

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes. If Any, Attached

Permit Number: 090143

PERMIT ISSUED

MAY 10 2009

CITY OF PORTLAND

This is to certify that RICHMOND 606 FOREST DEVELOPMENT C/P.M. Construct

has permission to Walgreens Connected w/ permit 081576 Temp of trailer

AT 606 FOREST AVE CD 125 L006001

provided that the person or persons, firm or corporation accounting for this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise covered-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

- Fire Dept. _____
- Health Dept. _____
- Appeal Board _____
- Other _____
Department Name

Cheryl L. [Signature] 3/10/09
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0143	Issue Date: 3/10/09	CBL: 125 L006001
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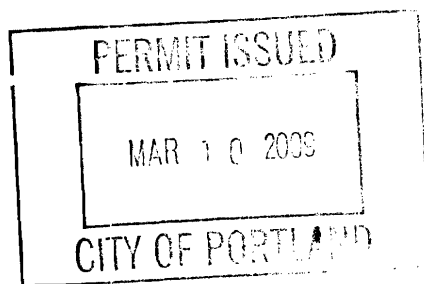
Location of Construction: 606 FOREST AVE	Owner Name: RICHMOND 606 FOREST DEVEL	Owner Address: 23 CONCORD ST	Phone:
Business Name:	Contractor Name: P.M. Construction	Contractor Address: 19 Industrial Park Road Saco	Phone: 2072827697
Lessee/Buyer's Name	Phone:	Permit Type: Construction Trailer	Zone: B-26

Past Use: Vacant Land	Proposed Use: Walgreens Connected w/ permit# 081576 - Temp office trailer construction	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 3
Proposed Project Description: Walgreens Connected w/ permit# 081576 - Temp office trailer construction		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied cost/for KG	INSPECTION: Use Group: B Type: JB IBC-2003 Signature: Chris 3/10/09	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____				

Permit Taken By: Ldobson	Date Applied For: 02/20/2009	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
OK w/condition Date: 2/23/09 3/10/09 ARM	Date: _____	Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>616 FOREST AVENUE</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>MAP</u> <u>12.5</u> <u>66, 67</u>	Applicant * must be owner, Lessee or Buyer* Name Address City, State & Zip	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>THE RICHMOND CO.</u> Address <u>23 CONCORD ST.</u> City, State & Zip <u>WILMINGTON, MA 01887</u>	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ <u>30.⁰⁰</u>
Current legal use (i.e. single family) _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>TEMPORARY JOB TRAILER</u>		
Contractor's name: <u>DM CONSTRUCTION CO.</u>		
Address: <u>19 INDUSTRIAL PARK ROAD</u>		
City, State & Zip: <u>SACON, ME 04072</u>		Telephone: <u>292-7697</u>
Who should we contact when the permit is ready: <u>MIME DIMATTEO</u>		Telephone: <u>229-8090</u>
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Mime Dimatteo Date: 2/19/09

This is not a permit; you may not commence ANY work until the permit is issue

FEB 20 2009

Ann Machado - 606-616 Forest Ave. - Walgreens Building Permit

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 3/9/2009 3:36 PM
Subject: 606-616 Forest Ave. - Walgreens Building Permit

Hi all, this project meets all DRC requirements for the issuance of the Building Permit. See UI for sign off.

Thanks.

phil

Ann Machado - 606 Forest

From: Molly Casto
To: Ann Machado; Barbara Barhydt; Chris Hanson
Date: 2/24/2009 3:01 PM
Subject: 606 Forest

Hi all-

Just wanted to close the loop on questions about 606 Forest Ave- Walgreens:

The applicant hasn't submitted a cost estimate or performance guarantee for the project yet (as of 2.24.09). I'm also waiting on final plans. They had to make some revisions to the Forest Ave entrance to address one remaining conditions of approval. Sounds like we need to issue a stop work order at this point until these items are addressed.

I have a call in to David LaTulippe from the Richmond Co.. I'm fine with being the bearer of bad news concerning the stop work order if he's not aware of it already. As soon as we receive final plans and \$\$, I'll sign off in UI and send around a follow-up email.

Thanks and don't hesitate to drop me a line if there are further questions.

Molly

Molly P. Casto, Senior Planner
Portland Planning Division
389 Congress Street
Portland, Maine 04101-3509
207-874-8901
MPC@portlandmaine.gov