



PORTLAND MAINE

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Jeff Levine, AICP, Director

Marge Schmuckal, Zoning Administrator

January 30, 2013

Mechanics Savings Bank
c/o Daniel A. D'Auteuil, Jr., Esq.
Isaacson & Raymond, P.A.
75 Park Street
P.O. Box 891
Lewiston, ME 04243-0891

RE: Property: 543 Forest Avenue – 126-C-2-3-13 (the "Property") – B-2b & R-3
Owner: 543 Forest Avenue, LLC
Purchaser: Rich R. LaChapelle & Monique S. LaChapelle

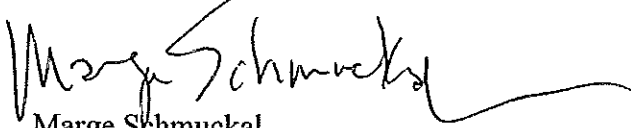
Ladies and Gentlemen:

I am in receipt of your request for a determination letter concerning the Property. I am the Zoning Administrator of the City of Portland and have the authority to issue this certification. Please be advised that our records show the following information for the Property described above:

1. The Property is currently located in two zones. The primary zone of the Property is B-2b. The current structure appears to be almost entirely within the B-2b zone. A portion rear of the Property is located in the R-3 residential zone. A GIS zoning map of the Property is enclosed.
2. The current use of the Property as a fraternal organization (Odd Fellows Hall) which is a listed permit use in the current B-2b zoning classification.
3. To the best of my knowledge without an on-site inspection, no current or uncured violations of the zoning, land use or building code requirements are reported or pending against the Property. Please note that there is a change of use permit application on file dated 2-1-1980. A copy of that approved building permit is enclosed. However, a research of our files did not reveal a copy of a certificate of occupancy.
4. When the original masonry building was constructed in 1959, a Miscellaneous Appeal was granted concerning the building's location on the Property. A copy of the approved appeal is enclosed. No applications for zoning or land use approval or variances from any current zone, land use or building codes for the Property are currently pending.
5. A copy of the Certificate of Occupancy for the Property is not within our records. However, the lack of the Certificate of Occupancy does not indicate a violation or an actionable legal response.

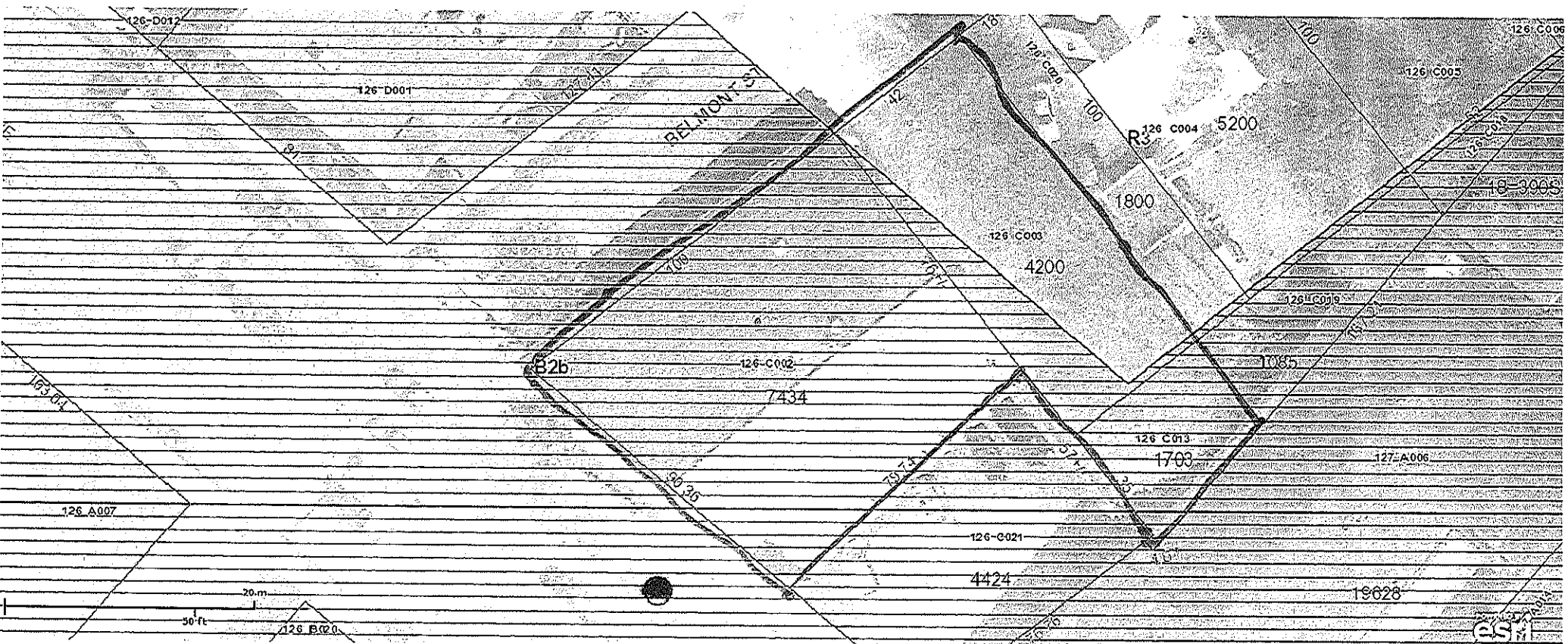
If you have any questions regarding this matter, please do not hesitate to contact me at
(207) 874-8695

Very truly yours,

A handwritten signature in black ink, appearing to read "Marge Schmuckal", with a long horizontal flourish extending to the right.

Marge Schmuckal
Zoning Administrator
City of Portland, Maine

enclosures



CITY OF PORTLAND, MAINE
BOARD OF APPEALS

May 1, 1959

MISCELLANEOUS APPEAL

Arthur C. Corey, owner of property at 541-545 Forest Ave. corner of Belmont Street, petitions the Board of Appeals to permit construction of a one story masonry building 51 feet by 101 1/2 feet on these premises. This permit is not issuable because the building is to be located practically on the line of Belmont Street instead of being kept not less than 10 feet from that street line as required by Section 9-C-b-2 of the Zoning Ordinance applying to the B-1 Business Zone in which the property is located.

ANALYSIS OF APPEAL:

Such permit may be granted only if the Board of Appeals find that enforcement of the terms of the Ordinance would result in undue hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance.

Arthur C. Corey

By: *Jacob M. Meyer*, Attorney

DECISION

At a public hearing held May 19, 1959, ~~XX~~, the Board of Appeals find that enforcement of the terms of the Ordinance would result in undue hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance.

It is therefore, determined such permit should be issued.

Franklin G. Knicker
Jacob M. Meyer
BOARD OF APPEALS

Granted 5/19/59

54/40

DATE: May 19, 1959

HEARING ON APPEAL UNDER THE ZONING ORDINANCE OF ARTHUR C. CORLY

AT 541-545 Forest Avenue, corner of Belmont Street

Public Hearing on the above appeal was held before the Board of Appeals.

BOARD OF APPEALS

VOTE

Franklin G. Hinckley
Joseph T. Gough
Halph L. Young

Yes
✓
✓
✓

No
()
()
()

Record of Hearing:

No opposition.

(COPY)

copy Col Metropolitan Life Insurance Co.
1 Madison Ave,
New York 10, N.Y.

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION 545 Forest Ave.

Date of Issue December 14, 1959

Issued to Arthur O & Rose M Corey
21 Hall Ave, Machus, N.H.

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 59/1015, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY
Office Building

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

12/14/59 *A. Allen Lull*
(Date) Inspector

Albert J. Sears
Inspector of Building

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



APPLICATION FOR PERMIT

PERMIT ISSUED

FEB 21 1980

CITY of PORTLAND

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 00. 032

ZONING LOCATION PORTLAND, MAINE, 2-1-80

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION ... 543 Forest Avenue Fire District #1 #2

1. Owner's name and address Independent Order of Odd Fellows - 04106 Telephone 772-9776
Hall Assoc., Inc. - 1787 Broadway, S.P.

2. Lessee's name and address Telephone

3. Contractor's name and address 2 Telephone

4. Architect Specifications Plans No. of sheets ... 2

Proposed use of building Old Fellows Lodges No. families

Last use ... Insurance Co. No. families

Material No. stories Vent Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ 2,000 Fee ... 14.50

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451 Change of Use from Insurance Co. to Old
Exl. 234 Fellows Lodge. Renovations, as per plans.

Dwelling
Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other /

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? ... **YES** Is any electrical work involved in this work? ... **YES**

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber - Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 3 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? ..

ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

Signature of Applicant *Raymond W. Lawrence* Phone # 772-9776

Permit # **940465** City of Portland **BUILDING PERMIT APPLICATION** Fee 10.00 Zone _____ Map # _____ Lot # _____
 Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Odd Fellows Hall Phone # 772-9776
 Address: 543 Forest Avenue
 LOCATION OF CONSTRUCTION 543 Forest Avenue
 Contractor: _____ Sub: _____
 Address: _____ Phone # _____
 Est. Construction Cost: _____ Proposed Use: Club
 Past Use: Club
 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories: _____ # Bedrooms _____ Lot Size: _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion Removal of Tank (5,000 gal)

For Official Use Only
 Date 5/18/94 Subdivision _____
 Inside Fire Lambda _____ New MAY 25 1994
 Bldg Code _____ Lot _____
 Time Limit _____ Ownership: _____ Public _____
 Estimated Cost _____

Zoning: Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other: WHA (Explain)

Foundations:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other: _____

Floors:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size _____ Spacing _____
 2. No. windows _____
 3. No. Doors _____
 4. Header Sizes _____
 5. Bracing: Yes _____ No _____ Span(s) _____
 6. Corner Posts Size _____
 7. Insulation Type _____ Size _____
 8. Sheathing Type _____ Size _____
 9. Siding Type _____
 10. Masonry Materials _____ Weather Exposure _____
 11. Metal Materials _____

Interior Walls:
 1. Studding Size _____ Spacing _____
 2. Header Sizes _____ Span(s) _____
 3. Wall Covering Type _____
 4. Fire Wall if required _____
 5. Other Material: _____

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size _____ Spacing _____
 3. Type Ceilings: _____
 4. Insulation Type: _____ Size _____
 5. Coils: Height: _____

Roof:
 1. Truss or Rafter Size _____ Action: _____
 2. Sheathing Type: _____ Span _____
 3. Roof Covering Type _____ Size _____
 Date: _____

Chimneys: Type: _____ Number of Fire Places _____
 Signature: _____

Heating: Type of Heat: _____

Electrical: Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers _____
 3. No. of Flushes _____
 4. No. of Lavatories _____
 5. No. of Other Fixtures _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ x _____ Square Footage _____
 3. Must conform to National Electrical Code and State Law.

Permit Received By D. May
 Signature of Applicant Donald May Date 5/18/94
PERMIT ISSUED WITH REQUIREMENTS
PERMIT ISSUED WITH REQUIREMENTS
 CONTINUED TO REVERSE SIDE

White - Tax Assessor

Ivory Tag - CEO

ISAACSON & RAYMOND
ATTORNEYS AND COUNSELORS AT LAW

January 23, 2013

RECEIVED
JAN 25 2013
Dept. of Building Inspections
City of Portland Maine

City of Portland
389 Congress Street, Rm 315
Portland, ME 04101

Attn: Marge

Re: 543 Forest Avenue, Portland

126-C-2-3-13
B-2b & R-3

Dear Marge:

Enclosed please find a form Land Use Certificate which we would like completed with regard to the property located at 543 Forest Avenue in Portland. Also enclosed is our firm check in the amount of \$150.00 for the fee for said certification.

We have a closing scheduled for January 31, 2013 and would greatly appreciate it if you could provide this certification prior to the closing date.

Please do not hesitate to contact our office should you have any questions or require any further information.

Sincerely,



Daniel A. D'Auteuil, Jr.
ISAACSON & RAYMOND, P.A.

DAD/drc
enclosures

drc F:\DAD\clients\mechanics savings bank -commercial\lachapelle\543 Forest Ave Portland\tr to Portland 01-23-13.docx

DANIEL A. D'AUTEUIL, JR.

January , 2013

Mechanics Savings Bank
c/o Daniel A. D'Auteuil, Jr., Esq.
Isaacson & Raymond, P.A.
75 Park Street, P. O. Box 891
Lewiston, Maine 04243-0891

RE: Property: 543 Forest Avenue, Portland, Maine,
Tax Map 126, Block C, Lot 2-3-13
Owner: 543 Forest Avenue, LLC
Purchaser: Rick R. LaChapelle & Monique S. LaChapelle

Ladies and Gentlemen:

I am the Code Enforcement of the City of Portland and have the authority to issue this certification. Please be advised that our records show the following information for the Property described above:

1. The Property is currently zoned _____.
2. The current use of the Property as an _____ is a permitted use within the current zoning classification.
3. No current or uncured violations of zoning, land use, building code or certificate of occupancy requirements are reported or pending against the Property.
4. No applications for zoning or land use approval or variances from any zoning, land use or building codes for the Property are currently pending.
5. [PLEASE SELECT ONE OF THE FOLLOWING]:
 - A copy of the Certificate of Occupancy for the Property is attached.
 - A copy of the Certificate of Occupancy for the Property is unavailable due to municipal record keeping, but our records indicate that the required Certificate of Occupancy was issued for the Property.

No Certificate of Occupancy is required for the Property.

Very truly yours,

Code Enforcement Officer

dir F:\DAD\Clients\mechanics savings bank -commercial\lachapelle\543 Forest Ave Portland\Land Use Certificate.doc

Minimum width of lot

602.7A B. 10.

Minimum lot frontage on street

602.7A B. 11.

Landscaping

602.7A B. 12.

Lighting

602.7A B. 13.

Storage

602.7A B. 14.

Curbs and Sidewalks

602.7A B. 15.

Off-street parking

602.7A B. 16.

10. 60 feet, except as provided in Paragraph B-2 above.

11. 50 feet

12. A minimum of 10% of the lot area shall be landscaped with lawn, trees, shrubs or other plant material and shall be permanently maintained in a neat and orderly manner. 3% of the parking area must be landscaped and such landscaping shall be considered as part of the required 10%.

13. Lighting shall be accomplished in such a manner that there shall be no illumination or glare onto adjacent properties or streets which may be considered either objectionable by adjacent residents or hazardous to motorists. Alternating lights are strictly prohibited.

14. Open storage of Non-Residential materials and equipment shall be prohibited within this zone.

15. Commercial development requires installation of curbs and sidewalks as per Chapter 705 in Portland's Municipal Code, on all abutting rights of way and in accordance with specifications prescribed by the Department of Public Works.

16. Parking areas are prohibited in the front yard setback within 10 feet of the public right-of-way. Off-street parking shall be provided as required under Section 602.14 of this Ordinance.

"17. No building or structure shall be erected, a rebuilt, or used, and no premises shall be used within the land a between the shoreland zone line and the normal high water mark o the Stroudwater River, Presumpscot River, Fore River, Portland H and the bays, coves, sounds, inlets, and open waters of Casco Ba the City of Portland Zoning Map and on all land areas of all isl a shoreland zone line on the City of Portland Zoning Map, which with the requirements of Section 602.19A of this Ordinance."

Section 602.8

B-1 BUSINESS ZONE

Use

602.8 A.

See B-2 allowing B-1 uses

A. No building shall be erected, altered, enlarged, or used, and no premises shall be used, except for the following uses:

1. Any use permitted in the R-6 Residence Zone
2. Tourist Home
3. Business, professional, or governmental office
4. Non-profit private club
5. Lodge or fraternal organization
6. Nursery, day care center
7. Clinic, hospital
8. Any retail business or service establishment, excluding those listed below

1980

-2 BUSINESS ZONE

Use
602.9 A.

A. No building shall be erected, altered, enlarged, rebuilt, or used, and no premises shall be used, except for the following uses:

- 1. Any use permitted in the B-1 Business Zone.
- 2. Hotel or Motel.
- 3. Any retail business or service establishment, excluding those listed below, provided that there is no manufacturing on the premises, except such as is clearly incidental to such business or service, and that the major portion of the product so manufactured shall be sold at retail on the premises:

- Automobile painting.
- Automobile service stations.
- Automobile washing as a principal use unless all machinery is located completely within a building.
- Billiard and pool hall.
- Bowling alley.
- Dance hall and studio.
- Dancing school.
- Drive-in Theatre.
- Gymnasium or physical culture establishment.
- Music conservatory.
- Penny arcade and shooting gallery.
- Roller rink, skating rink.
- Signpainting unless located completely within a building.
- Tire recapping.

- 4. Billboards as specified in Section 602.16
- 5. Signs as specified in Section 602.16
- 6. Off-street parking as specified in Section 602.14
- 7. Accessory buildings and uses customarily subordinate or incidental to a conforming principal building or use.
- 8. The following conditional uses if and as authorized by the Board of Appeals:
 - a. Water pumping station, reservoir and standpipe, electrical power substation, transformer station, and electrical switching yard, and telephone exchange building.
 - b. Wholesale business.
 - c. Automobile service stations, but not including auto body repairs, frame straightening, painting, tire recapping or truck and trailer rental, subject to the same standards mentioned for conditional uses in B-1 Zones.

Effective
4/5/72

External effects
602.9 B.

B. Every use, unless expressly exempted, shall be subject to the following limitations:

- 1. The use shall be operated within a completely enclosed structure, except for those customarily operated in open air.

CITY OF PORTLAND
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
 389 Congress Street
 Portland, Maine 04101

RECEIPT OF FEES

Application No: 0000-1622	Applicant: 543 FOREST AVENUE LLC
Project Name: 543 FOREST AVE	Location: 543 FOREST AVE
CBL: 126 C002001	Application Type: Determination Letter
Invoice Date: 01/25/2013	

Previous Balance	-	Payment Received	+	Current Fees	-	Current Payment	=	Total Due	Payment Due Date
\$0.00		\$0.00		\$150.00		\$150.00		\$0.00	On Receipt

Previous Balance **\$0.00**

Fee Description	Qty	Fee/Deposit Charge
Zoning Determinations	1	\$150.00
		\$150.00
Total Current Fees:	+	\$150.00
Total Current Payments:	-	\$150.00
Amount Due Now:		\$0.00

Bill to: 543 FOREST AVENUE LLC
 256 READ ST
 PORTLAND, ME 04103

CBL 126 C002001
Application No: 0000-1622
Invoice Date: 01/25/2013
Invoice No: 39863
Total Amt Due: \$0.00
Payment Amount: \$150.00

Make checks payable to the *City of Portland*, ATTN: Inspections, 3rd Floor, 389 Congress Street, Portland, ME 04101.

Assessor's Office | 359 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services	CBL	126 C002001
	Land Use Type	MULTI-USE COMMERCIAL
	Property Location	543 FOREST AVE
Applications	Owner Information	543 FOREST AVENUE LLC
		256 READ ST
Doing Business	Book and Page	29180/084
	Legal Description	126-C-2-3-13
Maps		FOREST AVE 543
		BELMONT ST 58-68
Tax Relief		13337 SF
	Acres	0.3062

Nothing in "G" Drive

Current Assessed Valuation:

	TAX ACCT NO.	18152	OWNER OF RECORD AS OF APRIL 2012
			543 FOREST AVENUE LLC
browse city services a-z	LAND VALUE	\$189,600.00	256 READ ST
	BUILDING VALUE	\$326,100.00	PORTLAND ME 04103
	NET TAXABLE - REAL ESTATE	\$515,700.00	
browse facts and links a-z	TAX AMOUNT	\$9,705.48	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).



Best viewed at 800x600, with Internet Explorer

Building Information:

	Building 1
Year Built	1960
Style/Structure Type	SOCIAL/FRATERNAL HALL
# Units	1
Building Num/Name	1 - ODD FELLOWS HALL
Square Feet	4962

[View Sketch](#) [View Map](#) [View Picture](#)



Exterior/Interior Information:

	Building 1
Levels	01/01
Size	4962
Use	MULTI-USE OFFICE
Height	15
Walls	BRICK/STONE
Heating	HW/STEAM
A/C	NONE

Outbuildings/Yard Improvements:

	Building 1
Year Built	1900
Structure	FENCE CHAIN
Size	1X520
Units	1
Grade	C
Condition	3

	Building 1
Year Built	1900
Structure	ASPHALT PARKING
Size	1X5000
Units	1
Grade	C
Condition	3

Sales Information:

Sale Date	Type	Price	Book/Page
12/6/2011	LAND + BUILDING	\$555,556.00	29180/084