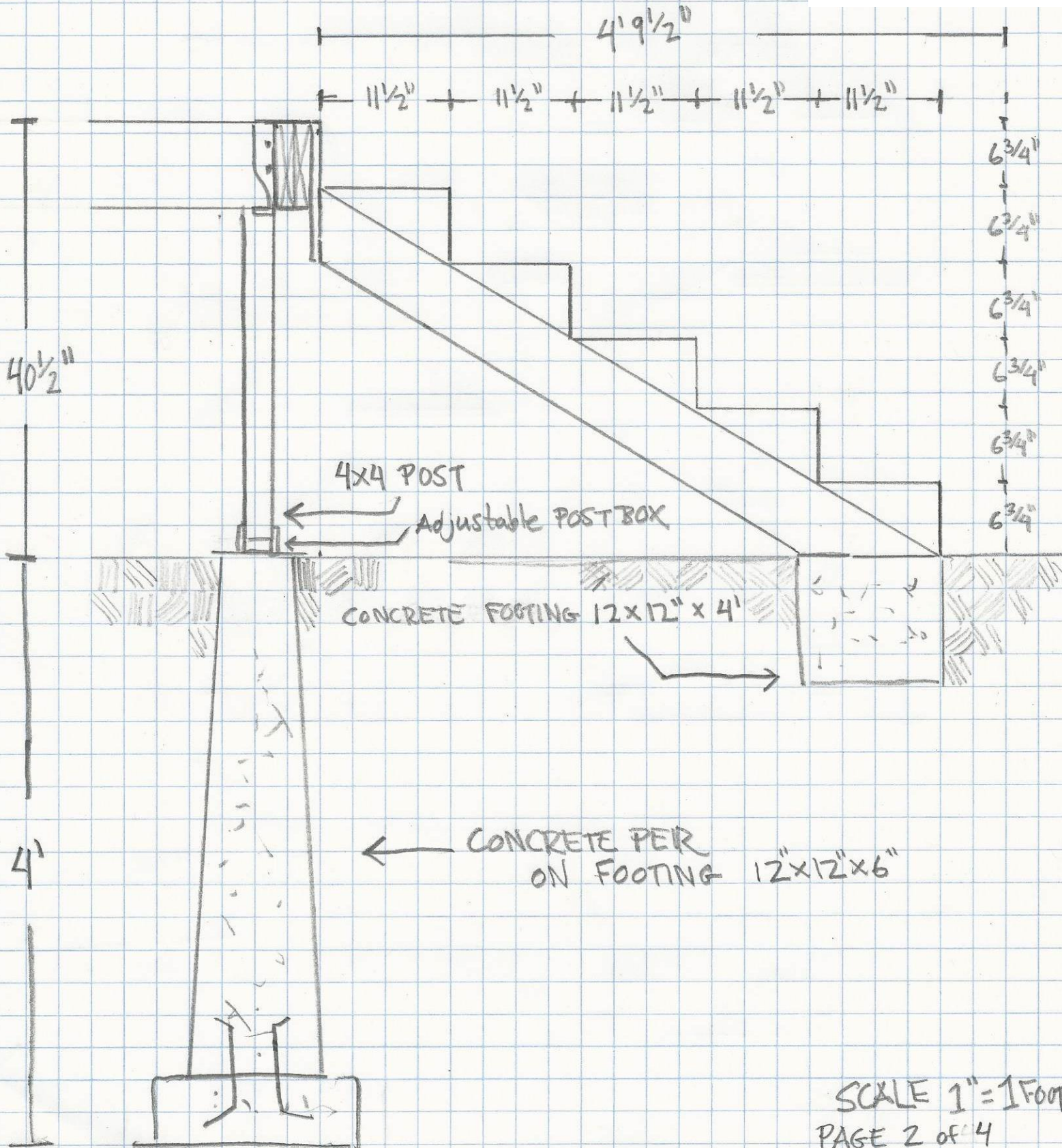
# 88 CODMAN ST. DECK REPAIR

## STAIR DETAIL 3 FOOTINGS CROSS SE



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88 CODMAN ST DECK REPAIR

STAIR RAIL CROSS SECTION

2 1/4"

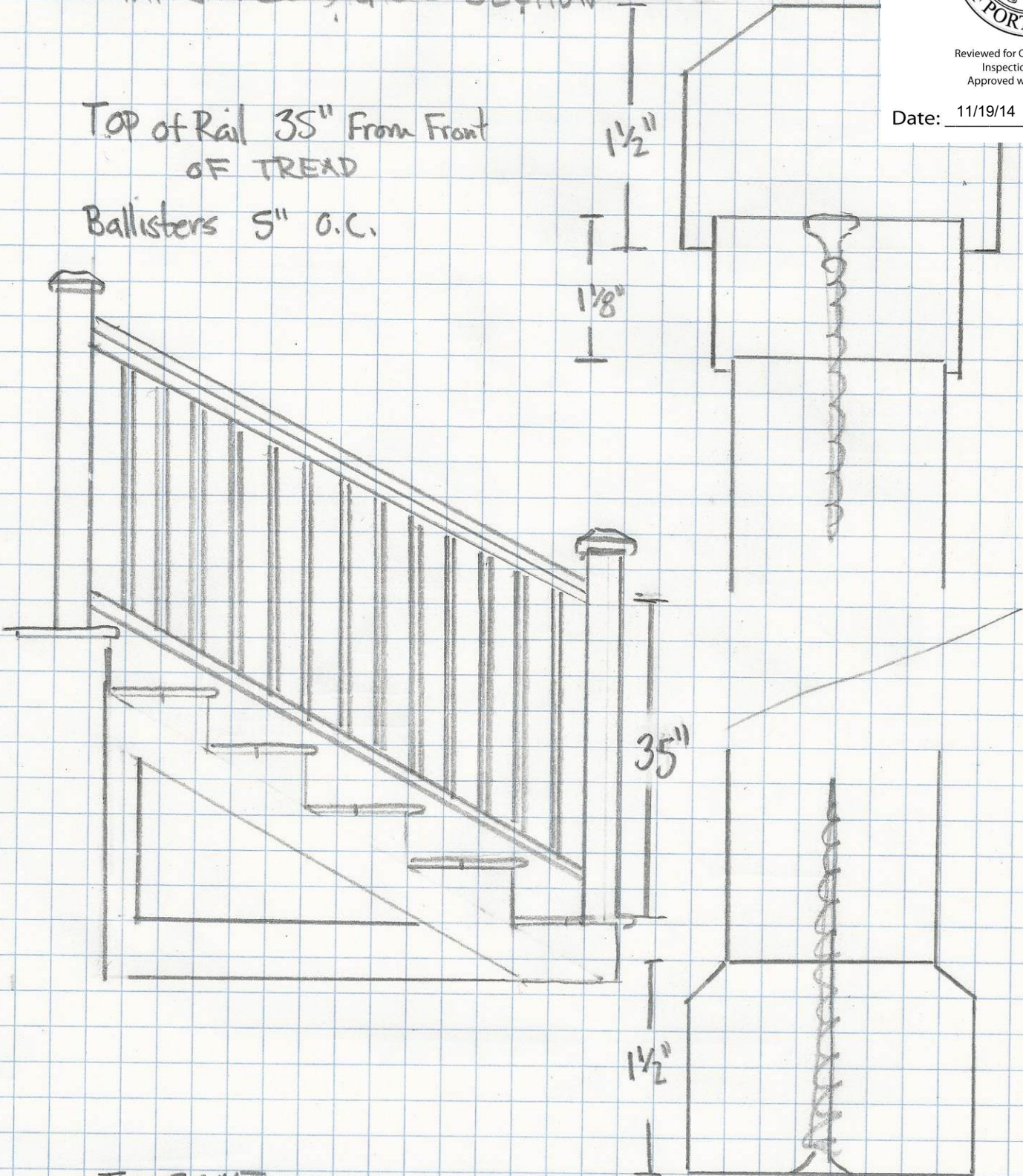


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Top of Rail 35" From Front  
OF TREAD

Ballisters 5" O.C.



TO SCALE

STAIR RAIL  
CROSS SECTION

2"

SCALE 3/4" = 1 FOOT

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