

**GENERAL DEMOLITIONS NOTES**

- GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE CONSTRUCTION PHASING.
- IN AREA OF WORK, G.C. SHALL BE RESPONSIBLE TO PATCH AND REPAIR ALL EXISTING CONSTRUCTION WHICH IS TO REMAIN.
- GENERAL CONTRACTOR SHALL NOTIFY OWNER OF ANY HAZARDOUS MATERIALS DISCOVERED DURING DEMOLITION OR RE-CONSTRUCTION. G.C. SHALL REMOVE AND DISPOSE OF ALL HAZARDOUS MATERIALS IN ACCORDANCE WITH STATE AND LOCAL LAWS. ALL WORK SHALL BE PERFORMED BY A LICENSED ABATEMENT PROFESSIONAL. G.C. SHALL PROVIDE THE OWNER WITH ALL DOCUMENTS CERTIFYING THAT THE REMOVAL AND DISPOSAL MEETS ALL STATE AND LOCAL LAWS.
- IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT WITH THE ARCHITECT BEFORE PROCEEDING.
- DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR TO REMOVE AND DISPOSE OF ALL CARPET AND VCT IN ACCORDANCE WITH STATE AND LOCAL LAWS.
- CONTRACTOR TO PREPARE EXISTING SUB-FLOOR AS REQUIRED FOR NEW FLOOR FINISHES.
- ANY/ ALL EXISTING FIREPROOFING FOUND ON EXISTING STRUCTURE (COLUMNS, BEAMS, SLAB) SHALL BE PROTECTED & REMAIN INTACT.
- IN PARTITIONS TO BE REMOVED - REMOVE AND CAP ALL ELECTRICAL OUTLETS, SWITCHES, THERMOSTATS, WIRES, ETC. TO THEIR SOURCE AS REQUIRED.
- CONTRACTOR TO STORE AND REMOVE ALL DEBRIS FROM SITE.
- CONTRACTOR IS RESPONSIBLE TO CHECK WITH THE BUILDING OWNER OF ANY ITEMS TO BE SAVED AND RETURNED TO THE BUILDING OWNER PRIOR TO REMOVAL.
- ALL WIRING, SWITCHING AND OUTLETS TO BE REMOVED A TERMINATED AT THE PANEL.
- ALL ELECTRICAL WIRE MOLDING TO BE REMOVED AND SURFACES TO BE CLEAR OF ALL FASTENERS.

**GENERAL ARCHITECTURAL NOTES**

- ALL DIMENSIONS SHOWN FROM EXISTING WALLS ARE GIVEN TO FACE OF EXISTING FINISH. ALL NEW WALLS ARE DIMENSIONED TO THE CENTER OF WALL UNLESS OTHERWISE NOTED.
- SEE SITE PLAN DRAWINGS FOR ALL SITE RELATED CONSTRUCTION AND DETAILS
- CONTRACTOR TO PROVIDE BLOCKING CONCEALED WITHIN PARTITION FOR SECURE ATTACHMENT OF MILLWORK CONSTRUCTION AND EQUIPMENT.
- ALL DOOR OPENINGS TO BE PRE-FINISHED. OFFSET 6" FROM FINISH FACE OF PERPENDICULAR PARTITION, U.N.O.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.
- RELOCATE EXISTING FIRE SAFETY, ELECTRICAL DEVICES TO ADJOINING OR ADJACENT WALL, U.N.O. NOTIFY NEW PLACEMENT W/ ARCHITECT PRIOR TO REINSTALLATION.

**GENERAL HVAC & PLUMBING NOTES**

- HVAC TO BE DESIGN PROVIDE AS A DESIGN BUILD SERVICE. ALL DESIGN AND CONSTRUCTION IS TO MEET THE HVAC PERFORMANCE SPECIFICATION. ALL RETURNS TO BE LOCATED AFTER LIGHTING HAS BEEN INSTALLED. SUPPLY AND INSTALLATION OF ADDITIONAL DUCTWORK, DIFFUSERS AND RETURNS AS REQUIRED TO ACCOMMODATE NEW USE.
- COMPLY WITH LOCAL HEATING CODES AND REGULATIONS.
- CONTRACTOR TO PROVIDE A COMFORT-BALANCE REPORT AT OR NEAR DESIGN CONDITIONS DURING THE FIRST HEATING AND COOLING SEASONS.
- INSTALLATION SHALL BE DONE TO GUARANTEE SATISFACTORY AIR CIRCULATION AND ACCEPTABLE NOISE LEVELS.
- G.C. IS NOT RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF EQUIPMENT.

**GENERAL ELECTRICAL NOTES**

- ALL ELECTRICAL INSTALLATIONS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AS AMENDED, (nfpa 70) OR THE STANDARD BUILDING CODE OF NEW HAMPSHIRE, LATEST EDITION.
- ALL EXPOSED WIRING SHALL BE INSTALL IN METAL CABLE AS REQUIRE BY STATE AND LOCAL ELECTRICAL CODE.
- ELECTRICAL WORK FOR THE PROJECT INCLUDES REMOVAL OF EXISTING LIGHT FIXTURES AS WELL AS SUPPLYING AND INSTALLING NEW FIXTURES TO EXISTING AND NEW CIRCUITS; RELOCATING EXISTING CIRCUIT AND WIRING; TYING NEW DUPLEX OUTLETS TO EXISTING POWER AND/OR LIGHTING CIRCUITS, AND NEW LIGHTING, SWITCHING AND POWER FOR NEW SPACES AS REQUIRED.
- ALL SWITCHES, RECEPTACLES AND OTHER ELECTRICAL LOCATIONS SHALL BE COORDINATED WITH ALL OTHER TRADES.
- ALL NEW SWITCHES CONTROLLING WIRING SHALL BE LOCATED TO MATCH EXISTING.
- GROUNDING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, UTILITY COMPANY AND ALL AUTHORITIES HAVING JURISDICTION.
- PROVIDE GROUND FAULT INTERRUPTION (GFI) RECEPTACLES AS PER NEC.
- FURNISH ROUGH WIRING AND FINAL ACCEPTANCE CERTIFICATE FROM AUTHORITY PERFORMING INSPECTIONS.

**GENERAL REFLECTED CEILING NOTES**

- CONTRACTOR TO REMOVE AND DISPOSE OF ALL CEILING TILES AND TRACK.
- COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO INSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC. NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON THE CONTRACT DOCUMENTS.
- SUPPLY AND INSTALL ALL SUSPENDED TRACK AND MATERIAL REQUIRED TO COMPLETE THE WORK AS INDICATED ON THE DRAWINGS. PROVIDE ALL TIES FOR LIGHT FIXTURES, EXIT SIGNS AND OTHER CEILING/ SOFFIT ELEMENTS FOR SECURE ATTACHMENT OF GENERAL CONSTRUCTION.
- LIGHTING TO BE LOCATED AS BEST AS POSSIBLE WITH PROPOSED LAYOUT.
- CEILING TILES TO BE ARMSTRONG CIRRUS SECOND LOOK - II, 513.

**TELEPHONE & DATA WIRING NOTES**

- TELEPHONE AND DATA DUAL JACK LOCATION RUN (2) CAT 5E CABLES BACK TO TELEPHONE BASE BLOCK AND I.T. CENTRAL LOCATION

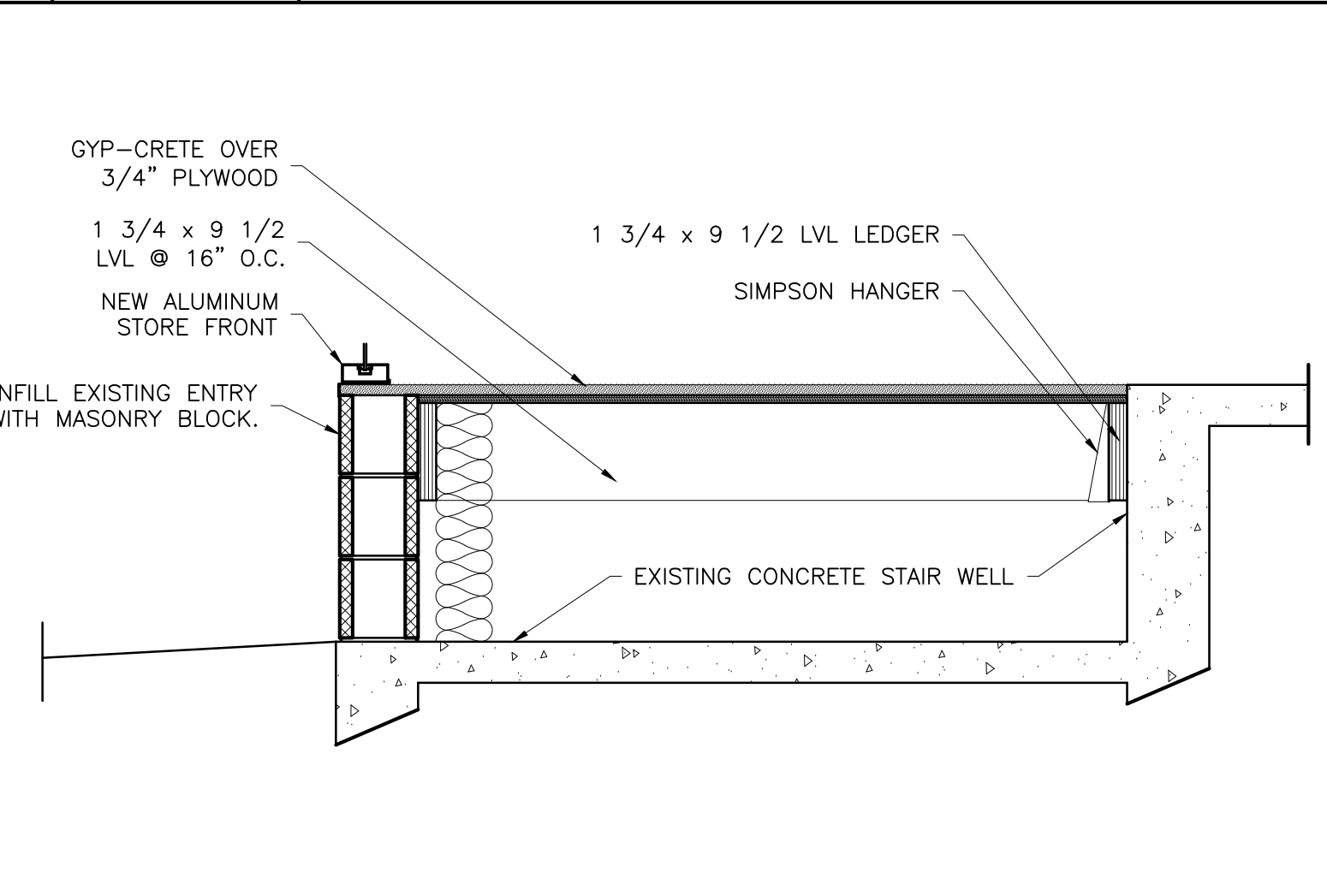
FINISH KEY					
CODE	MANUFACTURE	MATERIAL / STYLE	PATTERN	COLOR	REMARKS
<b>FLOORING</b>					
C-1	TO BE DETERMINED	CARPET TILE			
L-1	METRO FLOORING	LAMINATED FLOORING			
V-1	ARMSTRONG	VINYL COMPOSITE TILE			
M-1	MATS INC	SUPER NOP 52 TILE		STEEL BLUE	
<b>BASE</b>					
B-1	JOHNSONITE	4.25 MILLWORK CONTOURED WALL BASE - REVEAL MW-XX-F			
<b>WALLS</b>					
P-1	BENJAMIN MOORE	LATEX EGGSHELL			
P-2					
P-3					
<b>DOOR FRAMES</b>					
TR-1					
<b>MILLWORK</b>					
PL-1	WILSONART				
PL-2	WILSONART				
PL-3	WILSONART				
SS-1	WILSONART				
ML-1	WILSONART				
<b>CEILING</b>					
ACT-1	ARMSTRONG	CIRRUS SECOND LOOK - II	513 CIRRUS		

**GENERAL FINISH NOTES**

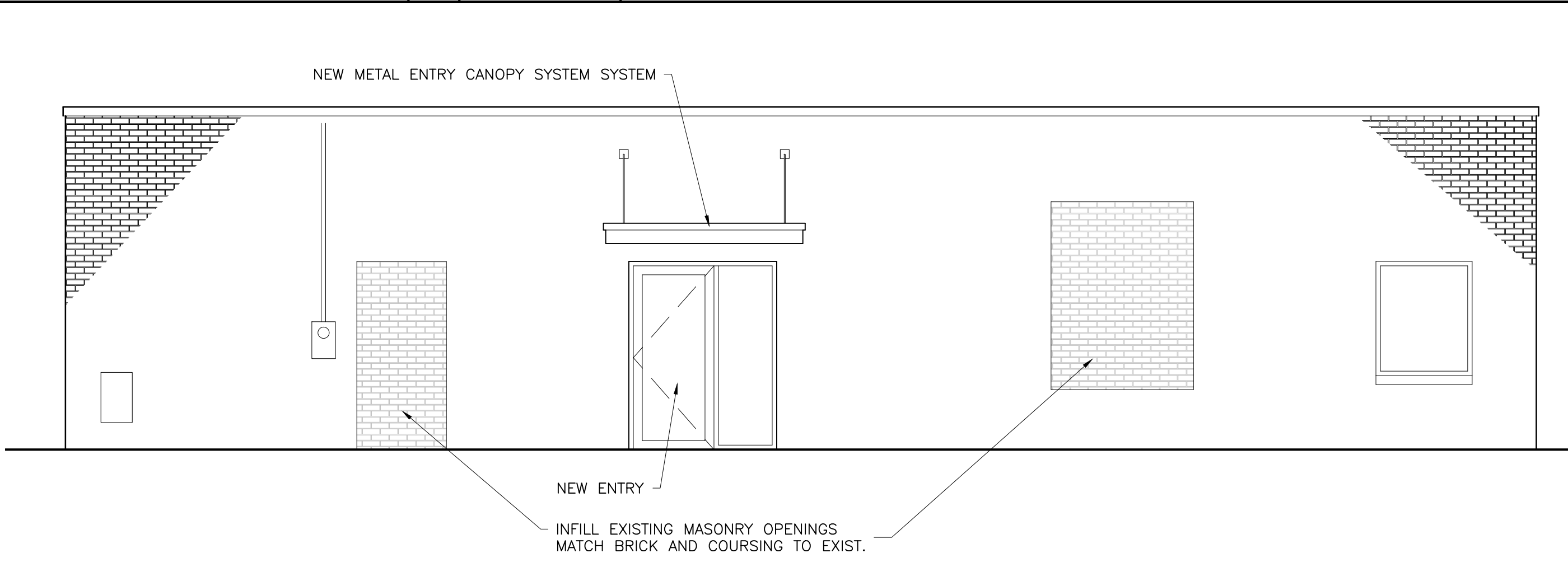
- CONTRACTOR TO SUBMIT ALL FINISHES FOR ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. INSTALLATION OF FINISHES TO COMPLY WITH MANUFACTURES SPECIFICATIONS AND REQUIREMENTS.
- CONTRACTOR IS REQUIRED TO FIELD INSPECT EXISTING FLOOR CONSTRUCTION AND SLABS CONDITIONS, PRIOR TO BID, AND DETERMINE THE AMOUNT OF FLOOR LEVELING REQUIRED. INFORM SOLIDUS OF REQUIRED LEVELING AND INCLUDE ALL COSTS WITH BID.
- ALL PAINT SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS FOR PARTICULAR SURFACES. PROVIDE A MINIMUM TWO(2) COATS OVER (1) PRIMER COAT AS REQUIRED. TOUCHUP WHERE REQUIRED BEFORE COMPLETION. AREAS WHERE EXISTING DARK COLOR MAY REQUIRE SEVERAL COATS.
- PROVIDE HARD RUBBER TRANSITION STRIP AT TRANSITION FROM RESILIENT FLOORING AND CARPET.
- FLOORING TRANSITION SHALL OCCUR AT CENTER LINE OF DOOR.
- REMOVE ALL ROUGH SPACKLE, ETC. FROM WALL TO PROVIDE A SMOOTH SURFACE WHERE BASE IS TO BE APPLIED.

ROOM FINISH SCHEDULE											
RM. No.	ROOM NAME	FLOOR	FLOOR FINISH	BASE	WALLS				CEILING		
					MAT.	FIN.	PRIMARY PAINT	ACCENT PAINT	MAT.	FIN.	HGT.
100	ENTRY VESTIBULE	M-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
101	WAITING	C-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
102	OFFICE MANAGER	C-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
103	BUSINESS OFFICE	C-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
104	IMAGING	L-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
105	JANITOR'S CLOSET	V-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
106	PRIVATE BATHROOM	V-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
107	BATHROOM	V-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
108	BATHROOM	V-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
109	PRIVATE OFFICE	L-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
110	CLOSET	L-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
111	I.T. CLOSET	V-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
112	CONFERENCE ROOM	C-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
113	CLOSET	V-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
114	LAUNDRY	V-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
115	KITCHEN	V-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
116	STAFF ENTRY	V-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
117	STAFF BATHROOM	V-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
118	MECHANICAL ROOM	EXIST. CONCRETE	PAINT	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
119	TREATMENT	L-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
120	TREATMENT	L-1	-	B1	EXIST.	PAINT	P-1	-	ACT	ACT 1	9'-0"
121	TREATMENT	L-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
122	TREATMENT	L-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
123	TREATMENT	L-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
124	TREATMENT	L-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
125	TREATMENT	L-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
126	TREATMENT	L-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
127	TREATMENT	L-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"
128	STERILIZATION	L-1	-	B1	GYP.	PAINT	P-1	-	ACT	ACT 1	9'-0"

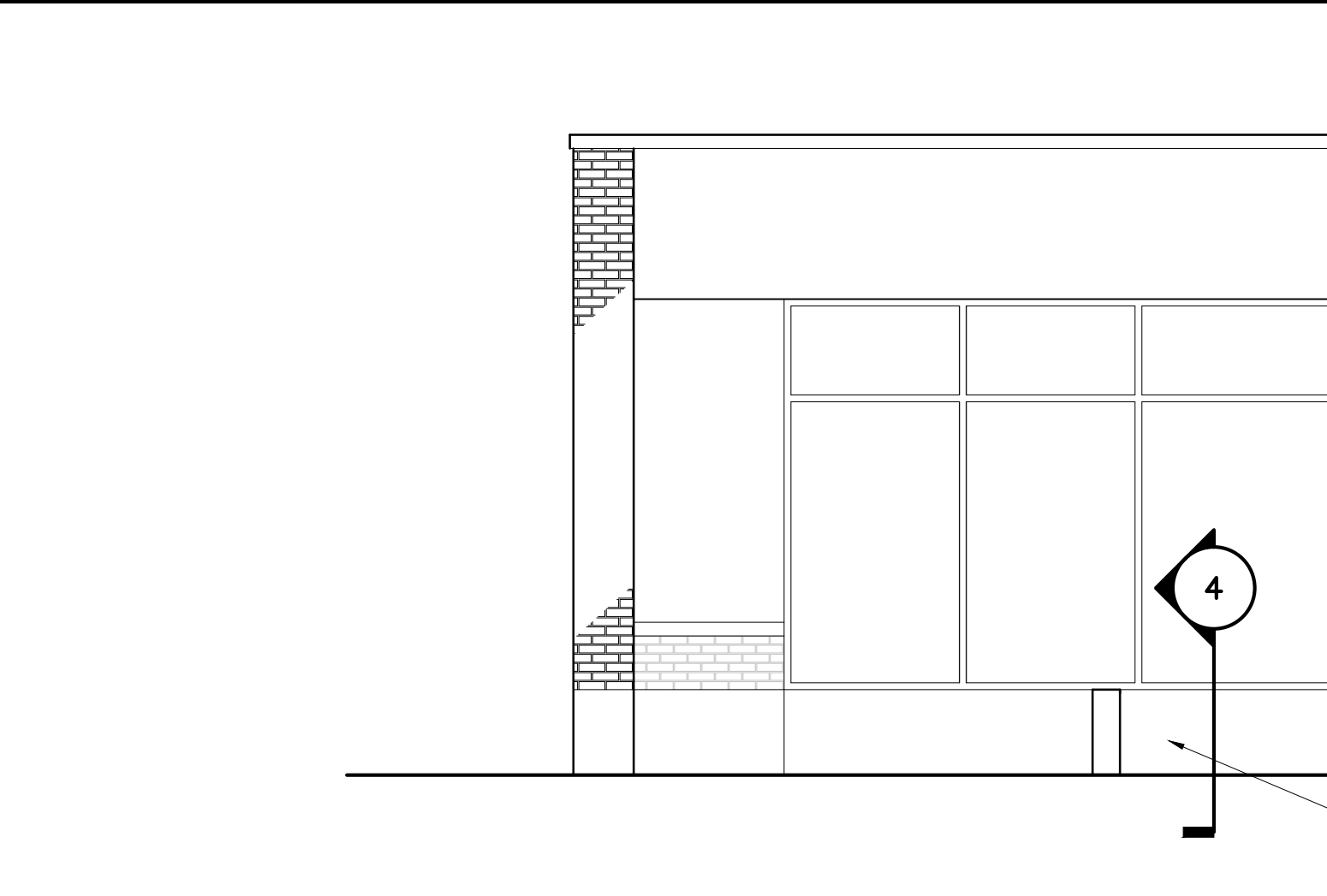
6	NTS	FINISH KEY
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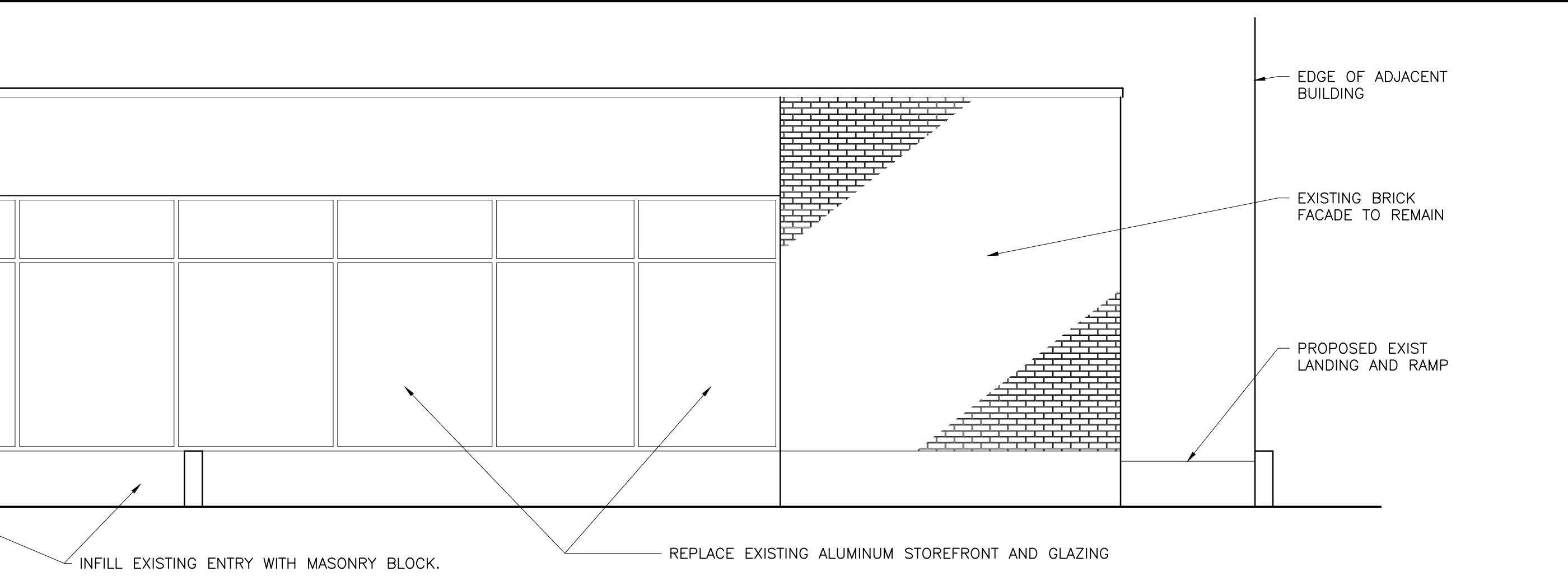
5	NTS	ROOF FINISH SCHEDULE
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4	3/4"=1'-0"	SECTION AT INFILL OF EXISTING ENTRY STAIRWELL
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3	1/4"=1'-0"	PROPOSED REAR ELEVATION
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1	1/4"=1'-0"	PROPOSED FRONT ELEVATION
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2	NTS	GENERAL NOTES
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DO NOT SCALE DRAWINGS

GENERAL CONTRACTOR

STRUCTURAL ENGINEER

MEP ENGINEER

CLIENT

Endodontic Associates, P.A.  
 276 Conoco Road  
 Portland, ME 04103

PROJECT

New Office Renovation

563 Forest Avenue  
 Portland, ME 04101



ISSUED FOR PERMIT

INFORMATION

Path: M:/boulos/endodontics

Issue Date: 12/31/13

Drawn By: djg

Checked By:

Revision:

1.

2.

3.

4.

TITLE

FINISH SCHEDULE AND GENERAL NOTES

SCALE

1/4"=1'-0"

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