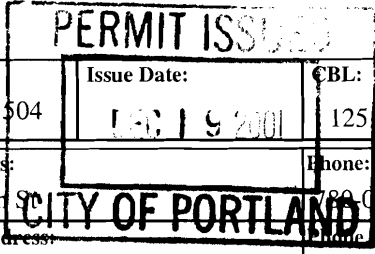


City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716



Permit No: 01-1504	Issue Date: DEC 19 2001	CBL: 125 N024001
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Location of Construction: 15 Arlington St	Owner Name: Dalvet Stephen Y	Owner Address: 15 Arlington St	Phone: 800-0748
Business Name: n/a	Contractor Name: no contractor/self	Contractor Address: n/a n/a	
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Duplex	Zone: R-3

Past Use: Duplex	Proposed Use: Duplex	Permit Fee:	Cost of Work: \$4,500.00	CEO District: 2
Proposed Project Description: Reconstruct front entry porch		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>BOCA 1999</i>	
		Signature:	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: <i>[Signature]</i> Date:				

Permit Taken By: gad	Date Applied For: 12/07/2001	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>OK with computer</i> <i>[Signature]</i> 12/18/01	Date:	Date: <i>[Signature]</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

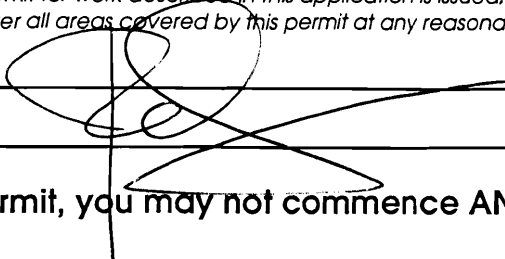
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>15 Holliston</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>125</u> Block# <u>N</u> Lot# <u>24</u>	Owner: <u>Sody Dalvet</u> <u>Martinez</u>	Telephone: <u>780-0748</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>15 Arlington St</u> <u>Portland ME 04101</u>	Cost Of Work: \$ <u>4500</u> Fee: \$ <u>54</u>
Current use: <u>Duplex</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Same</u>		
Project description: <u>Repair / Reconstruct as necessary front Entry Porch</u>		
Contractor's name, address & telephone: <u>Self</u>		
Who should we contact when the permit is ready: <u>Mail Above</u>		
Mailing address: _____		
Phone: _____		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>12/07/01</u>
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This is not a permit, you may not commence ANY work until the permit is issued

Application ID Number: 1-1504

Department: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal

Comments: 15 Arlington St Approval Date: 12/18/2001

Given On Date: 12/12/2001

OK to Issue Permit Name: Marge Schmuckal Date: 12/18/2001 Date 2:

Conditions Section:

This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards.

Create Date: 12/12/2001 By: jodinea Update Date: 12/18/2001 By: mes

City of Portland, Maine
Memorandum

To: Marge Schmuckal, Zoning Administrator
From: Mary P. Davis, Loan Officer *Mary P.D.*
Subject: **Verification of Legal Number of Units**

Date: *2/17/00*

C-B-L- Number: *125 N 24*

We have received an application for housing assistance for the property located at:

15 Arlington Street

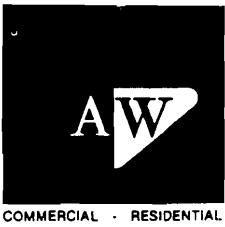
The applicant's name is: *Stephen Dault*

In completing the application the applicant has indicated that the number of units currently in use at this property is 2.

Please verify that the number of units are legal under the current code.

- Yes, the number of units are legal. *OK per microfiche*
- No, the number of units do not coincide with City records or the Land Use Code. According to City records the legal number of units for this property is _____.
- The property is a single family dwelling.

Verified By: *Marge Schmuckal* Title: *Zoning Admin.*
2/17/2000



Serving Greater Northeast Architects since 189

Residence

Woodland Road
RR2 494
GORHAM, ME 04038
(207) 892-3597

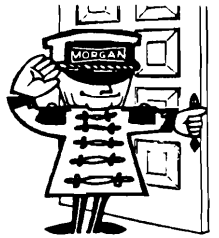
Peter E. Hart
ARCHITECTURAL REPRESENTATIVE

1-800-225-7912

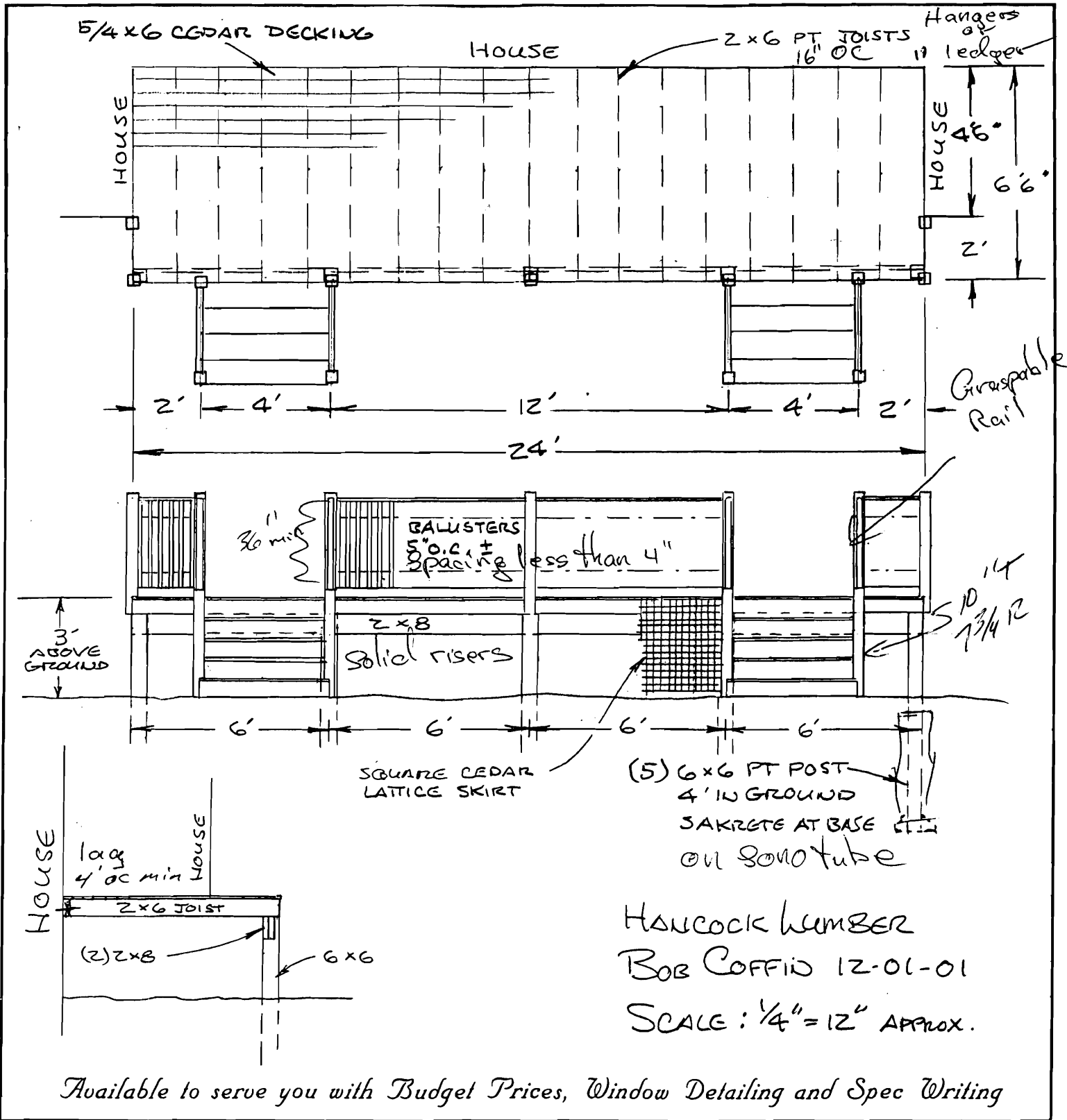
Exhibit Areas and Offices

203 READ STREET
PORTLAND, ME 01403

146 DASCOMB ROAD
(Route 93 - Exit 42)
ANDOVER, MA 01810



DATE 12-1-01 JOB DICK PEACOCK - 6 1/2' x 24' DECK - PORTLAND



Available to serve you with Budget Prices, Window Detailing and Spec Writing



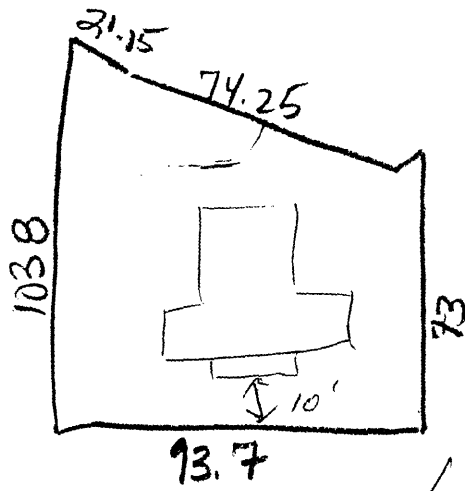
ENTRY DOOR SYSTEM
Wood and Steel
Hinged French Patio Doors

Andersen "Rain Sensitized"
Automatic Closing
ROOF WINDOWS

125-N-24

ASSESSOR'S

lot 24



Arlington

LETE 505 533

VACANT DWELLING OTHER

STORY HEIGHT
10 1.5 2.0 2.5 3.0

EXTERIOR WALLS
1 FRAME 4 BLOCK 7 STONE
2 BRICK 5 STUCCO 8 ASBESTOS
3 MAS. & FRAME 6 ALUM./VINYL 9 CONCRETE

STYLE
RAISED RANCH 7 CONDO 13 MANSION
SPLIT LEVEL 8 CONTEMP. 14 GAMBREL
RANCH 9 TOWNHSE/ROW 15 GARRISON
CAPE 10 COTTAGE 15 OTHER
OLD STYLE 11 BUNGALOW
COLONIAL 12 DUPLEX

AGE
RECTED 1 889 EST. 1 REMODELED 19

LIVING ACCOMMODATIONS
TOTAL ROOMS 10 BED ROOMS 8 FAMILY ROOMS 0
FULL BATHS 2 HALF BATHS 0 ADD'L TOTAL 2
NO. KITCHEN 1 YES 511 NO. BATH 1 YES 2 NO

BASEMENT
1 NONE 2 CRAWL 3 PART 4 FULL

HEATING
1 NONE 2 BASIC 3 CENTRAL AIR COND.

HEATING FUEL TYPE
1 NONE 2 GAS 3 ELEC 4 OIL 5 COAL 6 SOLAR

HEATING SYSTEM TYPE
1 NONE 2 WARM AIR 3 ELEC 4 HOT WATER 5 STEAM

ATTIC
1 NONE 2 UNFIN 3 PT FIN 4 FULL FIN 5 FULL FIN/WH

INTERIOR CONDITION
1 BETTER 2 SAME 3 POORER

PHYSICAL CONDITION
1 EX 2 GD 3 AV 4 FR 5 PR 6 VP 7 UN

SFLA

CONDO LEVEL 518 CONDO TYPE 1-INTERIOR 2-CORNER

OTHER FEATURES
1 BRICK TRIM
2 STONE TRIM
3 REC RDOM
4 FIN. BSMT LIVING AREA
5 WB FP: STACKS 2 OPENINGS 2
6 METAL FP: STACKS OPENINGS
7 WOOD COAL BURNING
8 BSMT GARAGE NO. OF CARS
9 UNFINISHED AREA (-) %
10 UNHEATED AREA (-) %

GROUND FLOOR AREA

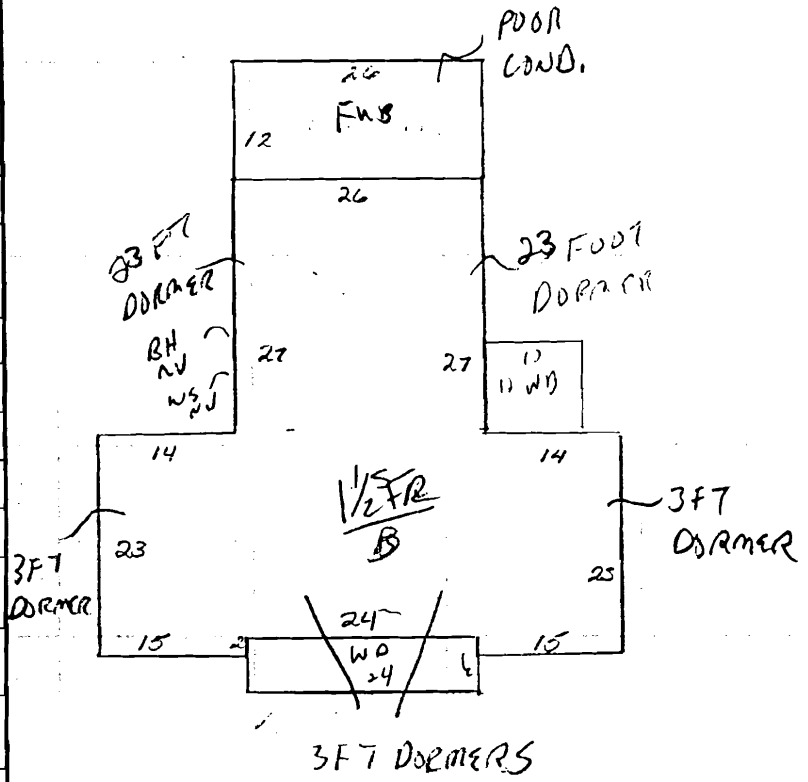
GRADE FACTOR AA A B D E H

COST & DESIGN FACTOR H 0.5% MA

CDU EX VG GD AV FR PR VP UN

MARKET ADJUSTMENT %

125-N-24 | RED



NOTES

471	
472	
473	
474	

BUILDING PERMIT RECORD

	NUMBER	DATE	AMOUNT	DESCRIPTION
461				
462				
463				
464				
465				

599 DELETE 601-608 ADDITIONS

ADD	CD	LWR	1ST	2ND	3RD	AREA
601	A1					
602	A2		14			
603	A3		31			
604	A4		31			
605	A5					
606	A6					
607	A7					
608	A8					

RESIDENTIAL	POOLS	ADDITION CODES	DWELLING COMPUTATIONS
RC1 Carport RC2 Canopy RG1 Frame/CB Detached Garage RG2 Brick/Stone Detached Garage RS1 Frame Shed RS2 Metal Shed	RP1 Plastic Liner RP2 Prefabricated Vinyl RP3 Reinforced Concrete RP4 Fiberglass RP5 Gunite	10 1s Frame 11 OFP 12 EFP 13 Frame Garage 14 Frame Utility 15 Frame Bay 16 Frame OH 17 1/2s Frame 18 Unfin. Attic 19 Fin. Attic 20 1s Mas 21 OMP 22 EMP 23 Mas. Garage 24 Mas. Utility 25 Mas. Bay 30 Carport 31 Wood Deck 32 Canopy 33 Conc. Patio 34 Stone Patio 35 Mas. Stoop 36 Att. Greenhouse 50 Unfin. Bsmt. 99 Misc. Value	● STORY SF

799 DELETE 801-810 OTHER BUILDINGS & YARD IMPROVEMENTS

TYPE CODE	QTY	YR	SIZE	G	COND	RATE	BASE VALUE	MA	MOO CODES	TRUE VALUE
801										
802										
803										
804										

810 MISCELLANEOUS IMPROVEMENTS

800	1 SEE DETAILED CARD 2 SEE DETAILED REPORT									
-----	--	--	--	--	--	--	--	--	--	--

TOTAL GROSS VALUE

DUPLICATE

GENERAL RECEIPT

CITY OF PORTLAND, MAINE

DEPARTMENT PAID DATE 12/7/01

RECEIVED FROM Seelye, Duvest

ADDRESS _____

UNIT	ITEM	REVENUE CODE	DOLLAR AMOUNT
1	Burlington Post		54.00
	QB# 125-11-24		
<input checked="" type="checkbox"/> CASH	<input type="checkbox"/> CHECK	<input type="checkbox"/> OTHER	TOTAL 54.00

RECEIVED BY DC