

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING INSPECTION
PERMIT

Permit Number: 080864

PERMIT ISSUED

JUL 17 2008

This is to certify that KOLPACK ANDREA B

has permission to Addition of 10'x12' Deck, Replace existing window with 6'x8' French Doors.

AT 90 WOODFORD ST

125 N025001

provided that the person or persons who perform or supervise the construction of this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or services are provided. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas W. Morley 7/16/08
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

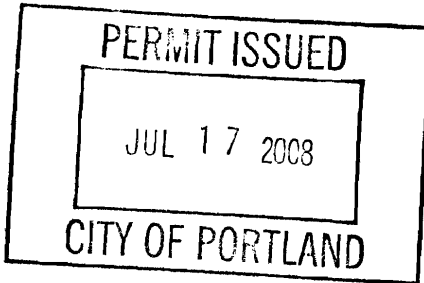
Permit No: 08-0864	Issue Date:	CBL: 125 N025001
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Location of Construction: 90 WOODFORD ST	Owner Name: KOLPACK ANDREA B	Owner Address: 90 WOODFORD ST	Phone: 207-272-7447
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R3

Past Use: Single Family Home	Proposed Use: Single Family Home - Addition of 10'x12' Deck, Replace existing windows with 6'x8' French Doors.	Permit Fee: \$80.00	Cost of Work: \$6,000.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	

Proposed Project Description: Addition of 10'x12' Deck, Replace existing windows with 6'x8' French Doors.	Signature:	Signature: <i>Jm 7/16/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: lmd	Date Applied For: 07/16/2008	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>Jm 7/16/08</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>Jm 7/16/08</i>
		OK	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Final inspection required at completion of work.

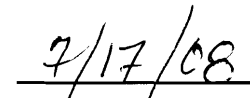
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

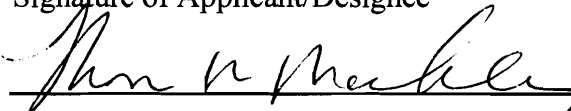
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



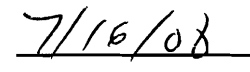
Signature of Applicant/Designee



Date



Signature of Inspections Official



Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0864	Date Applied For: 07/16/2008	CBL: 125 N025001
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Location of Construction: 90 WOODFORD ST	Owner Name: KOLPACK ANDREA B	Owner Address: 90 WOODFORD ST	Phone: 207-272-7447
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Addition of 10'x12' Deck, Replace existing windows with 6'x8' French Doors.	Proposed Project Description: Addition of 10'x12' Deck, Replace existing windows with 6'x8' French Doors.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 07/16/2008
Note: **Ok to Issue:**
1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 07/16/2008
Note: **Ok to Issue:**
1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:
7/16/2008-lmd: Permit by appt with Tom Markley. No zoning.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>90 WOODFORD STREET, PORTLAND ME 04103</u>		
Total Square Footage of Proposed Structure/Area <u>170</u>		Square Footage of Lot <u>4000</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>125-N-25</u>	Applicant * must be owner, Lessee or Buyer* Name <u>ANDREA B. KOLPACK</u> Address <u>90 WOODFORD ST.</u> City, State & Zip <u>PORTLAND ME 04103</u>	Telephone: <u>207.272.7447</u>
Lessee/DBA (If Applicable) <u>N/A.</u>	Owner (if different from Applicant) Name Address City, State & Zip <u>N/A</u>	Cost Of Work: \$ <u>6000.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? <u>N/A.</u> Proposed Specific use: <u>SINGLE FAMILY</u> <u>JUL 16 2008</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>NEW DECK, REPLACE EXISTING WINDOWS WITH FRENCH DOORS</u>		
Contractor's name: <u>OWNER</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>OWNER</u> Telephone: <u>207.272.7447</u> Mailing address: <u>SEE ABOVE.</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Andrea B. Kolpack

Date: July 14, 2008

This is not a permit, you may not commence ANY work until the permit is issued

207.272-7447
or 207.552.2087

1307



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEBC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are required if originals are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

**Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost
This is not a Permit; you may not commence any work until the Permit is issued.**



Permitting By Appointment

As part of Portland's city-wide effort to improve customer service and help streamline doing business within the City, the Inspections Division has developed a new permitting system for qualified properties and for specific construction projects. Under this new program, you may be eligible to receive a building permit on the day you have a scheduled appointment with Inspection staff.

This permitting program applies only to existing one and two family homes not located within a historic district or shore land zone.

Eligible Projects

Please submit a complete application with the required plans

- Interior renovations, gut rehabs including structural changes
- Attached and detached garages
- Additions, decks, sheds, pools, dormers
- Rebuild of any exterior structure listed above

Inspections are still required per City Code of Ordinance.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that this project meets the above criteria and that the work performed will not go beyond these parameters.

Signature of applicant:

Date:

This is not a permit; you may not commence ANY work until the permit is issued.



Same-Day Permitting

As part of Portland's city-wide effort to improve customer service and help streamline doing business within the City, the Inspections Division has developed a new permitting system for qualified properties and for specific construction projects.

This permitting program applies only to existing single family homes not located within a historic district or shoreland zone.

Eligible Projects

Please submit a complete application with the required plans

- Interior non structural projects (i.e. Adding closets, bathrooms, changing floor plans, kitchen remodels)
- Repairs to existing decks, porches and stairs that meet current zoning setbacks
- Adding or replacing windows and doors (not to include bay windows)
- Sheds less than 100 sq. ft.
- One story open entry/porch, 50 sq. ft. or less with maximum 6 ft. projection from the principal structure
- Chimney installation (NFPA 211 disclosure statement required)
- Propane tanks
- Heating Appliances (i.e. HVAC systems, gas inserts/monitors, wood/pellet stoves)
- Bulkheads 50 sq. ft. or less with maximum of 2 ft. in height (low profile)

Inspections are still required per City Code of Ordinance.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that this project meets the above criteria and that the work performed will not go beyond these parameters.

Signature of applicant:	Date:
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This is not a permit; you may not commence ANY work until the permit is issued.

207. 272 7AA7
OR 207 557 2087 WR.

Andrea Kolpack
90 Woodford St
Portland, ME 04103

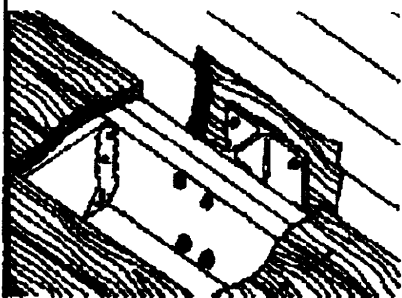
New Deck and French Door installation

Deck to be located on southwest corner of house parallel to driveway as per accompanying drawing.

- Deck to measure 10'-0" x 12'-0". Existing 5'-0" wide stairs located on corner as indicated to remain
- Deck framing to be constructed of 2 x 10 pt lumber
- Ledger-2- 2 x 10, connected to house sill using Maine Deck Bracket™ AL bracket bolted to sill as per manufacturers specifications and through bolted to ledger as per manufacturers specifications
- Beam to be 2- 2 x 10's on pt posts. Post to rim joist/ beam connection to be Simpson Strong Tie BCSZ post cap or similar installed as per manufacturers specifications
- Posts- 4 x 4 posts on concrete piers to depth of 48" on undisturbed soil
- Joists- all joists to be 2 x 10 pt lumber fastened using Simpson Strong Tie joist hangers LUSZ or similar installed as per manufacturers instructions
- All joist hanger and bracket connections to be isolated using WR Grace Vycor deck protector per manufacturers specifications
- All fasteners shall meet or exceed manufacturers specifications and the applicable IRC code for the application indicated
- Decking – Decking (to be determined) to be wood, non-wood or wood composite such as Azek™, Correct Deck™, or Treks™ or similar installed as per manufacturers specifications. Fasteners shall be installed as per manufacturers specifications
- Deck guard posts to be 4 x 4 through bolted to rim joist/ beam w/ Simpson Strong Tie or similar, hold-down anchors as required w/ a min. of 2 through bolted per manufacturers specifications 1/2" x LTBD" carriage bolts, posts are to be a maximum of 6'- 0" on center per IRC
- Handrail shall be a 5/4" thick min. and balusters shall be 2 x 2 to be installed as per IRC. Balusters shall installed with less than a 4" opening installed as per IRC and
- The bottom guard rail shall be installed less than 4" from the finished decking as per IRC
- Steps- the existing pressure treated steps to remain as indicated except that the landing platform shall be resurfaced with the same material as the finished deck to match

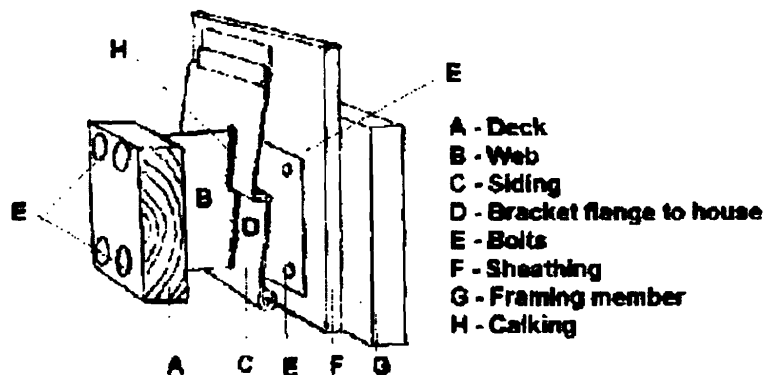
New French Doors

- New exterior French doors (Pella or similar) to measure 6'-0" x 8'-0" to be located on the southwest exterior kitchen wall approximately on center between the existing kitchen door (to remain) and the termination of the kitchen wall
- Wall to be reframed to accept door with spf 2 x framing lumber as required, new header to be 2- 2 x 10
- Insulation to be installed as per manufacturers specifications
- House wrap to be installed over exposed existing sheathing as required per manufacturers specifications
- Make necessary repairs to interior kitchen wall as required and finish as required (paint by others)
- Install WR Grace Vycor flashing around new opening per manufacturers specifications
- Install new door as per manufacturers instructions
- Install interior and exterior trim (to be determined), primed all sides, metal drip cap over door
- Install new clapboards, primed all sides, with stainless siding nails, set nails, exposure to match (finish paint by others)



MAINE DECK BRACKET

*Designed to attach decks, steps,
signs, or any item to buildings.
Protects against rotting and
insect damage to sills and siding.*



- A - Deck
- B - Web
- C - Siding
- D - Bracket flange to house
- E - Bolts
- F - Sheathing
- G - Framing member
- H - Caulking

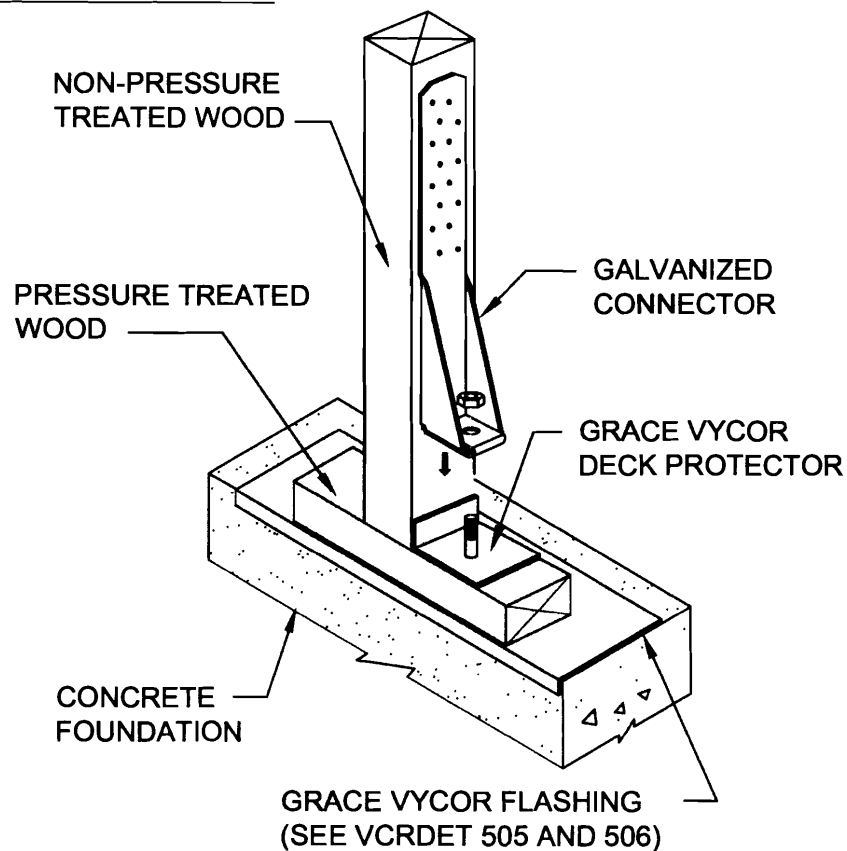
Instructions: Bolt bracket directly to framing member of building, using 1/2 inch bolts. Sheathing is cut to fit around the bracket flange (D), the siding (C) is then fit around the web of the bracket (B), covering the flange and mounting bolts. Caulk bracket web (H) to create a water tight seal between the bracket and house. On an existing house, the siding has to be removed and the sheathing cut out for the flange to bolt directly to the framing member. The siding is reinstalled over the flange and bolts, then caulked for a water tight seal. The brackets should be spaced at a maximum of 8 feet. Maximum load capacity is 1000 lbs. per bracket.

CAUTION: Brackets should always be mounted to a solid framing member, not to just sheathing or rotted framing. Failure of the mount could result. Deck and building construction should be in compliance with building codes.

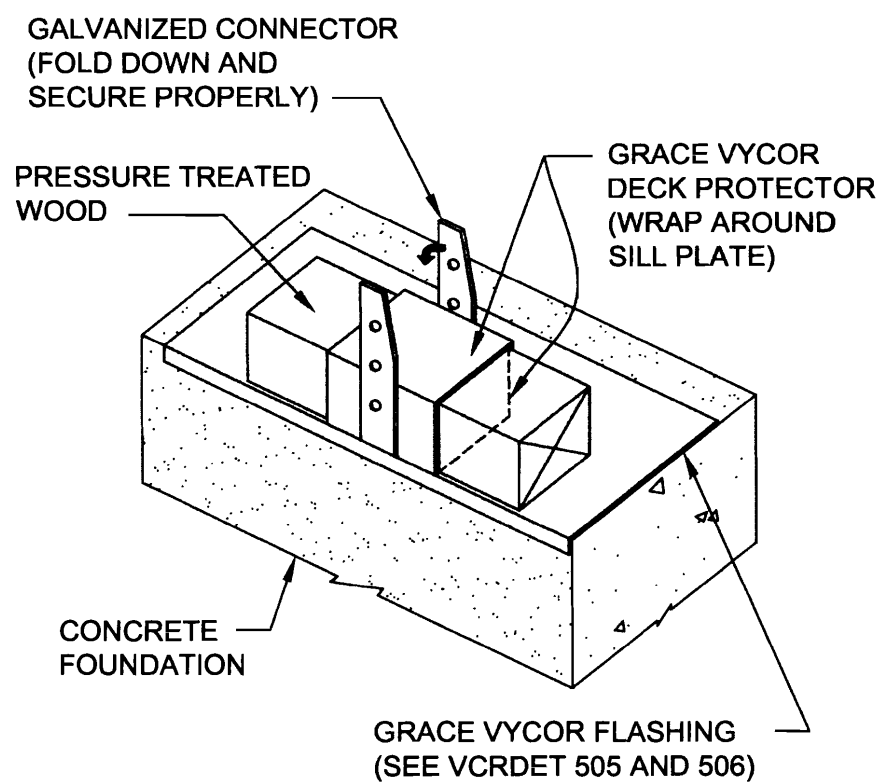
U.S. PATENT #4,811,542 and 4,953,339

Maine Deck Bracket Co., 176 Grange Ave., Minot, ME 04258

TENSION TIE-DOWNS



SILL PLATE CONNECTORS



NOTES:

- A. VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT LITERATURE
- B. APPLY VYCOR DECK PROTECTOR ONTO PRESSURE TREATED WOOD WHEREVER GALVANIZED CONNECTORS WOULD COME INTO CONTACT WITH PRESSURE TREATED WOOD
- C. FASTEN GALVANIZED CONNECTOR PER MANUFACTURER GUIDELINES AND USE APPROPRIATE HOT-DIPPED GALVANIZED FASTENERS PER ASTM A153
- D. IF VYCOR IS TO BE EXPOSED TO UV, VYCOR SHOULD BE TRIMMED FLUSH TO GALVANIZED CONNECTOR TO PREVENT UV EXPOSURE

GRACE
Construction Products
www.graceconstruction.com
toll free 866-333-3726

CORROSION RESISTANCE FOR GALVANIZED CONNECTORS

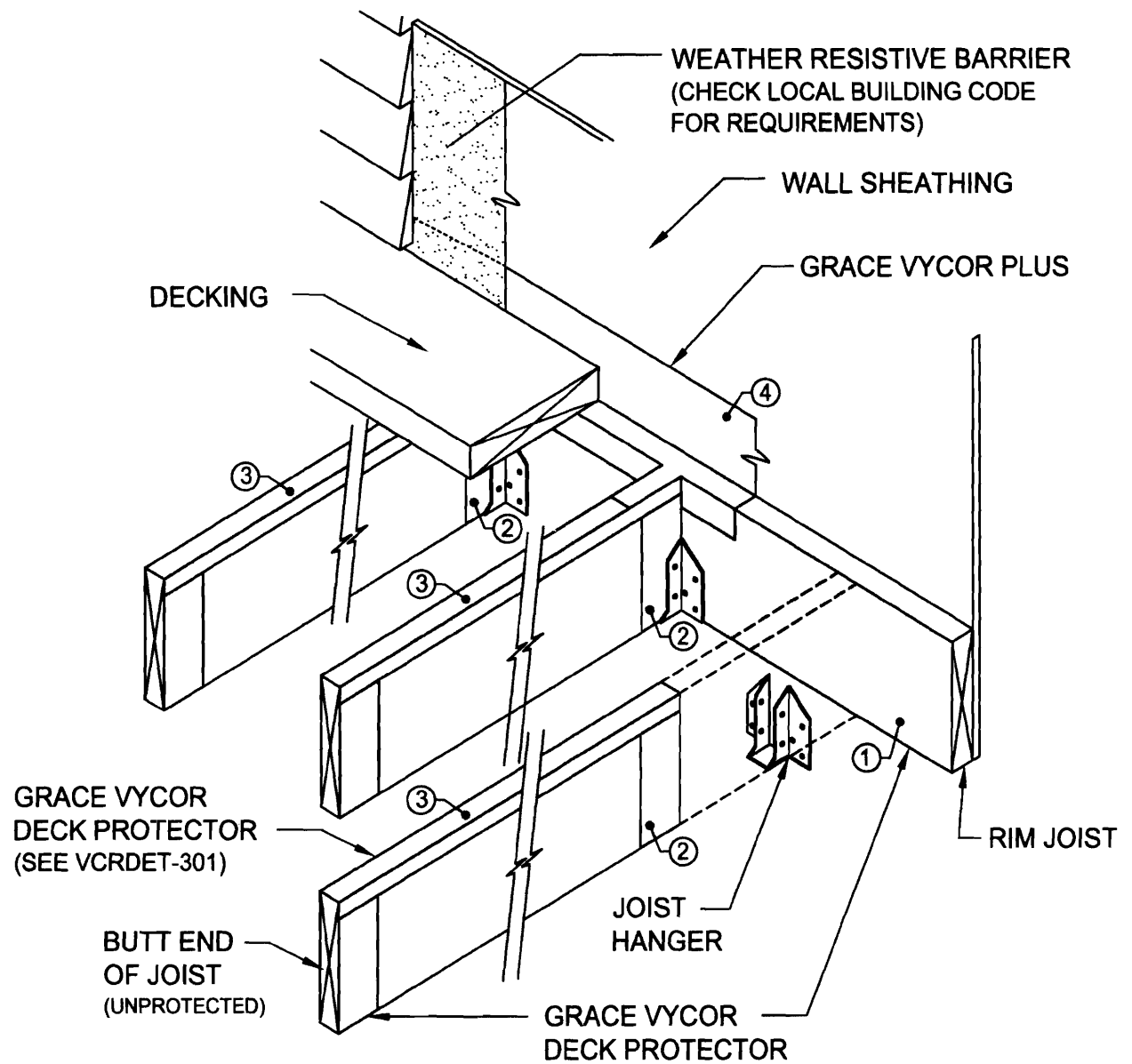
GRACE VYCOR® DECK PROTECTOR® SELF-ADHERED FLASHING

Drawing: VCRDET-303

Scale: Not to scale

Effective Date: 01/31/07

Supersedes: 09/01/05



NOTES:

- A. VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT INFORMATION DATA SHEETS
- B. RIPCORDER® CAN BE REMOVED FROM GRACE VYCOR FLASHINGS FOR EASE OF INSTALLATION
- C. INSTALL GRACE VYCOR PLUS AND WEATHER RESISTIVE BARRIER TO FORM WATER-SHEDDING LAPS
- D. ENSURE THAT THE VYCOR FLASHINGS ARE NOT PERMANENTLY EXPOSED TO UV
- E. DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND BUTYL

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toll free 866-333-3726

**CORROSION RESISTANCE FOR
GALVANIZED JOIST HANGER
GRACE VYCOR® DECK PROTECTOR®
SELF-ADHERED FLASHING**

Drawing: VCRDET-300

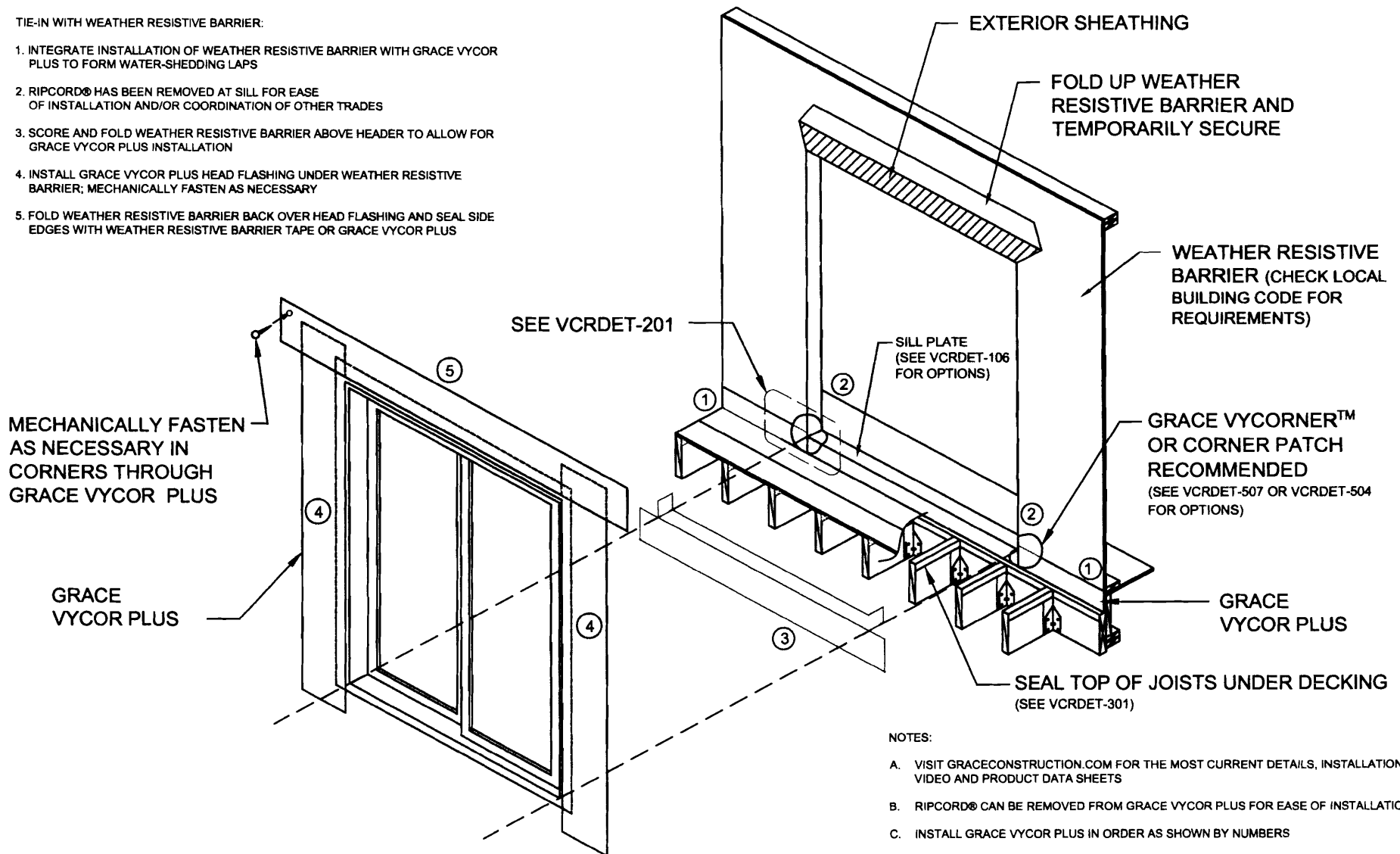
Scale: Not to scale

Effective Date: 01/31/07

Supersedes: 09/01/05

TIE-IN WITH WEATHER RESISTIVE BARRIER:

1. INTEGRATE INSTALLATION OF WEATHER RESISTIVE BARRIER WITH GRACE VYCOR PLUS TO FORM WATER-SHEDDING LAPS
2. RIPCORD® HAS BEEN REMOVED AT SILL FOR EASE OF INSTALLATION AND/OR COORDINATION OF OTHER TRADES
3. SCORE AND FOLD WEATHER RESISTIVE BARRIER ABOVE HEADER TO ALLOW FOR GRACE VYCOR PLUS INSTALLATION
4. INSTALL GRACE VYCOR PLUS HEAD FLASHING UNDER WEATHER RESISTIVE BARRIER; MECHANICALLY FASTEN AS NECESSARY
5. FOLD WEATHER RESISTIVE BARRIER BACK OVER HEAD FLASHING AND SEAL SIDE EDGES WITH WEATHER RESISTIVE BARRIER TAPE OR GRACE VYCOR PLUS



NOTES:

- A. VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT DATA SHEETS
- B. RIPCORD® CAN BE REMOVED FROM GRACE VYCOR PLUS FOR EASE OF INSTALLATION
- C. INSTALL GRACE VYCOR PLUS IN ORDER AS SHOWN BY NUMBERS
- D. MECHANICALLY FASTEN AS NECESSARY
- E. DETAIL ALSO RELEVANT FOR GRACE VYCOR V40 AND VYCOR BUTYL

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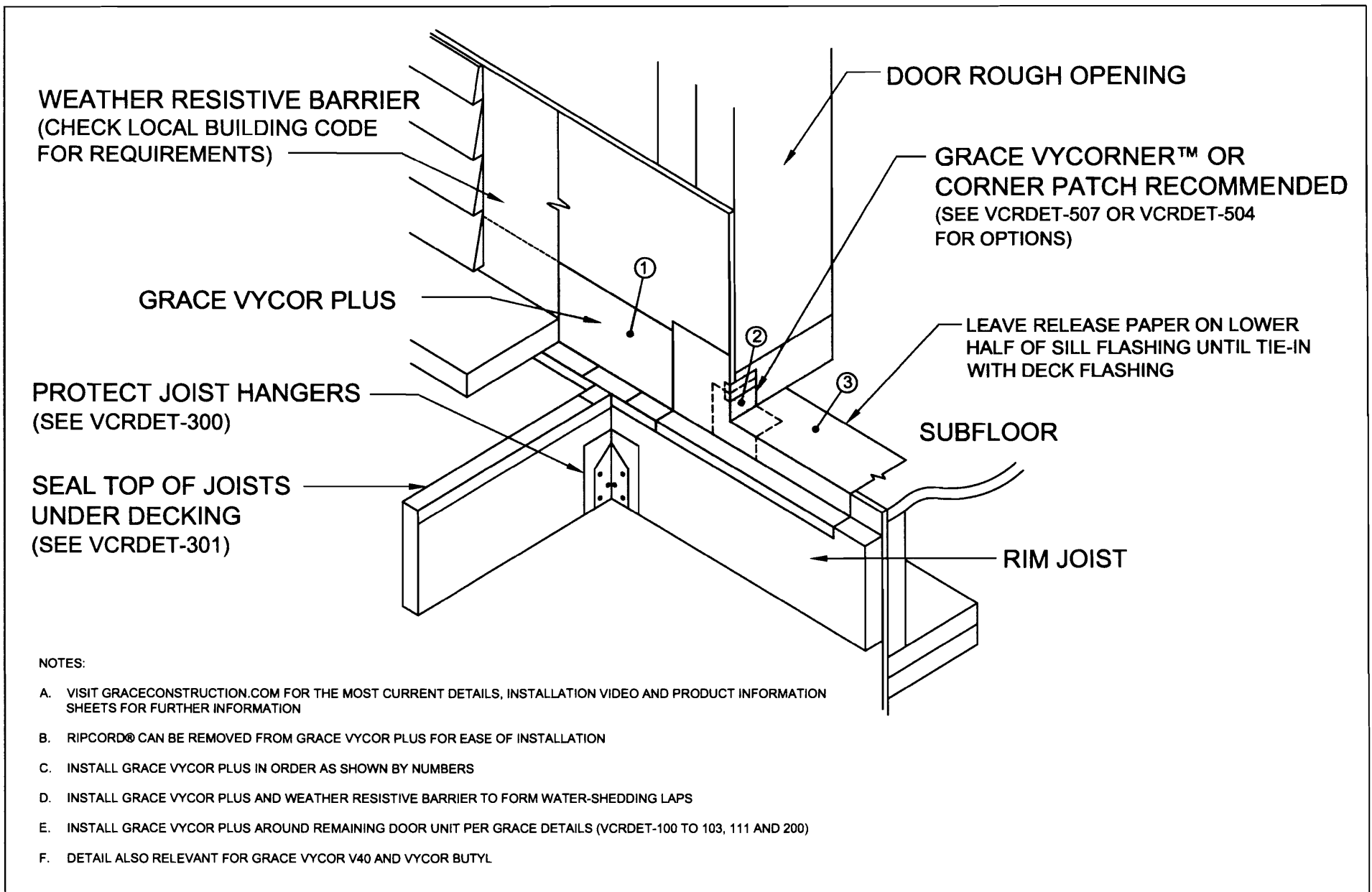
**EXTERIOR SLIDING DOOR WITH DECK
FLASHING INSTALLATION AFTER WEATHER RESISTIVE BARRIER
GRACE VYCOR® PLUS SELF-ADHERED FLASHING**

Drawing: VCRDET-200

Scale: Not to scale

Effective Date: 01/31/07

Supersedes: 09/01/07



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EXTERIOR DOOR SILL CORNER

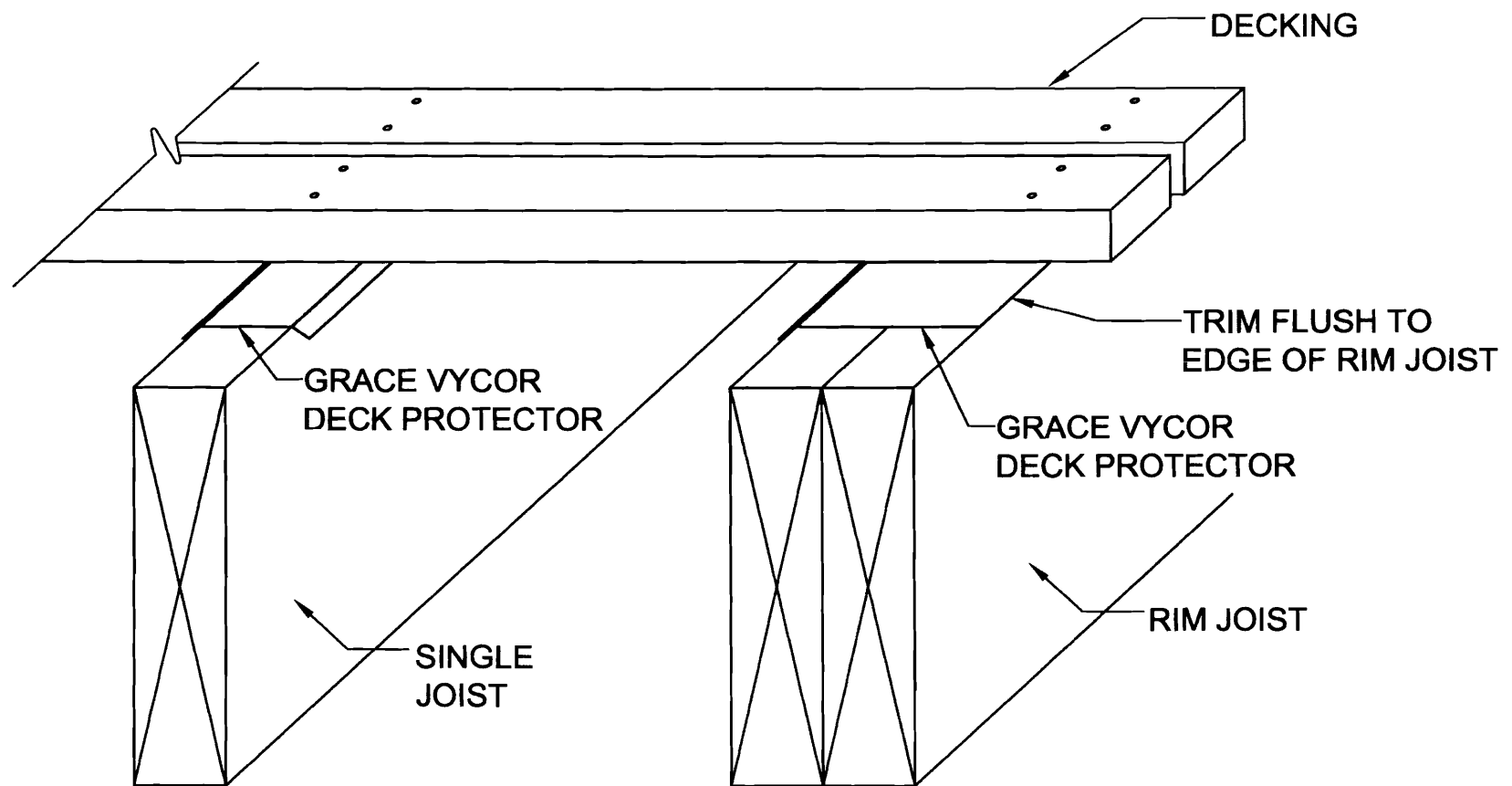
GRACE VYCOR® PLUS SELF-ADHERED FLASHING

Drawing: VCRDET-201

Scale: Not to scale

Effective Date: 01/31/07

Supersedes: 09/01/05



NOTES:

- A. VISIT GRACECONSTRUCTION.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEO AND PRODUCT INFORMATION SHEETS
- B. ALL EXPOSED (UNCOVERED) VYCOR ALONG MOST OUTER EDGE SHOULD BE TRIMMED FLUSH WITH JOIST TO PREVENT DAMAGE FROM UV
- C. VYCOR DOES NOT NEED TO BE TRIMMED IF COVERED WITH DECORATIVE TRIM, FASCIA OR OTHER APPROPRIATE MATERIAL

GRACE
Construction Products
www.graceconstruction.com
toll free 866-333-3726

TOP OF DECK JOIST
GRACE VYCOR® DECK PROTECTOR®
SELF-ADHERED FLASHING

Drawing: VCRDET-301

Scale: Not to scale

Effective Date: 01/31/07

Supersedes: 09/01/05

City of Portland, Maine
Inspections Division
Inspection Schedule by Inspector
Appointment Date - 7/25/2008

Inspector Chris Hanson

Date	Type	Prmt	Address	Parcel	Census	AppID	Reached	ETA		
07/25/2008	Certificate of Occup	Prmt	43 FOUR WINDS RD	283 B001001	20	80817	Y N LM			
Comments: Alice 871-5867										
Outcome:										
	Footings/Setbacks	Prmt	124 ALLEN AVE	342 B016001	21	80309	Y N LM	6:00 AM		
Comments: 802-345-7436 David - won't be there please call leave message after inspection Clearly marked area										
Outcome:										
	Footings/Setbacks	Prmt	90 WOODFORD ST	125 N025001	18	80864	Y N LM	6:00 AM		
Comments: 272-7447 Andrea would like a.m.										
Outcome:										
	Certificate of Occup	Prmt	25 COTTAGE ST	125 H005001	15	61115	Y N <u>LM</u>	6:00 AM		
Comments: 831-8620 Tom requesting a.m.										
Outcome:										

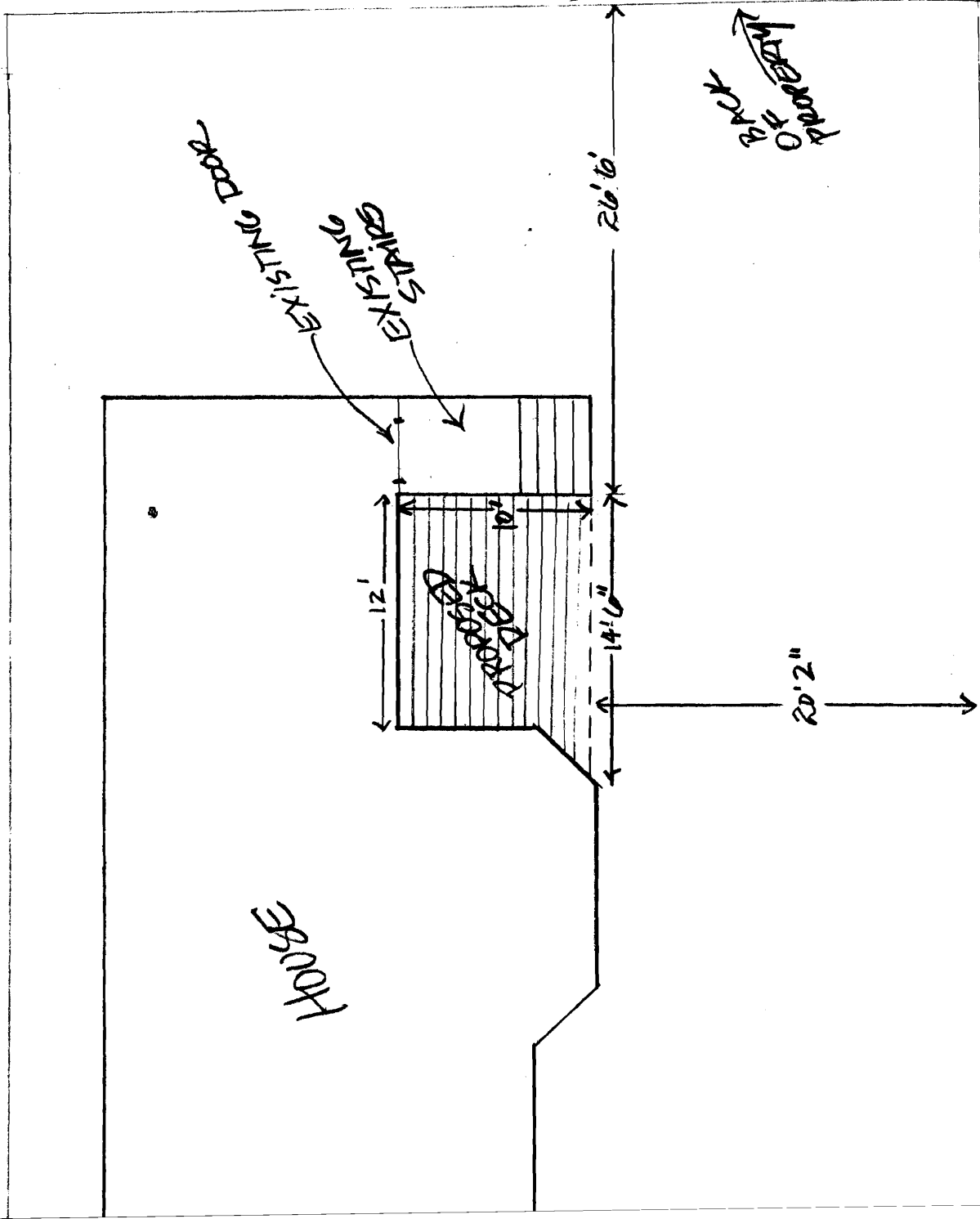
1-7:30 3

2:00 4

11:30 2

OK to Issue
 CK w/ Phil Depina 9:30-10:15- 1 10:30 1

FRONT PROPERTY LINE



EXISTING DOOR

EXISTING

HOUSE

SHED

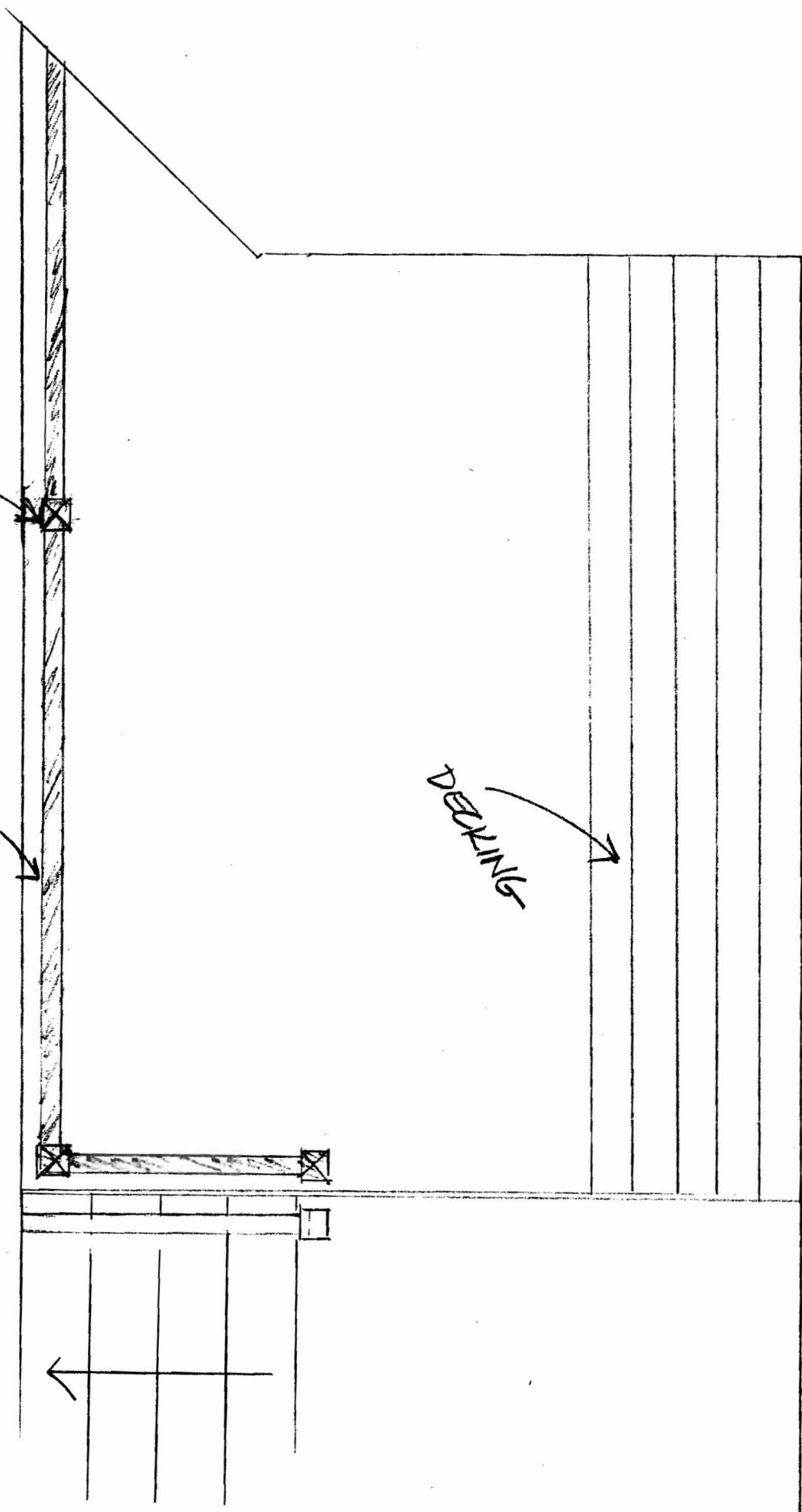
BACK PROPERTY LINE

PROPERTY LINE

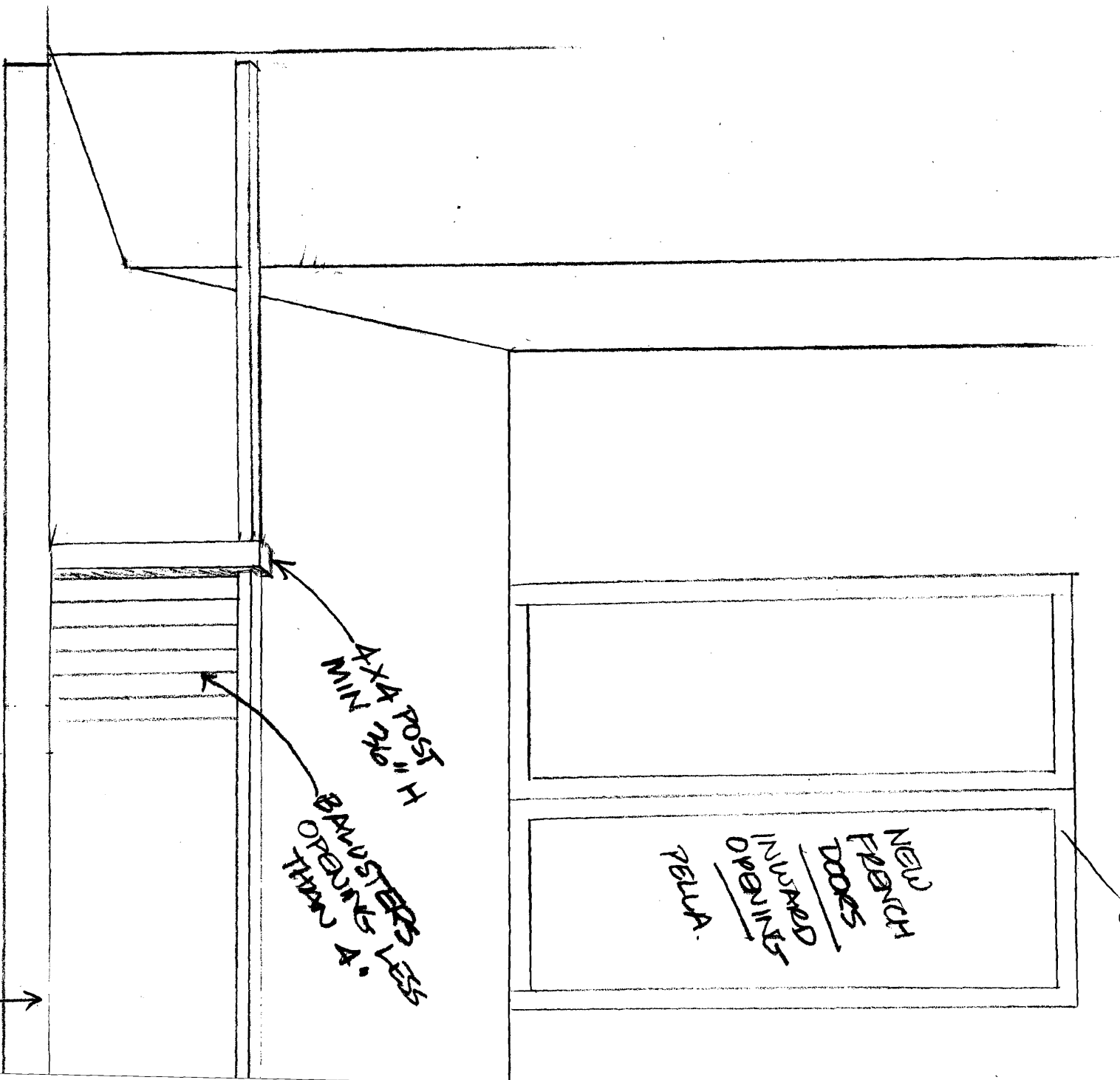
RAILING &
BRACKETS
TO MATCH
EXISTING AS
INSTALLED
PER CODE

4x4 POST

DECKING



7' 11 1/2"



MIN. 4\"/>
POST
MIN. 4\"/>
H
BAUSTERS
OPENING
LESS
THAN
4\"/>

NEW
FRENCH
DOORS
INSTEAD
OF
PULLA.

2 (2x10) Headers

House

JOIST HANGERS / DECK VYCOR PROTECTOR *

2X10 DECK BRACKET BOLTED

2X10 JOISTS 10" OC

4X4 POST
RIM JOIST 2X10

FOOTINGS INSTALLED TO DEPTH PER AS

4x4 MIN

* NOTE: WOOD TO METAL BE CONNECTED WITH VYCOR
ALL JOISTS TO BE PROTECTED
W/ VYCOR
W/ DECK

EXISTING STAIRS RAILINGS

4x4 25' from
95 109-25' from
95 109-25' from
95 109-25' from
Floor & roof
Sides