

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE CITY OF PORTLAND

**OF WORK
PERMIT ISSUED**

MAY 05 2004

Permit Number: 040542

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Crane Elizabeth W/Phil Mur
 has permission to Kitchen renovation w/beam a tion, re-urstruck
 AT 20 Belmont St 126 L008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit in progress before this building or part thereof is occupied or otherwise closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
 Department Name

Jeannie Bank 5/5/04
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 04-0542	Issue Date: MAY 05 2004	CBL: 126 L008001
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Location of Construction: 20 Belmont St	Owner Name: Crane Elizabeth W	Owner Address: 20 Belmont St	Phone: 774-6029
Business Name:	Contractor Name: Phil Murray	Contractor Address: 71 E. Valentine St Westbrook	Phone: 2078386042
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R3

Past Use: Single Family	Proposed Use: Single Family w/kitchen renovation & re-build side deck	Permit Fee: \$201.00	Cost of Work: \$20,000.00	CEO District: 3
Proposed Project Description: Kitchen renovation w/beam addition, re-build side deck		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: JB BOCA 1999	
		Signature:	Signature: JMB 05/5/04	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: jmb	Date Applied For: 05/05/2004	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 5/5/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

5/18/04 - Spoke w/ phil Murray - using steel beam to span 17' 10" Ao spec sheet will either be faxed or given to inspector. JB

5/26/04 - checked FRAMING / PLUMBING / ELECTRICAL for close in - a few nail plates needed (put on them) and no other issues seen. OK to close in. Jim M

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0542	Date Applied For: 05/05/2004	CBL: 126 L008001
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Location of Construction: 20 Belmont St	Owner Name: Crane Elizabeth W	Owner Address: 20 Belmont St	Phone: () 774-6029
Business Name:	Contractor Name: Phil Murray	Contractor Address: 71 E. Valentine St Westbrook	Phone (207) 838-6042
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family w/kitchen renovation & re-build side deck	Proposed Project Description: Kitchen renovation w/beam addition, re-build side deck
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 05/05/2004
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) No additions allowed due to max lot coverage, deck and steps must be built in exact footprint			
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 05/05/2004
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Design load spec sheet on the engineered beam must be submitted to this office			

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>20 BELMONT ST.</u>		
Total Square Footage of Proposed Structure <u>N/A</u>	Square Footage of Lot <u>6250</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>126</u> <u>L008</u>	Owner: <u>ELIZABETH CRANE</u>	Telephone: <u>774-6029</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Phil Murray dba Philbuilt</u> <u>71 EAST VALENTINE WESTBROOK 07092</u> <u>856-6042 838-6042</u>	Cost Of Work: \$ <u>20,000</u> Fee: \$ <u>201.00</u>
Current use: <u>S/F DWELLING</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>SAME</u>		
Project description: <u>KITCHEN RENOVATION + DECK REPLACEMENT</u>		
Contractor's name, address & telephone: <u>Phil Murray dba Philbuilt 71 E. VALENTINE WESTBROOK 07092</u> <u>856-6042 838-6042</u>		
Who should we contact when the permit is ready: <u>Phil Murray</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>838-6042</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>4/20/04</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. ~~Jay Reynolds, Development Review Coordinator at 874-8632~~ must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

~~maybe~~ **Footing/Building Location Inspection:** Prior to pouring concrete

NA **Re-Bar Schedule Inspection:** Prior to pouring concrete

NA **Foundation Inspection:** Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA **CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]
Signature of Applicant/Designee

4/15/04
Date

[Signature]
Signature of Inspections Official

5/5/04
Date

CBL: 126-L-8

Building Permit #

04-0542



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Phil ^{5/5}
300
R-3

Current Owner Information

Card Number	1 of 1
Parcel ID	126 L008001
Location	20 BELMONT ST
Land Use	SINGLE FAMILY
Owner Address	CRANE ELIZABETH W 20 BELMONT ST PORTLAND ME 04101
Book/Page	14066/50
Legal	126-L-8 BELMONT ST 20 6250 SF

Valuation Information

Land	Building	Total
\$40,640	\$165,370	\$206,010

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1909	Old Style	2	2996	0.143	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
5	3	2	9	Full Finsh	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1960	22X24	C	A

Sales Information

Date	Type	Price	Book/Page
08/01/1998	LAND + BLDING		14066-050
08/22/1995	LAND + BLDING	\$240,000	12070-118
05/22/1992	LAND + BLDING	\$169,000	10076-168

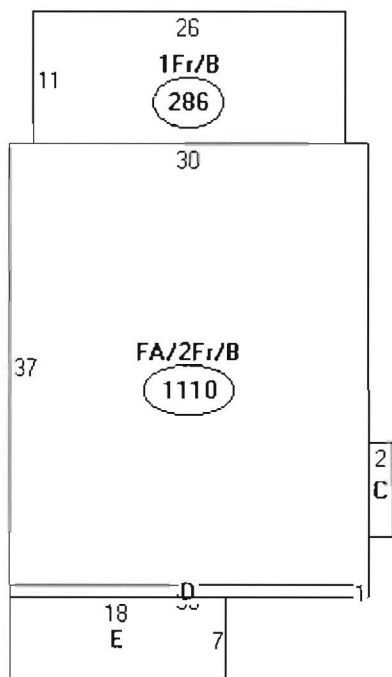
Picture and Sketch

Picture Sketch

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!



Descriptor/Area

- A: FA/2Fr/B
1110 sqft
- B: 1Fr/B
286 sqft
- C: FBAY
16 sqft
- D: FOH
30 sqft
- E: OFP
126 sqft

1,568
528

2,096 SF

6250
x 256

1,562.5 SF

W Shapes

Allowable uniform loads in kips
for beams laterally supported

For beams laterally unsupported, see page 2-148



Designation	W 10			W 10			W 10				Deflection in.	
	WT. lb	45	39	30	26	22	19	17	15	12		
Flange Width	8	9	8	5 1/4	5 1/4	5 1/4	4	4	4	4		
L_c	8.50	8.40	8.40	6.10	6.10	6.10	4.20	4.20	4.20	3.90		
L_u	22.8	19.8	16.5	13.1	11.4	9.40	7.20	6.10	5.00	4.30		
Span in Feet	3						70	66	54		32	
	4						74	64	55	43	34	
	5						60	51	44	35	36	
	6			81	86	74	70	60	51	44	35	36
	7	102	90	79	73	65	62	50	43	35	29	39
	8	97	83	69	64	56	48	45	37	31	25	32
	9	96	74	62	57	49	41	33	29	24	19	26
	10	78	67	55	51	44	37	30	26	22	17	25
	11	77	61	50	47	40	33	27	23	20	15	30
	12	55	46	46	41	37	31	25	21	18	13	35
	13	60	51	43	38	34	28	23	20	17	13	42
	14	56	48	40	37	32	26	21	18	16	12	48
	16	49	42	35	32	28	23	19	16	14	11	53
	18	43	37	31	29	25	20	17	14	12	10	60
	20	39	33	28	26	22	18	15	13	11	8.6	68
	22	38	30	25	23	20	17	14	12	10	7.8	119
24	32	28	23	21	18	15	12	11		7.2	142	

F_y = 36 ksi

Properties and Reaction Values

S_x in. ³	49	45	35.0	32.4	27.9	23.2	18.8	16.2	13.8	10.9	
V kips	51	45	41	45	39	35	37	35	33	27	
R_1 kips	26.0	21.0	18.3	16.7	13.5	10.7	12.1	10.7	9.7	7.5	
R_2 kips	8.32	7.48	6.89	7.13	6.18	5.70	5.94	5.70	5.45	5.1	
R_1 kips/in.	33.3	26.3	21.0	23.9	17.9	14.4	16.0	13.8	14.4	11.1	
R_2 kips/in.	4.19	3.84	3.53	3.06	2.37	2.31	2.36	2.54	2.76	2.03	
R kips	48	39	33	35	26	22	24	23	21	15	

Load above heavy line is limited by maximum allowable web shear.

W Shapes

Allowable uniform loads in kips
for beams laterally supported

For beams laterally unsupported, see page 2-148



Designation	W 8						Deflection in.
	WT. lb	67	58	48	40	35	
Flange Width	8 1/4	8 1/4	8 1/4	8 1/4	8	8	
L_c	8.70	8.70	8.60	8.50	8.50	8.10	
L_u	39.9	35.3	30.3	25.3	22.6	20.7	
Span in Feet	6	148	129	86	72	66	
	7	137	118	98	80	71	62
	8	120	103	86	70	62	54
	9	106	92	76	62	55	48
	10	96	82	69	56	49	44
	11	87	75	62	51	45	40
	12	80	69	57	47	41	36
	13	74	63	53	43	38	34
	14	68	59	49	40	35	31
	15	64	55	46	37	33	29
	16	60	51	43	35	31	27
	17	56	48	40	33	29	26
	18	53	46	38	31	27	24
	19	50	43	36	30	26	23
	20	48	41	34	28	25	22

F_y = 36 ksi

REPT. OF BUILDING INSPECTING
CITY OF PORTLAND, ME

MAY 19 2004

RECEIVED

Properties and Reaction Values

S_x in. ³	60.4	52.0	43.3	35.5	31.2	27.5	
V kips	74	64	49	43	36	33	
R_1 kips	48.7	39.8	28.2	22.7	18.4	15.9	ex
R_2 kips/in.	13.5	11.5	8.55	8.55	7.97	6.77	see
R_1 kips	84.9	68.9	42.7	33.0	24.8	20.5	
R_2 kips/in.	13.5	11.5	6.73	6.18	4.54	4.07	
R kips	96	82	61	53	41	35	

Load above heavy line is limited by maximum allowable web shear.
Values of R in bold face exceed maximum web shear V.

BEAMS - ANGLES - CHANNELS - PLATES - FLATS
LALLY COLUMNS - WIRE MESH - REINFORCING RODS

GOLDSTEIN STEEL CO.

YARD: 36 RUNNING HILL ROAD ■ SCARBOROUGH, ME 04074
PH. (207) 839-3411 ■ FAX (207) 839-3726

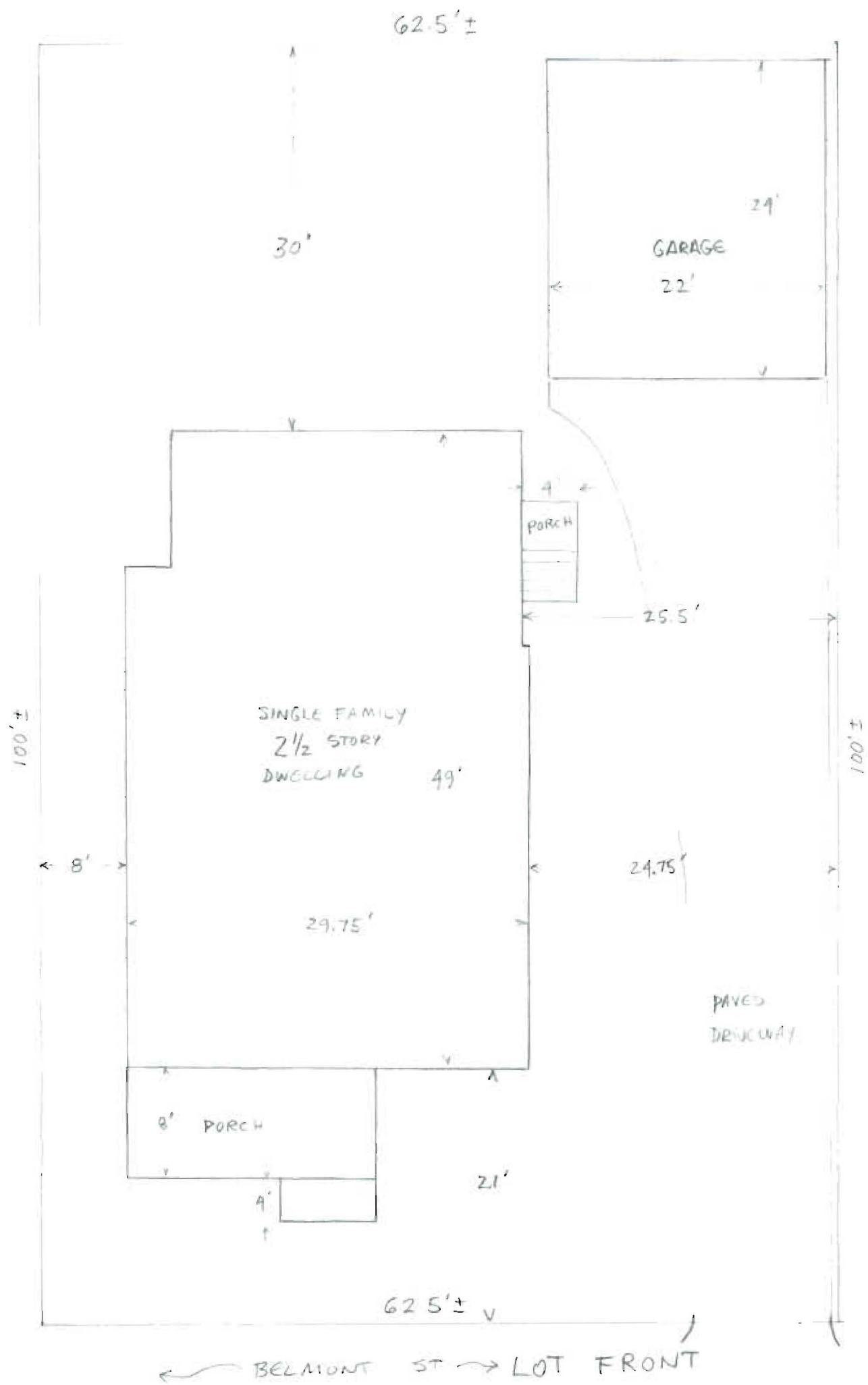
Attn: Jeannie Bourke

Concerning 20 Belmont St.

Page: 1 of 2

W10x22 18fe:





CRANE KITCHEN
 REMODEL
 PORTLAND, MAINE

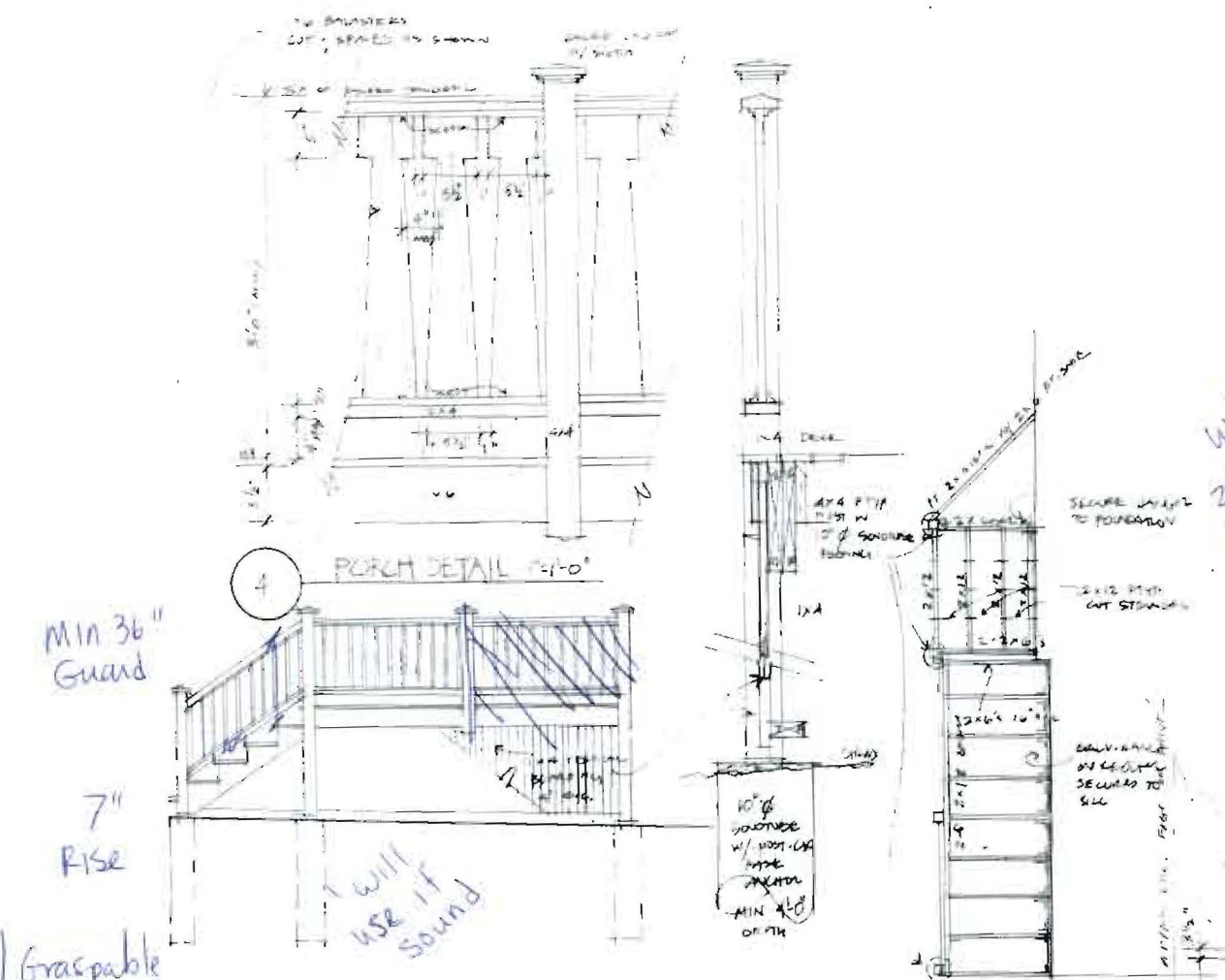
FLOOR PLAN

DATE: 3/11/05
 REV: 4/14/04
 REV: 4/20/04

SHEET NO
 A1

JOB NO.

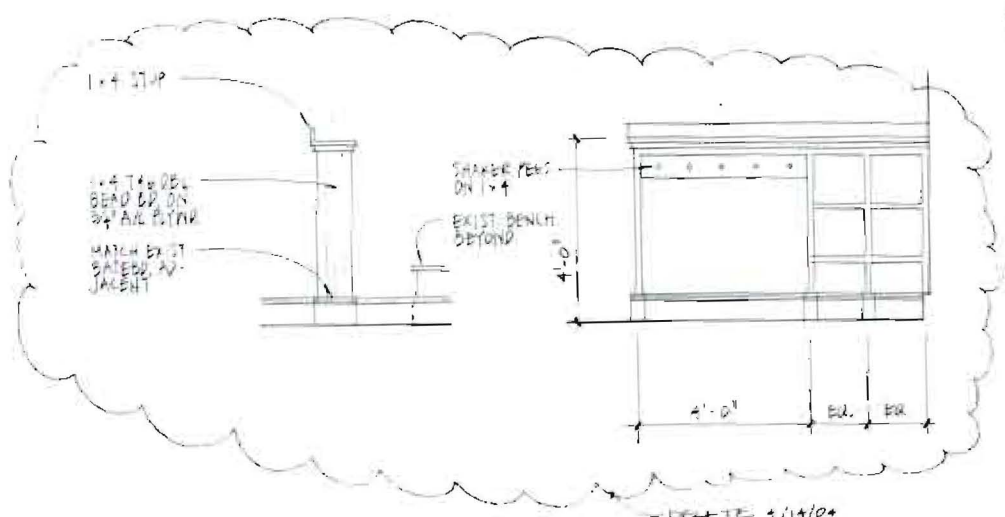
697



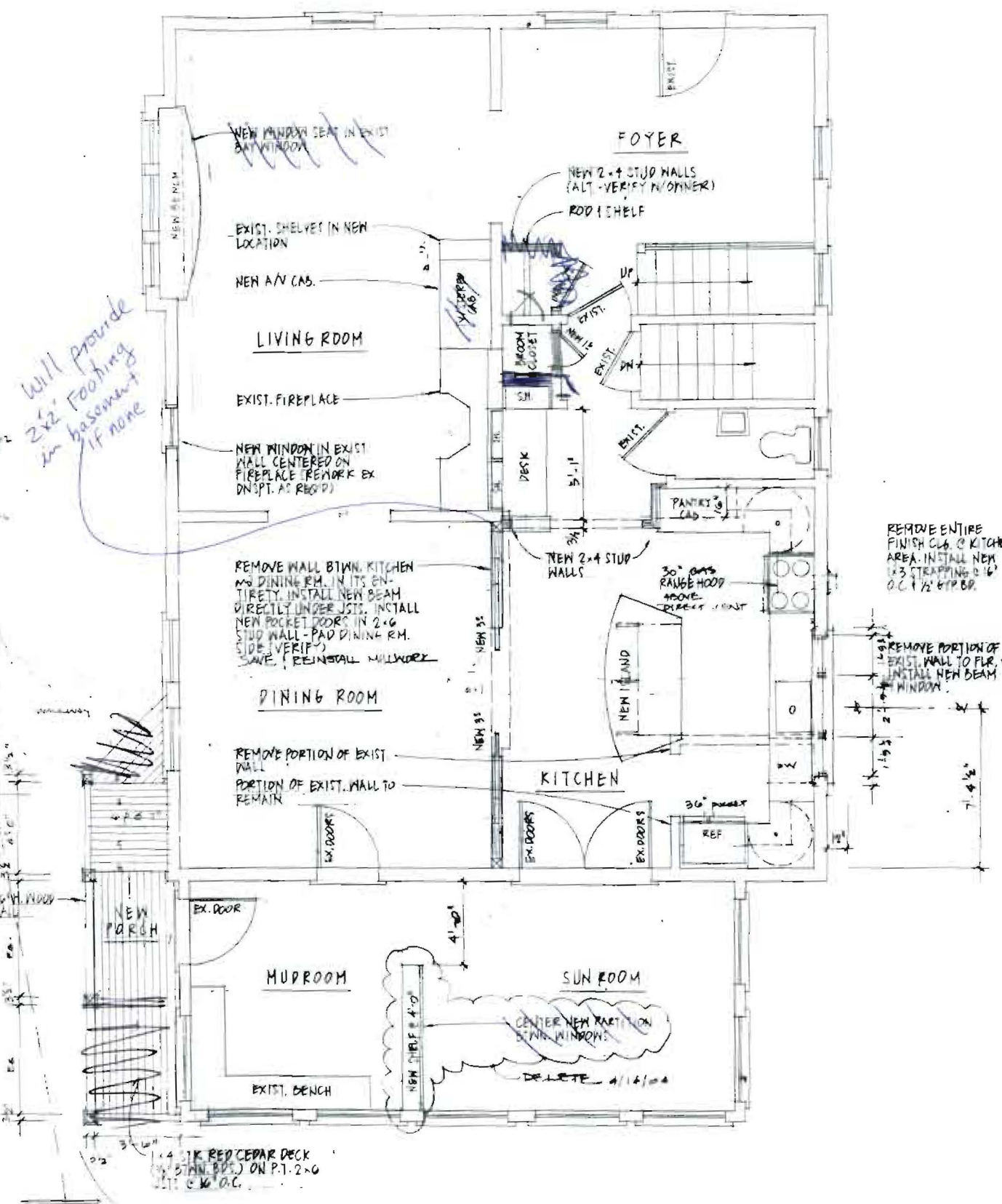
MIN 36" Guard
 7" Rise
 w/ Graspable handrail

3 PORCH ELEV. 4'-10"

2 PORCH FRAMING 4'-10"



INT ELEVATIONS @ MUDROOM 5'-11-0"



1 FIRST FLOOR PLAN 14'-11-0"

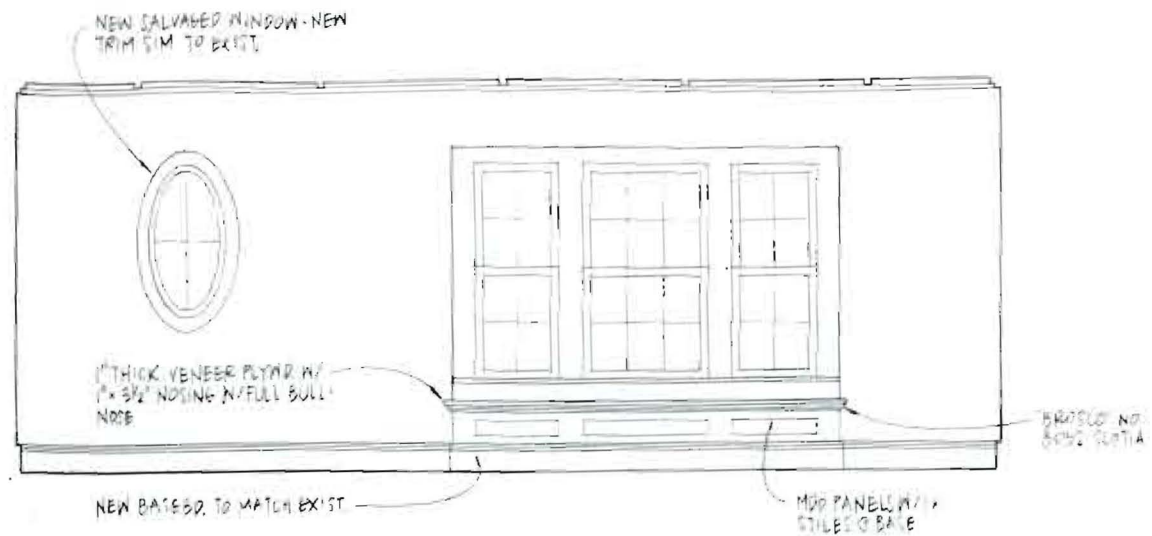
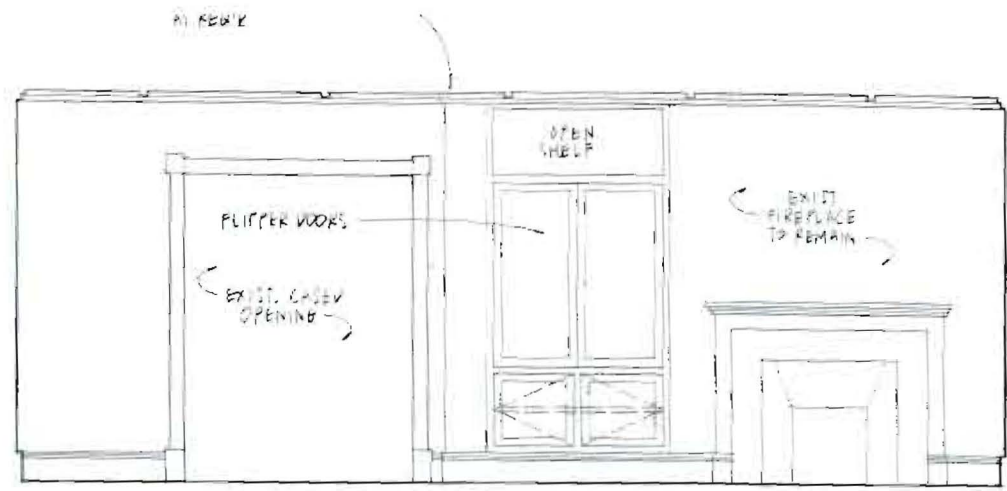
Will provide 2x2 Footing in basement if none

REMOVE ENTIRE FINISH CL. @ KITCHEN AREA. INSTALL NEW 1x3 STRAPPING @ 16" O.C. 1/2" @ 16" B.P.

REMOVE PORTION OF EXIST. WALL TO FLR. 1. INSTALL NEW BEAM WINDOW.

1x4 SIK RED CEDAR DECK (STAIN BBS) ON P.T. 2x6 @ 16" O.C.

CENTER NEW PARTITION BETWEEN WINDOWS
 DELETE 4/14/04



VERIFY TYPE, SIZE & REQ. DIMENSIONS FOR AUDIO/VISUAL COMPONENTS

1 INTERIOR ELEVATION @ LIVING ROOM

3/8" = 1'-0"

NEW TRIM TO MATCH EXIST.

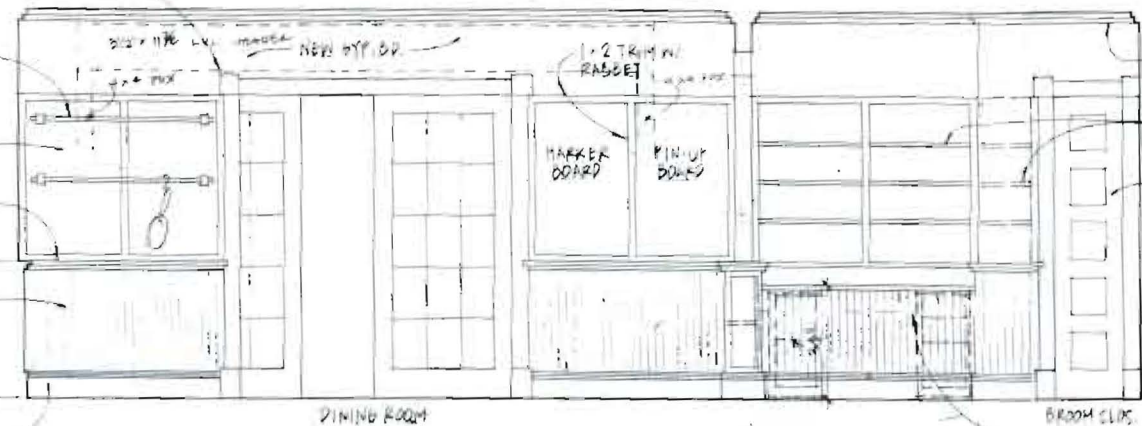
MIL KIT RACKS

MUD PANEL W/ 1/2" RABBETS

1/2" CAP W/ FULL BULL NOSE BRUSCO NO. 8002 SCOTIA

1/4" SOL. BEAD BD (1/2") WAINCOT

NEW BR. BEAD TO MATCH EXIST.



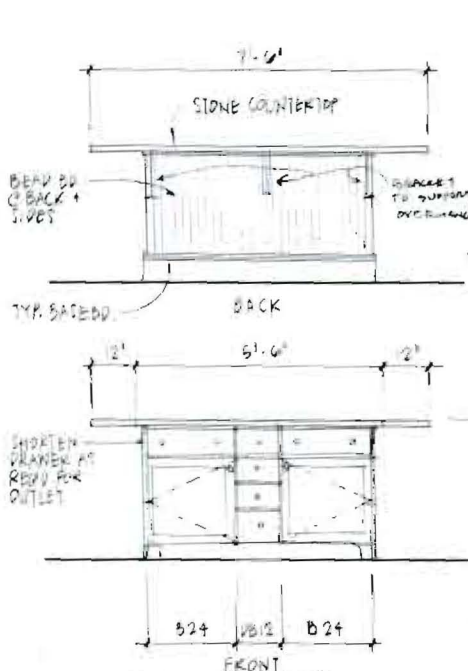
DINING ROOM

BROOM CLIP

42" PANTRY
12" DEEP ADJ. SHELVES GLASS TOPPED
12" DEEP ADJ. SHELVES SOLID VENEER TOPPED

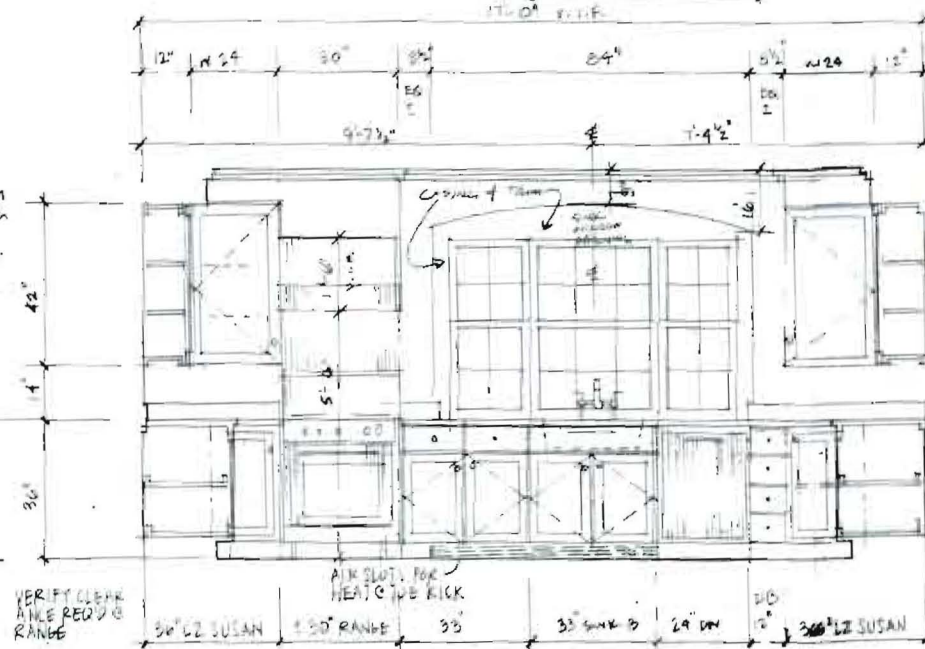
VERIFY SHELVING @ PANTRY LAB

CRANE KITCHEN REMODEL
PORTLAND MAINE



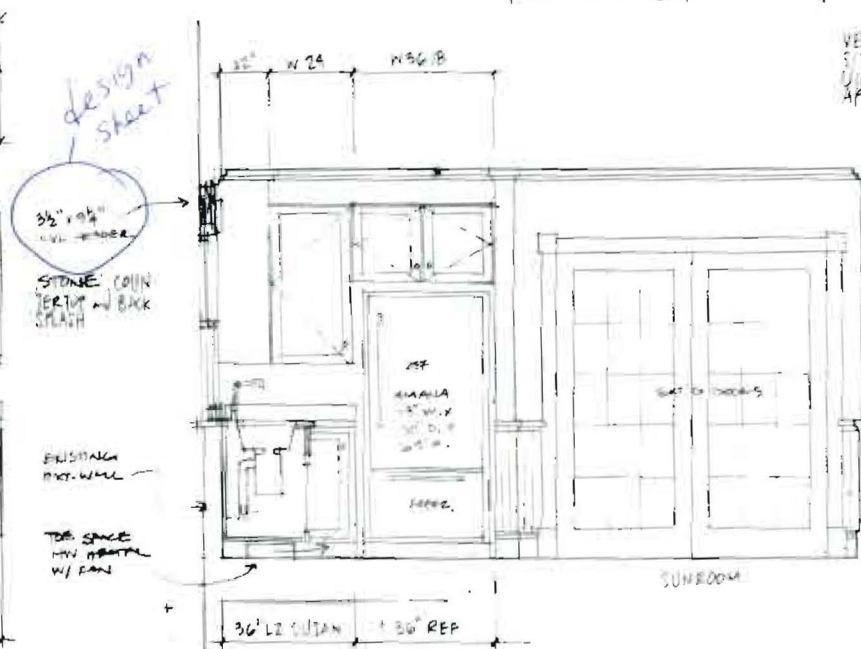
3 DET @ ISLAND

3/8" = 1'-0"



2 INTERIOR ELEVATIONS @ KITCHEN

3/8" = 1'-0"



VERIFY MAKE & MODEL SIZE AND POWER REQ. REQUIREMENTS OF ALL APPLIANCES

INTERIOR ELEVATIONS

DATE: 3/24/03
REV: 4/12/04
DWG: 03/04/04

SHEET NO
A2

64%

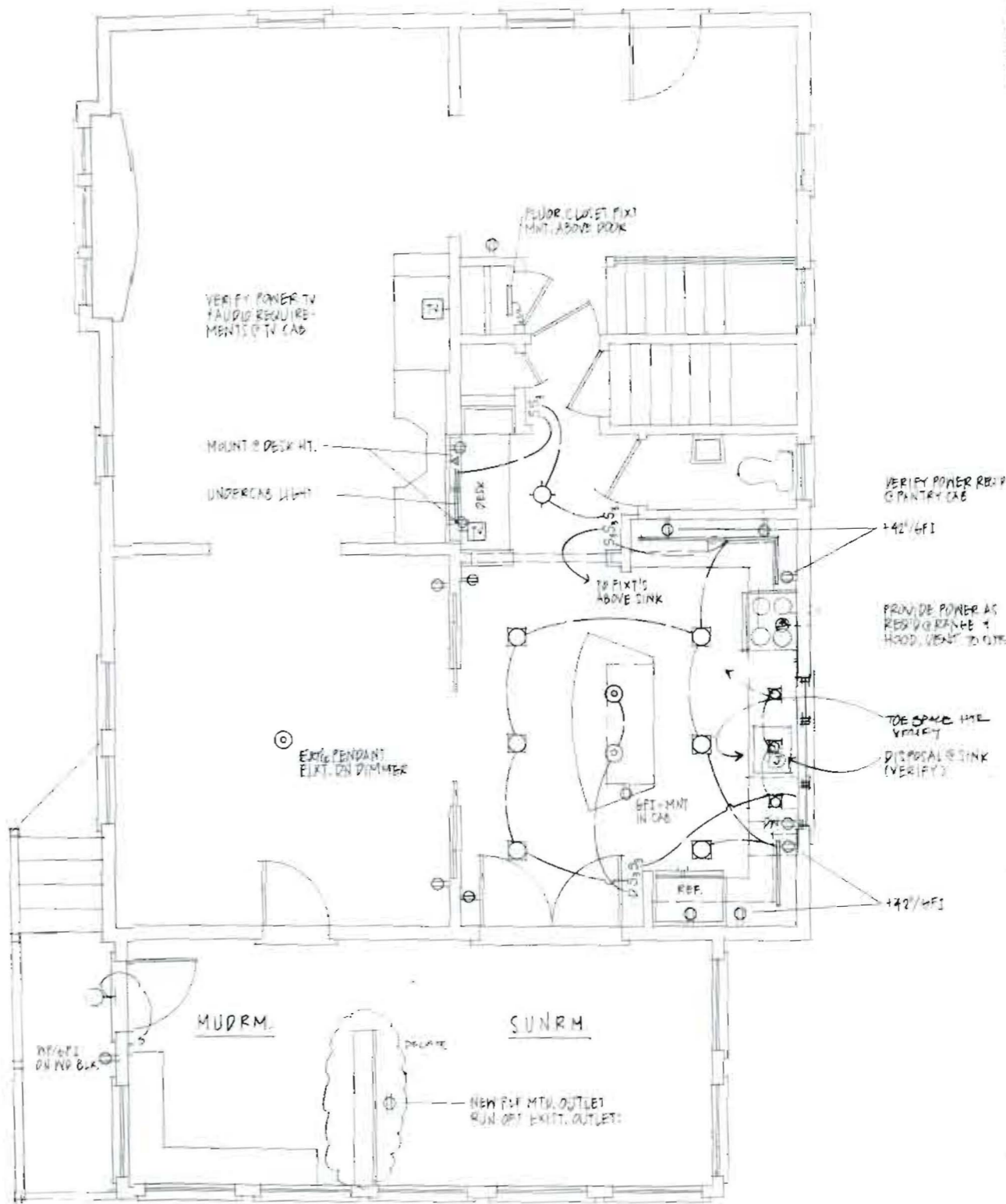
ARCHITECT
WHITTEN ARCHITECTS
87 SILVER STREET
PORTLAND, MAINE 04101
TEL: 774.6001 FAX: 774.6668

ELECTRICAL NOTES

1. ALL NEW ELECT. WORK TO COMPLY WITH STATE & LOCAL CODES. ETC. TO INSPECT EXIST. SERVICE & UPGRADE AS REQ'D.
2. ALL NEW ELECT. FIXTURES -> DEVICES TO MATCH EXIST. IN STYLE & COLOR.
3. WHERE POSSIBLE, CENTER OUTLETS, SWITCHES, FIXTURES, ETC. ONE OVER ANOTHER.
4. WHERE POSSIBLE, COMBINE SWITCHES, OUTLETS, JACKS, ETC. IN ONE COVER PLATE.

ELECTRICAL FIXTURE LEGEND

- ◻ RECESSED CLK. FIXTURE
- SURFACE MOUNTED CLK. FIXTURE
- ⊙ SURFACE MOUNTED WALL FIXTURE
- FLOOR UNDER CAB LIGHT FIXTURE
- ⊙ PENDANT FIXTURE
- ⊙ DUPLEX OUTLET, MOUNTING HEIGHT TO MATCH EX., GFI - GROUND FAULT, WIP - WATERPROOF
- ⊙ TELEPHONE JACK, CABLE TV JACK
- S, S₃, D, S₃ SWITCH, 3-WAY SWITCH, DIMMER SWITCH, JAMB SWITCH



ARCHITECT
WHITTEN ARCHITECTS
37 SILVER STREET
PORTLAND, MAINE 04101
207.774.0001 FAX: 774.1668

CRANE KITCHEN
REMODEL
PORTLAND MAINE

ELECTRICAL PLAN

DATE: 4/14/04
REV: 4/29/04

JOB NO.

SHEET NO.
E1

1 ELECTRICAL PLAN
14' x 10'

647



CITY OF PORTLAND, MAINE

Department of Building Inspections

May 5 2004

Received from Phil Murray

Location of Work 20 Belmont

Cost of Construction \$ 20,000.

Permit Fee \$ 201.00

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 126-L-8

Check #: 7957

Total Collected \$ 201.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy