

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: ***625 Forest Ave. 04101		Owner: William Cowen		Phone: N/A		Permit No: 991378	
Owner Address: N/A		Lessee/Buyer's Name: Samantha Shepherd-Barrett		Phone: 772-8700		Business Name: 761-7251 Curves For Women	
Contractor Name: Maine Bay Canvas		Address: 53 Industrial Way, Prid, ME 04103		Phone: 878-8888		Permit Issued: JEC 5 1999	
Past Use: Commercial S		Proposed Use: Same		COST OF WORK: \$925.00		PERMIT FEE: \$ 30.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: <i>Bunni</i> Use Group: <i>B</i> Type: <i>Boca 96</i>	
				Signature:		Signature: <i>[Signature]</i>	
Proposed Project Description: 17 feet long availing attached with sturdy steel frame to the brick surface.				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
				Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied: <input type="checkbox"/>			
				Signature: _____ Date: _____			
Permit Taken By: <i>UB</i>		Date Applied For: 10-25-99					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**Mail To: Samantha Shepherd-Barrett
Curves For Women
625 Forest Ave.
Portland, ME 04101

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

10-25-99

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

PERMIT ISSUED
WITH REQUIREMENTS

Zoning Appeal
☐ Variance
☐ Miscellaneous
☐ Conditional Use
☐ Interpretation
☐ Approved
☐ Denied

Historic Preservation
☐ Not in District or Landmark
☐ Does Not Require Review
☐ Requires Review

Action:
☐ Approved
☐ Approved with Conditions
☐ Denied

Date: _____

PERMIT ISSUED
WITH REQUIREMENTS
CEO DISTRICT
ub

COMMENTS

1/27/08 went to site. checked dimensions and construction Built as to specs.
Sign is not backlit Close permit JH

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE
PERMIT IS ISSUED**

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): <u>625 Forest Ave</u> <u>04101</u>			
Total Square Footage of Proposed Structure		Square Footage of Lot <u>1500 square feet</u>	
Tax Assessor's Chart, Block & Lot Number Chart# <u>125</u> Block# <u>N</u> Lot# <u>005</u>	Owner: <u>William Gowen</u>	Telephone#: <u>N/A</u>	
Owner's Address: <u>N/A</u> <u>(772-8700(w))</u> <u>761-7251</u>	Lessee/Buyer's Name (If Applicable) <u>curves for women</u> <u>Samantha Shepherd</u>	Cost Of Work: <u>\$ 925.00</u>	Fee <u>\$ 30-</u>
Proposed Project Description: (Please be as specific as possible) <u>Barrett</u> <u>Blue awning with white lettering approximately 17 feet long above the window</u> <u>of 625 Forest Avenue in Portland. Awning is attached with sturdy steel</u> <u>frame to the brick surface. Product has a 5 year warranty.</u>			
Contractor's Name, Address & Telephone <u>878 8888</u> <u>Maine Bay Canvas, 53 Industrial Way</u> <u>Portland, ME 04103</u>			Rec'd By <u>UB</u>
Current Use: <u>Commercial</u>		Proposed Use: <u>same</u>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

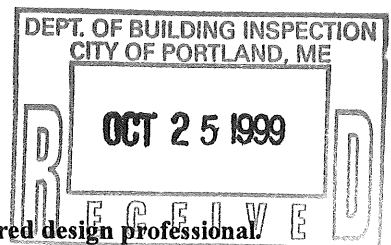
Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Samantha Shepherd-Bennett</u>	Date: <u>10/13/99</u>
---	-----------------------

Building Permit Fee: \$30.00 for the 1st \$1000. cost plus \$6.00 per \$1,000.00 construction cost thereafter.

Additional Site review and related fees are attached on a separate addendum



Inspection Services
Michael J. Nugent
Manager



Department of Urban Development
Joseph E. Gray, Jr.
Director

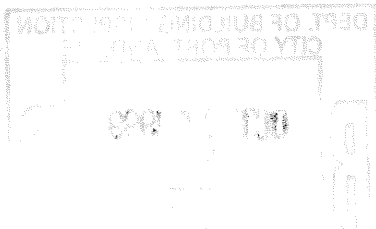
CITY OF PORTLAND

congratulations !!!!!

**Building or Use Permit Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

As an applicant for a building permit, you are about to enter into a relationship with our Office. We welcome any questions, comments or suggestions that will make the process more efficient. Attached you will find an application and some samples of the submissions you will provide at application time. Please read **ALL** of the information and if you need any further assistance please call 874-8703 or 874-8693.

Minor or Major site plan review will be required for the most of the above proposed projects.



per voice mail left

18'

Frontage

x 1.5

= 27 Φ MAX

3 x 17.5 = 52.5 Φ shown

OK

should
8 x 2 = 16 Φ

17'-6"

36"

10/27/99

Per business

The Awning is
NOT back lit.

- waiting for info
on the length

8'-0" of front
frontage

curves for women

30 minute fitness and weight loss centers

18"

seal

poles
affixed to
brick
with
sturdy
bolts
at
intervals

Logo

24"

LANDLORD RELEASE FORM

WRITTEN CONSENT AND AGREEMENT RELATING TO A CERTAIN SIGN PROPOSED TO BE

ERECTED ON A BUILDING AT 625 Forest Avenue

IN PORTLAND, MAINE 04101 being the owner of the premises

at 625 Forest Ave in Portland, Maine hereby gives consent to the erection of a certain sign owned by Curio For Women over the public sidewalk or on the building from said premises as described in application to the Division of Inspection Services of Portland, Maine for a permit to cover erection of said sign:

And in consideration of the issuance of said permit WILLIAM W. GOWEN, owner of said premises, in event said sign shall cease to serve the purpose for which it was erected or shall become dangerous and in event the owner of said sign shall fail to remove said sign or make it permanently safe in case the sign still serves the purpose for which it was erected, hereby agrees for himself or itself, for his heirs, its successors, and his or its assigns, to completely remove said sign within ten days of notice from said Inspector of Buildings that said sign is in such condition and of order from him to remove it.

In Witness whereof, the owner of said premises has signed this consent and agreement this 9th day of September 1999.

Charlotte Magnusson
P.O.A.

03/15/99

INFORMATION REQUIREMENTS FOR SIGN PERMIT APPLICATION

Applicants for a sign permit will be asked to submit the following information to the Code Enforcement Office:

- ✓ 1. Proof of insurance
- ✓ 2. Letter of permission from the owner
- ✓ 3. A sketch plan of lot, indicating location of buildings, driveways and any abutting streets or right of ways. Lengths of building frontages and street frontages should be noted. (see attached)
- ✓ 4. Indicate on the plan all existing and proposed signs
5. Computation of the following:
 - ✓ A) Sign area of each existing and proposed building sign
 - ✓ B) Sign area height and setback of each existing and proposed freestanding sign
- ✓ 6. A sketch of any proposed sign(s), indicating dimensions, materials, source of illumination and construction method (see attached).
- ✓ 7. Certificate of flammability required for awning/canopy at time of application.
8. ~~UL # required for lighted signs at the time of application.~~

"Fee for permit - \$25.00 plus \$0.20 per square foot

Fee for awning based on cost of work - \$25.00 for the first \$1,000.00, \$5.00 for each additional \$1,000.00.

NOTE: Once a sketch plan has been filed for a property, the code enforcement office will keep a record of the plan so that a new sketch plan will not be required for later changes to signage on the property. In such an instance, applicants will only be required to submit information applicable to the new sign.

INFORMATION REQUIREMENTS FOR SIGN PERMIT APPLICATION

Applicants for a sign permit will be asked to submit the following information to the Code Enforcement Office:

1. Proof of insurance
2. Letter of permission from the owner
3. A sketch plan of lot, indicating location of buildings, driveways and any abutting streets or right of ways. Lengths of building frontages and street frontages should be noted. (see attached)
4. Indicate on the plan all existing and proposed signs
5. Computation of the following:
 - A) Sign area of each existing and proposed building sign
 - B) Sign area height and setback of each existing and proposed freestanding sign
6. A sketch of any proposed sign(s), indicating dimensions, materials, source of illumination and construction method (see attached).
7. Certificate of flammability required for awning/canopy at time of application.
8. UL # required for lighted signs at the time of application.

Fee for permit - \$25.00 plus \$0.20 per square foot

Fee for awning based on cost of work - \$25.00 for the first \$1,000.00, \$5.00 for each additional \$1,000.00.

NOTE: Once a sketch plan has been filed for a property, the code enforcement office will keep a record of the plan so that a new sketch plan will not be required for later changes to signage on the property. In such an instance, applicants will only be required to submit information applicable to the new sign.

Code Enforcement Office

To Whom it May Concern: Oct 8th, 1999

Enclosed please find the following:

① Check for \$25

② Application for a sign permit, including

* letter of permission from owner

* proof of insurance

* sketch plan of lot

* sketch of sign

* cert. of flammability

Thank you for your assistance with the above.

Please feel free to call with any questions or concerns. 772-8700

Sincerely,

Samantha Shepherd-Barrett
Curves for Women

Certificate of Flame Resistance



REGISTERED
APPLICATION
CONCERN No.

GA-217

ISSUED BY
JOHN BOYLE & COMPANY, INC.

Salisbury Road
Statesville, NC 28677

704-872-8151

Date treated or
manufactured

This is to certify that the materials described below have been flame-retardant treated (or are inherently nonflammable).

FOR Maine Bay canvas ADDRESS 53 Industrial Way
CITY Portland STATE Maine

Certification is hereby made that: (Check "a" or "b")

- ☐ (a) The articles described below this Certificate have been treated with a flame-retardant chemical approved and registered by the State Fire Marshal and that the application of said chemical was done in conformance with the laws of the State of California and the Rules and Regulations of the State Fire Marshal.

Name of chemical used _____ Chem. Reg. No. _____

Method of application _____

- ☒ (b) The articles described below are made from a flame-resistant fabric or material registered and approved by the State Fire Marshal for such use.

Trade name of flame-resistant fabric or material used _____ Reg. No. _____

The Flame-Retardant Process Used WILL NOT Be Removed By Washing

Sunbrella Firesist

JOHN BOYLE & COMPANY, INC.

Name of Applicator or Production Superintendent

JOHN BOYLE & COMPANY, INC.

By

Walter Conine
Specialty Products Manager

ACORD CERTIFICATE OF LIABILITY INSURANCEDATE (MM/DD/YY)
09/23/1999**PRODUCER**Sports & Fitness Insurance Cor
212 Key Dr.
Madison, MS 39130
P: 601-898-8464 F: 601-853-6141THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION
ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE
HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR
ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.**INSURERS AFFORDING COVERAGE****INSURED**Lynley, Inc. dba Curves for Wo
625 Forest Avenue

Portland

ME 04101-

INSURER A GREAT AMERICAN INS. CO.

INSURER B

INSURER C

INSURER D

INSURER E

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	<input checked="" type="checkbox"/> GENERAL LIABILITY <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> <input type="checkbox"/> GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO. <input checked="" type="checkbox"/> LOC	GLP-3534059-147	09/15/1999	09/15/2000	EACH OCCURRENCE \$ 1,000,000 FIRE DAMAGE (Any one fire) \$ 50,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Per accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY AGG \$
	EXCESS LIABILITY <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				<input type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
A	OTHER Sign \$950 Glass \$2,000	GLP-3534059-147	09/15/1999	09/15/2000	BPP 20,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS

The certificate holder is named additional insured as their interest may appear.

CERTIFICATE HOLDER

ADDITIONAL INSURED; INSURER LETTER:

CANCELLATIONCity of Portland
389 Congress Street

Portland

ME 04101

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 010 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT. BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE
[Signature]

IMPORTANT

If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

DISCLAIMER

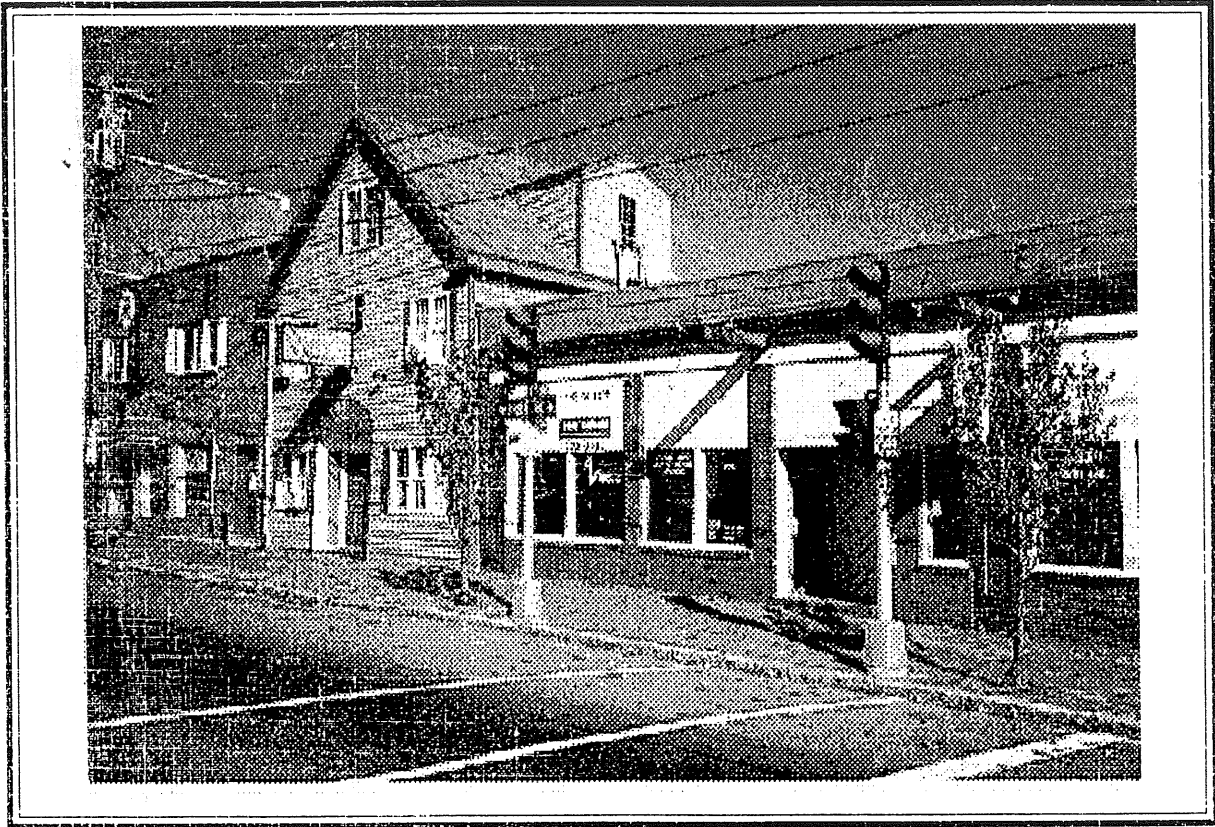
The Certificate of Insurance on the reverse side of this form does not constitute a contract between the issuing insurer(s), authorized representative or producer, and the certificate holder, nor does it affirmatively or negatively amend, extend or alter the coverage afforded by the policies listed thereon.

Samantha



Magnusson Balfour
Commercial & Business Brokerage

FOR LEASE



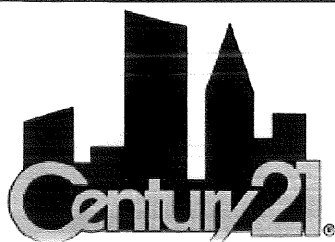
Scott Balfour
Stephanie

625 Forest Avenue

Portland, Maine

95 India Street, Portland, Maine 04101 • (207) 774-7715, Fax (207) 879-9102
Website www.c21balfour.com • E-Mail office@c21balfour.com

Each Office Is Independently Owned And Operated

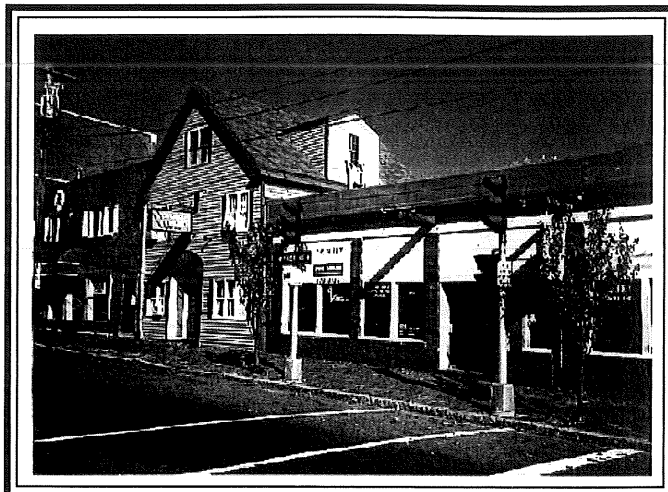


Commercial & Business Brokerage

Magnusson Balfour

(207) 774-7715

www.c21balfour.com



OWNER: Shekinah Co. II

PROPERTY: 625 Forest Avenue, Portland, Maine

LEASING SPACE: 1,500 - 1,800 SF first floor retail space

AVAILABILITY: May 15, 1999

UTILITIES:

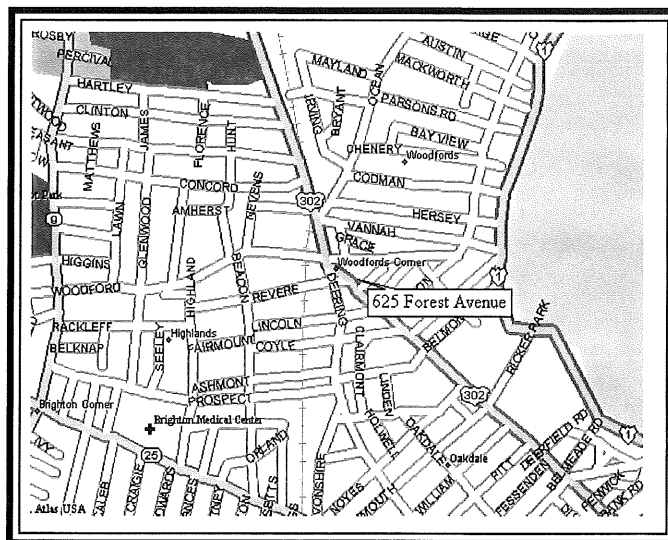
ELECTRICITY: Separately metered, tenant's expense

HEAT: (GAS) Separately metered, tenant's expense

AIR CONDITIONING: Separately metered, tenant's expense

ZONING: B-2

LEASE PRICE: \$9.00/sf



SIGNAGE: Signage available above leased premises. All signage shall conform with Portland's zoning ordinances and have Landlord's prior written approval. Signage cost at Tenant's expense

TRAFFIC COUNT: 30,000 + ADT

PARKING: Parking available in rear of leased premises

SECURITY DEPOSIT: Required

LEASE TERM: 3-5 years

COMMENTS: Outstanding visibility in extremely well maintained building. High traffic count, easy access, off and on street parking, low rental rates. Loading area available.

LISTING AGENT: Elisabeth Magnusson

THE INFORMATION IN THIS PROFILE HAS BEEN PROVIDED BY THE CLIENT. CENTURY 21 MAGNUSSON BALFOUR COMMERCIAL & BUSINESS BROKERS MAKES NO REPRESENTATIONS AS TO ITS ACCURACY. THIS PROFILE IS FOR THE CONFIDENTIAL USE OF THE INDIVIDUAL TO WHOM IT HAS BEEN GIVEN. BUYERS ARE ADVISED TO CONDUCT THEIR OWN INVESTIGATION TO ACCURACY OF INFORMATION AND CONSULT WITH THEIR APPROPRIATE FINANCIAL, LEGAL, OR BUSINESS ADVISORS.

CENTURY 21 MAGNUSSON BALFOUR

Commercial/Business Brokerage

(207) 774-7715

Data Sheet

OWNER: Shekinah Co. II

PROPERTY: 625 Forest Avenue, Portland, Maine

LEASING SPACE: 1,500 - 1,800 SF first floor retail space

AVAILABILITY: May 15, 1999

UTILITIES:

ELECTRICITY: Separately metered, tenant's expense

HEAT: (GAS) Separately metered, tenant's expense

AIR CONDITIONING: Separately metered, tenant's expense

ZONING: B-2

LEASE PRICE: \$9.00/sf

SIGNAGE: Signage available above leased premises. All signage shall conform with Portland's zoning ordinances and have Landlord's prior written approval. Signage cost at Tenant's expense

TRAFFIC COUNT: 30,000 + ADT

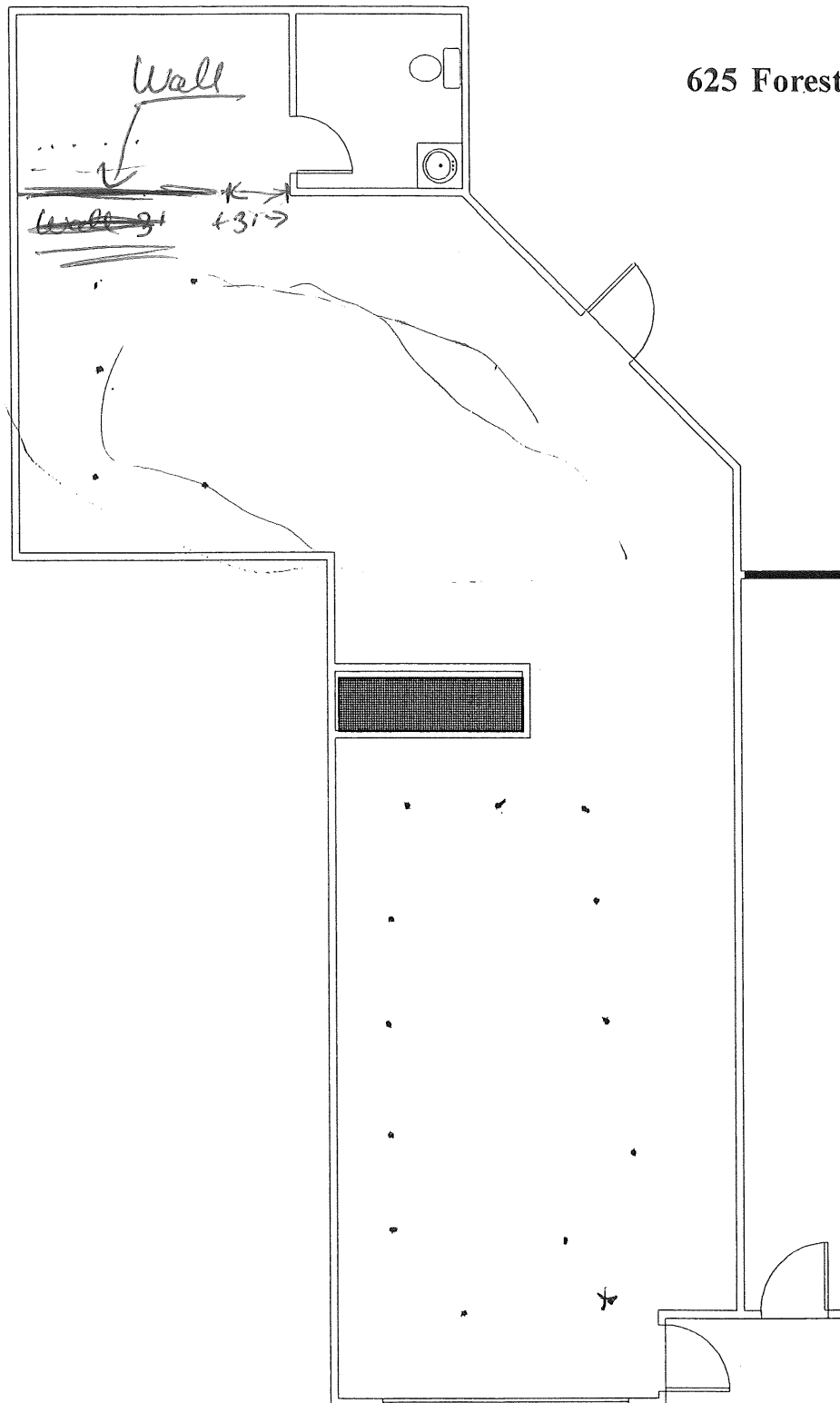
PARKING: Parking available in rear of leased premises

SECURITY DEPOSIT: Required

LEASE TERM: 3-5 years

COMMENTS: Outstanding visibility in extremely well maintained building. High traffic count, easy access, off and on street parking, low rental rates. Loading area available.

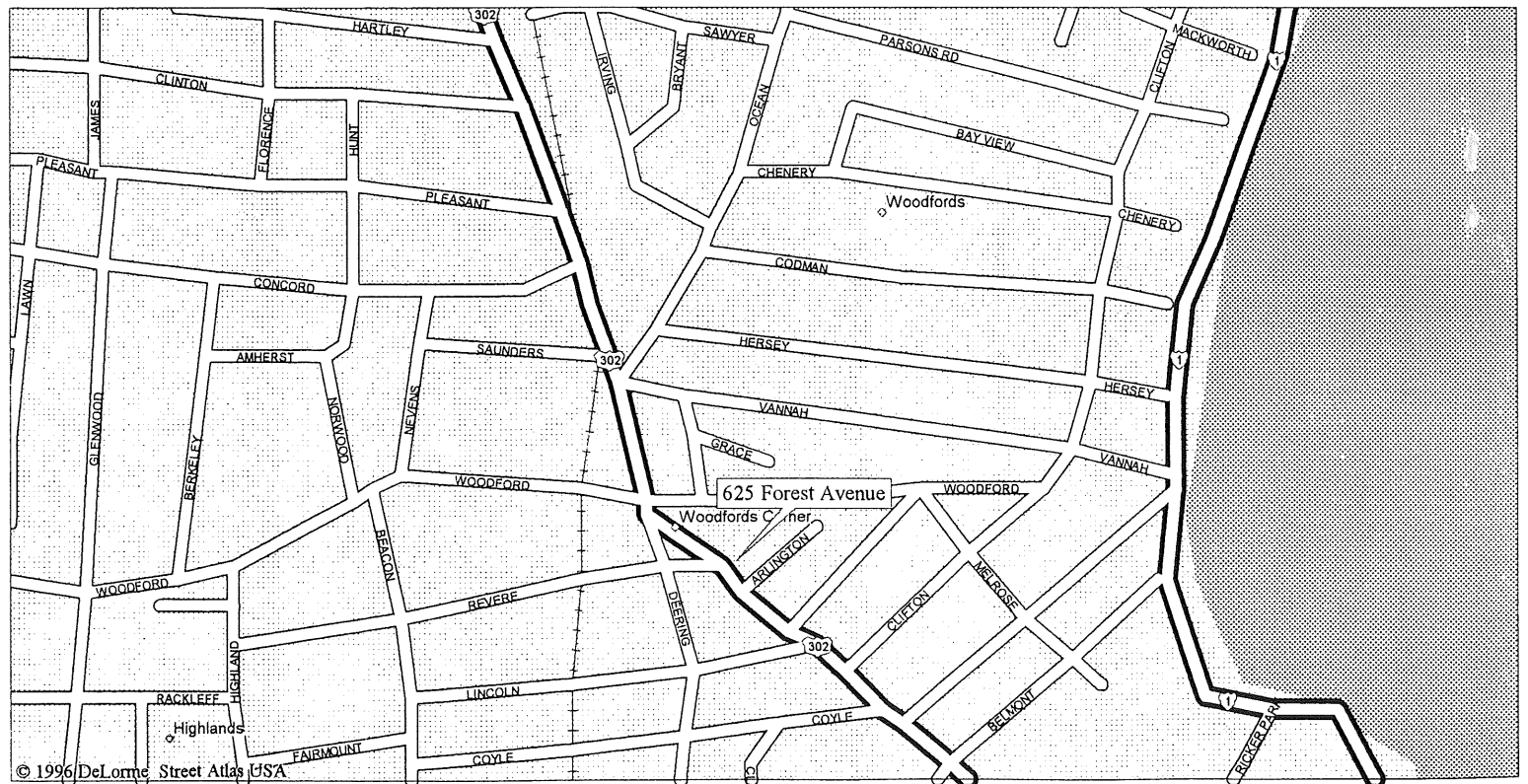
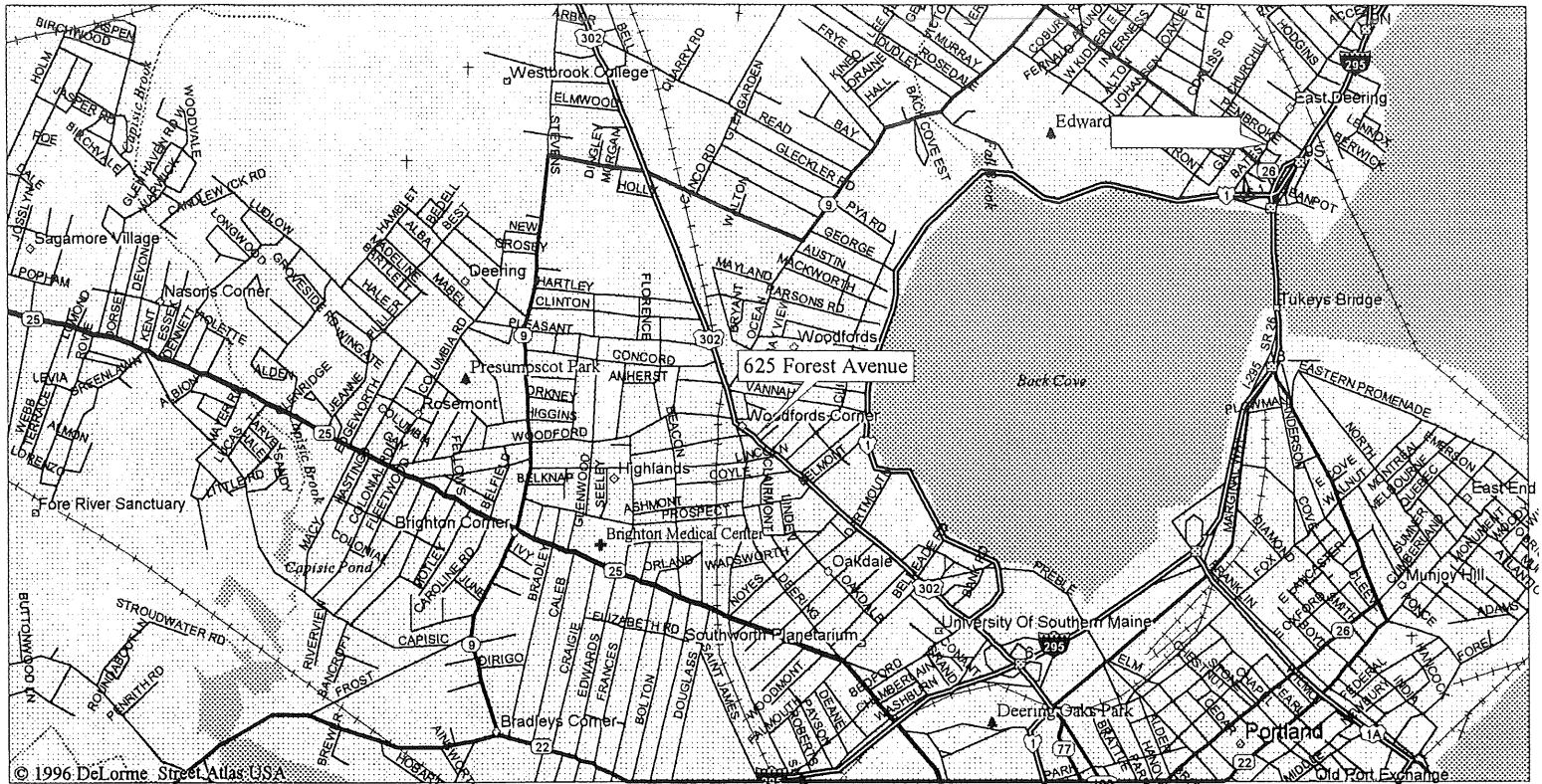
LISTING AGENT: Elisabeth Magnusson



This is a representative drawing only.

Any measurements are only approximations and drawing is not to scale.

THE INFORMATION IN THIS PROFILE HAS BEEN PROVIDED BY THE CLIENT. CENTURY 21 MAGNUSSON BALFOUR COMMERCIAL & BUSINESS BROKERS MAKES NO REPRESENTATIONS AS TO ITS ACCURACY. THIS PROFILE IS FOR THE CONFIDENTIAL USE OF THE INDIVIDUAL TO WHOM IT HAS BEEN GIVEN. BUYERS ARE ADVISED TO CONDUCT THEIR OWN INVESTIGATION TO ACCURACY OF INFORMATION AND CONSULT WITH THEIR APPROPRIATE FINANCIAL, LEGAL, OR BUSINESS ADVISORS.



THE INFORMATION IN THIS PROFILE HAS BEEN PROVIDED BY THE CLIENT. CENTURY 21 MAGNUSSON BALFOUR COMMERCIAL & BUSINESS BROKERS MAKES NO REPRESENTATIONS AS TO ITS ACCURACY. THIS PROFILE IS FOR THE CONFIDENTIAL USE OF THE INDIVIDUAL TO WHOM IT HAS BEEN GIVEN. BUYERS ARE ADVISED TO CONDUCT THEIR OWN INVESTIGATION TO ACCURACY OF INFORMATION AND CONSULT WITH THEIR APPROPRIATE FINANCIAL, LEGAL, OR BUSINESS ADVISORS.