

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING PERMIT

Permit Number: 101329

This is to certify that Church Corporation/Great Falls Builders, Inc. with
has permission to Repairs to damaged storefront wall framing

AT 630 Forest Ave 6 125-1008001 2-9-2010

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise used-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. COPY. [Signature]

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 10/28/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

Oct. 22 2010

Received from

Juan Torres (contractor)

~~1630 Fours~~

Cost of Construction \$

Building Fee:

Permit Fee

Site Fee:

Certificate of Occupancy Fee:

Total: 270.00

Stamping (1L)

Plumbing (1S)

Electrical (1Z)

Site Plan (1U)

Other

on 125 Fours

on 20613 Total Collected \$ 270.00

No work is to be started until permit issued.
Please keep original receipt for your records.

Taken by:

Juan Torres

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1329	Issue Date:	CBL: 125 L008001
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Location of Construction: 630 Forest Ave	Owner Name: Church Corporation	Owner Address: 1 Karen Dr	Phone:
Business Name: Phoenix Studios	Contractor Name: Great Falls Builders, Inc./Jon Smith	Contractor Address: 20 Mechanic Street Gorham	Phone: 2078922744
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-2b

Part Use: Commercial / Phoenix Studios	Proposed Use: Commercial / Phoenix Studios: Repairs to damaged storefront & wall framing.	Permit Fee: \$270.00	Cost of Work: \$25,000.00	CEO District: 3
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denial *See Conditions	INSPECTION: Use Group: B Type: SB IBC-2003	

Proposed Project Description:
Repairs to damaged storefront & wall framing.

Signature: _____ Date: 10/28/10

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: EB	Date Applied For: 10/22/2010	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>check with sticky feedback</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>OK conditions</i></p> <p>Date <u>10/27/10</u> <i>APM</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p><i>APM</i></p> <p>Date: _____</p>
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PERMIT ISSUED

OCT 29 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1329	Date Applied For: 10/22/2010	CBL: 125 L008001
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Location of Construction: 630 Forest Ave	Owner Name: Church Corporation / Craig Church	Owner Address: 22 Jessica Lane	Phone: 207-318-6498
Business Name: Phoenix Studios	Contractor Name: Great Falls Builders, Inc./Jon Smith	Contractor Address: 20 Mechanic Street Gorham	Phone: (207) 892-2744
Lessee/Buyer's Name:	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial / Phoenix Studios: Repairs to damaged storefront & wall framing.	Proposed Project Description: Repairs to damaged storefront & wall framing.
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 10/25/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) This permit is being issued with the condition that all the work is taking place within the existing footprint.</p> <p>2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p>			

Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 10/28/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.</p> <p>2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</p>			

Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 10/26/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) All construction shall comply with City Code Chapter 10.</p>			

BUILDING PERMIT INSPECTION PROCEDURES

**Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

The final report of Special Inspections shall be submitted prior to the final inspection or the issuance of the Certificate of Occupancy

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>630 FOREST AVE</u>		
Total Square Footage of Proposed Structure/Area <u>NO INCREASE IN SF</u>	Square Footage of Lot <u>0.271 A</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>125</u> Block# <u>2008</u> Lot# <u>001</u>	Applicant *must be owner, Lessee or Buyer* Name <u>CHURCH CORPORATION</u> City, State & Zip <u>S. PORTLAND ME 04106</u>	Telephone: <u>207 799 2242</u>
Lessee/DBA (If Applicable) <u>Phoenix Studios</u>	Owner (If different from Applicant) Name <u>SAME AS ABOVE</u> City, State & Zip <u>Portland Maine</u>	Cost Of Work: <u>\$2.5K</u> C of O Fee: \$ Total Fee: <u>\$20.00</u>
Current legal use (i.e. single family) <u>BUSINESS / COMMERCIAL</u> If vacant, what was the previous use? <u>-</u> Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>REPAIRS TO DAMAGED STOREFRONT & WALL FRAMING FROM VEHICLE IMPACT.</u>		
Contractor's name: <u>GREAT FALLS CONSTRUCTION INC</u> Please call first		
Address: <u>20 MECHANIC ST</u>		
City, State & Zip: <u>GORHAM ME 04038</u>		Telephone: <u>207 839 2744</u>
Who should we contact when the permit is ready: <u>JOY SMITH</u>		Telephone: <u>SAME</u>
Mailing address: <u>SAME AS ABOVE</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: 10/22/10

This is not a permit; you may not commence ANY work until the permit is issued.



Accessibility Building Code Certificate

Designer: ASSOCIATED DESIGN PARTNERS, INC

Address of Project: 630 Forest Ave, Portland Maine

Nature of Project: Repairs to exterior building storefront and wall framing due to vehicular impact.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: *Aaron S. Smith*

Title: ENGINEER

Firm: ASSOCIATED DESIGN PARTNERS, INC

Address: 80 LEIGHTON RD

FALMOUTH, ME 04105

Phone: 878-1751

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: 10-22-10

From: ASSOCIATED DESIGN PARTNERS, INC

These plans and / or specifications covering construction work on:

630 Forest Ave

Exterior storefront and wall framing repairs

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: *Aaron R. Mason*

Title: ENGINEER

Firm: ASSOCIATED DESIGN PARTNERS, INC

Address: 60 LEIGHTON RD

FALMOUTH, ME 04105

Phone: 878-1751

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

ASSOCIATED DESIGN PARTNERS, INC

From Designer:

Date:

10-22-10

Job Name:

830 FOREST AVENUE

Address of Construction:

830 FOREST AVE, PORTLAND MAINE

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 IBC Use Group Classification (a) B

Type of Construction 5

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Building has existing system.

Is the Structure mixed use? N If yes, separated or non separated or non separated (section 302.3)

Supervisory alarm System? N Geotechnical/Soils report required? (See Section 1802.2) Y

Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
Business	50PSF

Wind loads (1603.1.4, 1609)

ANALYTICAL	Design option utilized (1809.1.1, 1609.6)
94	Basic wind speed (1809.3)
1.0	Building category and wind importance Factor, I_w (table 1604.5, 1609.5)
B	Wind exposure category (1609.4)
4.0, 1.0	Internal pressure coefficient (ASCE 7)
7.1, 1.5, 1.0	Component and cladding pressures (1609.1.1, 1609.4.2.2)
NA	Main frame wind pressures (7603.1.1, 1609.4.2.1)

Earth design data (1603.1.5, 1614-1623)

1817.4	Design option utilized (1614.1)
1	Seismic use group ("Category")
.314 / .125	Spectral response coefficients, S_D & S_1 (1615.1)
D	Site class (1615.1.5)

NO	Live load reduction
20	Roof live loads (1603.1.2, 1607.11)
50.4	Roof snow loads (1603.7.3, 1608)
80	Ground snow load, P_g (1608.2)
50.4	If $P_g > 10$ psf, flat-roof snow load s
1	If $P_g > 10$ psf, snow exposure factor, C_e
1	If $P_g > 10$ psf, snow load importance factor, I_s
1.0 Warm	Roof thermal factor, C_t (1608.4)
NA	Sloped roof snowload, s_s (1608.4)
B	Seismic design category (1616.5)
Masonry SW	Basic seismic force resisting system (1617.4.2)
NA	Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)
Not Req'd	Analysis procedure (1616.6, 1617.5)
	Design base shear (1617.4, 1617.5.1)
Flood loads (1803.1.6, 1612)	
NA	Flood Hazard area (1612.3)
NA	Elevation of structure
Other loads	
NA	Concentrated loads (1607.4)
NA	Partition loads (1607.5)
NA	Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

**STATEMENT OF SPECIAL
CONSTRUCTION MONITORING**

PROJECT: 630 Forest Avenue
Portland, Maine

PERMIT APPLICANT: Church Corp
APPLICANT'S ADDRESS: 630 Forest Ave, Portland, ME 04103

STRUCTURAL ENGINEER OF RECORD: Associated Design Partners, Inc

CONTRACTOR: Great Falls Construction Inc.

This Statement of Special Construction Monitoring is submitted as a condition for building permit issuance in accordance with Section 1704.0 of the 2003 International Building Code. It includes the Schedule of Special Construction Monitoring and Testing as applicable to this project. Also included is a listing of agents and other approved agencies to be retained for conducting the monitoring and testing applicable to this project.

The Special Construction Monitoring Coordinator shall keep records of all observations listed herein, and shall furnish field reports to the Registered Design Professional of Record. All discrepancies shall be brought to the immediate attention of the Contractor for correction, and to the Registered Design Professional of Record. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the Registered Design Professional of Record. Interim reports shall be submitted to the Registered Design Professional of Record monthly, unless more frequent submissions are requested.

The Special Inspection program does not relieve the Contractor of his or her responsibilities. Job site safety is solely the responsibility of the Contractor. Materials and activities covered under the monitoring schedule are not to include the Contractor's equipment and methods used to erect or install the materials listed.

Prepared by:

Aaron S. Wilson, P.E.

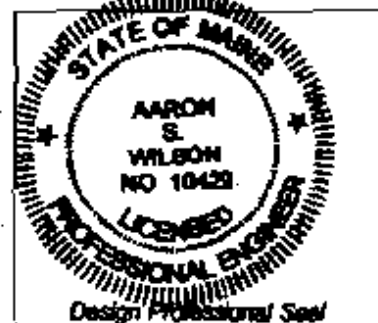
(type or print name)



Signature

10/22/10

Date



Owner's Authorization:

Building Official's Acceptance:



Signature

Date

Signature

Date

SPECIAL CONSTRUCTION MONITORING AGENTS

This Statement of Special Construction Monitoring / Quality Assurance Plan includes the following building systems:

- | | |
|--|--|
| <input type="checkbox"/> Soils and Foundations | <input type="checkbox"/> Spray Fire Resistant Material |
| <input type="checkbox"/> Cast-In-Place Concrete | <input checked="" type="checkbox"/> Wood Construction |
| <input type="checkbox"/> Precast Concrete | <input type="checkbox"/> Exterior Insulation and Finish System |
| <input checked="" type="checkbox"/> Masonry | <input type="checkbox"/> Mechanical & Electrical Systems |
| <input type="checkbox"/> Structural Steel | <input type="checkbox"/> Architectural Systems |
| <input type="checkbox"/> Cold-Formed Steel Framing | <input type="checkbox"/> Special Cases |

AGENT	FIRM	CONTACT INFORMATION
1. Engineer of Record	Associated Design Partners	80 Leighton Rd Falmouth ME 04105 Ph: 878-1751
2. Special Construction Monitoring Coordinator	Associated Design Partners	80 Leighton Rd Falmouth ME 04105 Ph: 878-1751
3. Field Monitor		
4. Testing Agency		
5. Other		

Note: The construction monitoring agent and testing agency shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

QUALITY ASSURANCE FOR LATERAL SYSTEMS

Quality Assurance for Seismic Requirements

Seismic Design Category *B*

Quality Assurance Plan Required (Y/N) *N*

If seismic design category C, and plan is not required, explain (see exceptions to 1705.1)

Description of seismic force resisting system and designated seismic systems:

Light Framed wood Shearwalls and Diaphragms.

Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust) *94MPH*

Quality Assurance Plan Required (Y/N) *N*

Description of wind force resisting system and designated wind resisting components:

Light Framed wood Shearwalls and Diaphragms.

Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated above must submit a Statement of Responsibility in accordance with section 1705.3, and 1708.3 of the 2003 IBC code.

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the Agency Number on the Schedule.

PE/SE Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
E T Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

American Concrete Institute (ACI) Certification

ACI-CFTT Concrete Field Testing Technician – Grade 1
ACI-CCI Concrete Construction Inspector
ACI-LTT Laboratory Testing Technician – Grade 1&2
ACI-STT Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI Certified Welding Inspector
AWS/AISC-SSI Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT Non-Destructive Testing Technician – Level II or III.

International Code Council (ICC) Certification

ICC-SMSI Structural Masonry Special Inspector
ICC-SWSI Structural Steel and Welding Special Inspector
ICC-SFSI Spray-Applied Fireproofing Special Inspector
ICC-PCSI Prestressed Concrete Special Inspector
ICC-RCSI Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT Concrete Technician - Levels I, II, III & IV
NICET-ST Soils Technician - Levels I, II, III & IV
NICET-GET Geotechnical Engineering Technician - Levels I, II, III & IV

Exterior Design Institute (EDI) Certification

ED-EIFS EIFS Third Party Inspector

TABLE 1 – SCHEDULE OF SPECIAL CONSTRUCTION MONITORING

MATERIAL / ACTIVITY	EXTENT OF MONITORING (Continuous, Periodic, Other, Exempt, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
1704.3 STEEL CONSTRUCTION					
1. Material Verification of high strength bolts, nuts, and washers.	a. Identification markings to conform to ASTM standards specified in the approved construction documents. b. Manufacturer Certificate of Compliance required.	Periodic			
2. Inspection of High - Strength Bolting	a. Bearing type connections b. Slip - critical connections	Periodic None		No SC connections in building	
3. Material Verification of structural steel	a. Identification markings to conform to ASTM standards specified in the contract documents. b. Manufacturer certified mill test Reports.	All Exempt		SEB to verify on shop drawings. Engage AISC certified fabricator	
4. Material Verification of weld filler materials	a. Identification marking to conform to ASTM standards specified in the contract documents. b. Manufacturer Certificate of Compliance required.	All		SEB to verify on shop drawings.	
5. Inspection of Welding - Structural Steel	a. Single Pass fillet welds < 5/16" b. Floor and deck welds	Exempt Periodic Periodic		Engage AISC certified fabricator	
6. Inspection of Steel Frame Joint details for compliance with approved construction documents.	a. Bracing connections b. Member locations c. Application of joint details at each connection.	Periodic Periodic Periodic			

TABLE 1 - STATEMENT OF SPECIAL INSPECTIONS, cont.

MATERIAL/ACTIVITY	EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
1704.4 CONCRETE CONSTRUCTION					
1. Inspection of reinforcing steel, including placement.	None				
2. Inspection of reinforcing steel welding	None				
1. Inspect holes embedded into concrete prior to and during placement of concrete where allowable loads have been increased.	None	Allowable loads have not been increased for lateral loads.			
2. Verify use of required concrete mix design(s)	None	SIR review and approve mix design prior to installation. SI verify delivery ticket matches approved mix design.			
3. Sample fresh concrete for strength tests perform slump and air content tests, and determine temperatures of concrete.	None				
6. Inspection of concrete placement for proper techniques.	None				
7. Inspection for maintenance of specified curing temperature and techniques.	Periodic				
1704.5 MASONRY CONSTRUCTION - Level 1 Special Inspection for non-essential facility - 1704.5.1					
1. As Masonry Construction begins, the following shall be verified to ensure compliance	a. Proportions of mix-prepared mortar	None			
	b. Construction of mortar joints	None			
	c. Location of reinforcement	None			
	d. Pre-stressing technique	None	No pre-stressing in building		
	e. Grade and size of pre-stressing tendons.	None	No pre-stressing in building		
2. The inspection program shall verify the following	a. Size and location of structural elements.	Periodic			
	b. Type, size, and location of embedded rebars.	None			
	c. Size, grade, and type of reinforcing	None			

TABLE 1 - STATEMENT OF SPECIAL INSPECTIONS, cont.

MATERIAL/ACTIVITY	EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
1704.5 MASONRY CONSTRUCTION -					
Level 1 Special Inspection for non-separable facility - 1704.3.3					
2. The inspection program shall verify the following, cont:	<ul style="list-style-type: none"> d. Welding of reinforcing bars e. Protection of masonry during cold weather (temp. below 40 deg F.) f. Application and measurement of pre-stressing reinforcement 	None			
3. Prior to grouting, the following shall be verified to ensure compliance.	a. Grout space is clean	Periodic	1		
	b. Placement of reinforcement	None			
	c. Proportions of site-prepared grout	None			
	d. Construction of mortar joints	None			
4. Grout placement shall be verified to ensure compliance with code and construction document provisions.	None	No pre-stressing in building			
5. Preparation of any grout specimens, mortar specimens and/or prisms shall be observed	None				
4. Compliance with required inspection provisions of the construction documents and the approved submittals shall be verified.	None				
1704.6 WOOD CONSTRUCTION					
1. Horizontal Diaphragms and Vertical Shearwalls	<ul style="list-style-type: none"> a. Inspect sheathing size, grade, and thickness for conformance with construction documents. b. Inspect sheathing fastener size and pattern for conformance with construction documents. c. Verify attachment to supporting elements as per contract documents. 	None			
2. Wood truss fabricator certification / quality control procedures	Verify shop fabrication and quality control procedures for wood truss plant.	Periodic	1		
3. Material Grading	Verify material grading for sawn lumber for compliance with construction documents. Verify manufactured lumber (LVL's, PSL's) for conformance with construction documents.	Periodic	1		
		None			
		Fabricator Exempt			
		Periodic	1		

1704.6 WOOD CONSTRUCTION							
4. Wood Connections	Verify that connections are made as shown in the contract documents. For connections not specifically detailed, verify conformance with IBC 2003 Ch. 23	Periodic			1		
5. Framing	Verify that framing is installed in accordance with construction documents.						
6. Pre-Fabricated Wood Trusses							
1704.7 SOILS							
1. Site Preparation	Inspect preparation of site for commencement with Geotechnical recommendations prior to placement of proposed fill.	None					
2. Fill Placement	During Fill Placement verify that material and lift thickness comply with approved Geotechnical report.	None					
1704.7 SOILS, con't							
3. In-Place Soil Density	Verify completion of in-place compacted dry density with approved Geotechnical report.						
1704.8 PILE FOUNDATIONS							
	Record installation and testing of procedures of each pile. Submit reports to building official and BOR. Reports to include pile tip cutoff elevation relative to a common benchmark.						
1704.10 ARCHITECTURAL WALL PANELS AND VENEERS	Verify compliance of attachment of interior and exterior Architectural veneers to supporting structure for building in Seismic Design Category B or F.						

1704.11 SPRAYED FIRE-RESISTANT MATERIAL	<p>1. Verify conformance of the prepared surface with manufacturer's specifications prior to application of material.</p> <p>2. Verify that substrate's ambient temperature meet manufacturer's specifications.</p> <p>3. Verify that material thickness meets design specifications.</p> <p>4. Verify that the material density meets the design specifications. Test in accordance with ASTM B 605.</p> <p>5. Verify that bond strength between material and substrate is greater than or equal to 150 psi. Test in accordance with ASTM B 736 and USC 2003 1704.11.5 f - 1704.11.5.2</p>			
1704.12 EXTERIOR AND INSULATION AND FINISH SYSTEMS (EIFS)	Verify conformance of EIFS installation with manufacturers and design specifications		Not Required if applied over a water resistive barrier with a means of draining moisture to the outside. Not required for EIFS installed over concrete or masonry walls.	
1704.13 SPECIAL CASES COLD FORMED METAL FRAMING				
1. Horizontal Diaphragms and Vertical Shearwalls	<p>a. Inspect sheathing size, grade, and thickness for conformance with construction documents.</p> <p>b. Inspect sheathing fastener size and pattern for conformance with construction documents.</p>			
2. Framing	Verify member size, thickness, material, and spacing is in accordance with design specifications and drawings.			
3. Wood truss fabricator certification / quality control procedures	Verify shop fabrication and quality control procedures for wood truss plant	None	Fabricator Exempt	1
4. Framing Connections	Verify that member connections are in accordance with design specifications and drawings.			
5. Welding	Verify welding of cold formed members is in accordance with design			

6. Light Gauge Trusses	<p>specifications and AWS standards.</p> <p>a. Verify that light gauge trusses are design in accordance with the loads specified on the contract documents.</p> <p>b. Verify that light gauge trusses and truss bracing is installed per manufacturers specifications, contract documents, and BCSI 1-03 guidelines.</p>				
1704.10 SMOKE CONTROL	<p>a. Test ductwork for leakage and recode device locations prior to concealment of mechanical systems. Prior to building occupation, perform pressure difference testing, flow measurements and detection, and control recording.</p>				



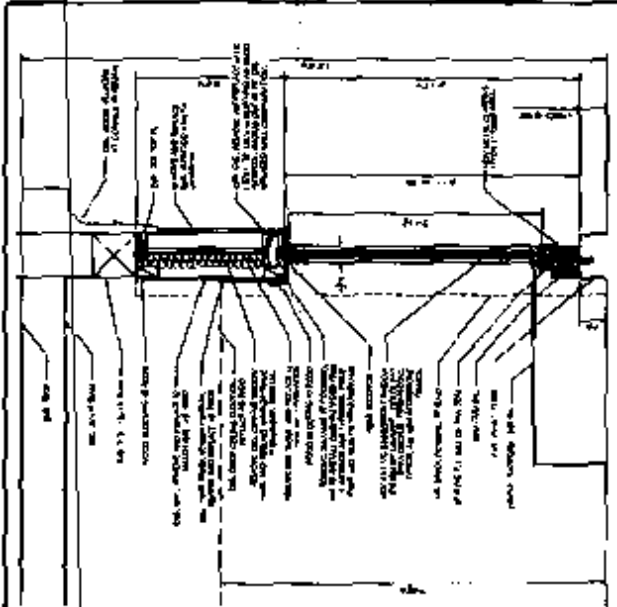
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ASSOCIATED DESIGN PARTNERS INC.
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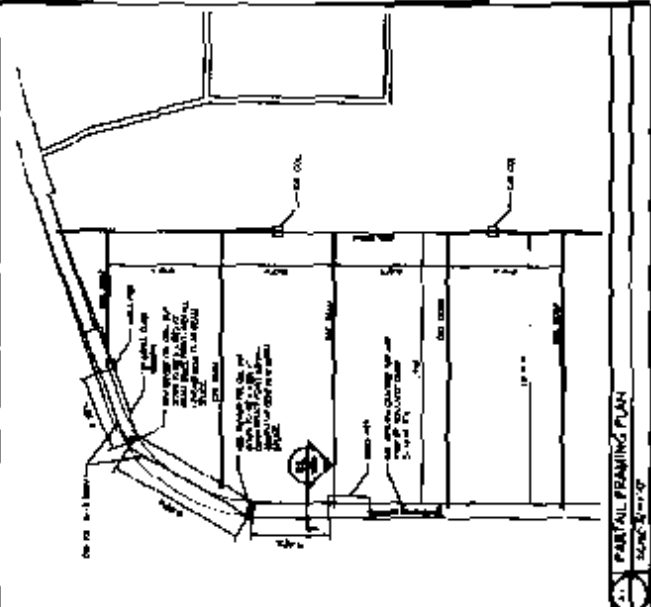
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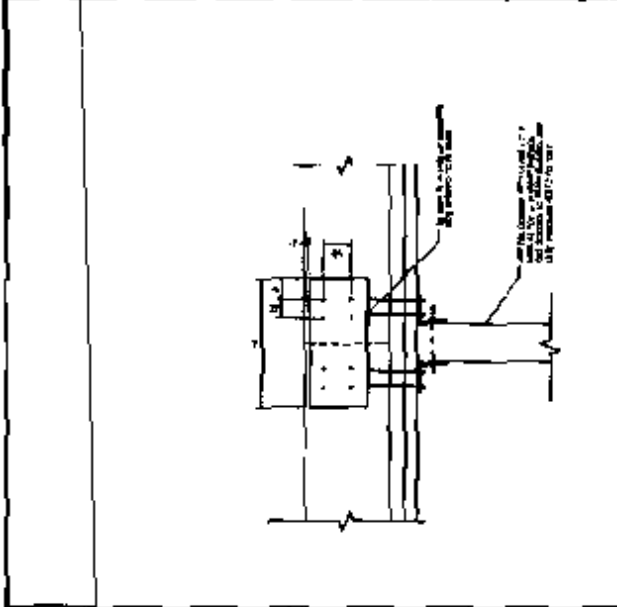
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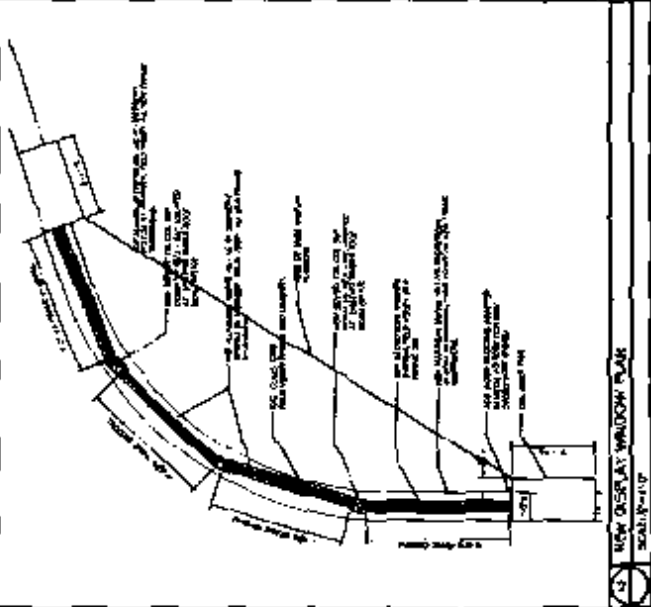
11 WALL SECTION AT DISPLAY WINDOW - LIKE KIND REPLACEMENT
 SCALE: 3/4" = 1'-0"



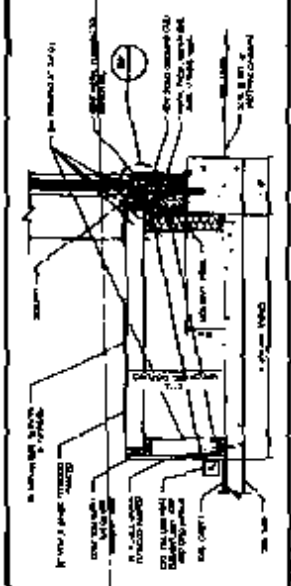
12 PARTIAL FRAMING PLAN
 SCALE: 3/4" = 1'-0"



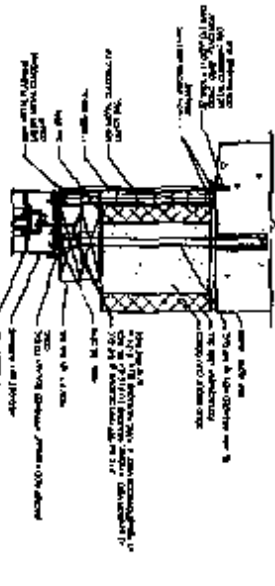
13 BEAM SPlice REINFORCEMENT DETAIL
 SCALE: 3/4" = 1'-0"



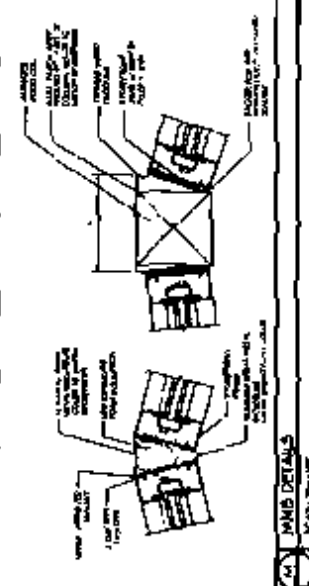
14 NEW DISPLAY WINDOW PLAN
 SCALE: 3/4" = 1'-0"



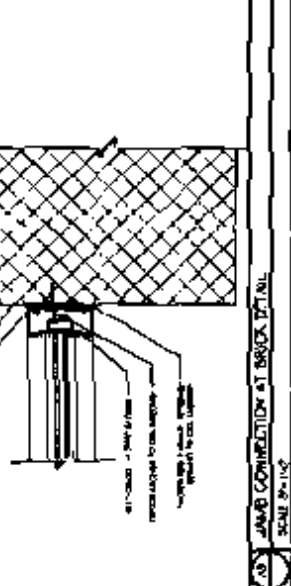
15 WINDOW SILL AND DISPLAY PLATFORM - LIKE KIND REPLACEMENT
 SCALE: 1/4" = 1'-0"



16 SILL CONNECTION DETAIL
 SCALE: 3/4" = 1'-0"



17 JOINT DETAIL
 SCALE: 3/4" = 1'-0"



18 SLAB CONNECTION AT BRICK DETAIL
 SCALE: 3/4" = 1'-0"