

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

Permit Number: 061115

This is to certify that MCADAM THOMAS J & JANE A MCGOWAN JTS/G Har

has permission to 41 x 28 two story

AT 25 COTTAGE ST

125 H005001

PERMIT ISSUED

OCT 23 2006

provided that the person or persons who apply for and accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or services are provided. FOUR HOURS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

James Bouke 10/20/06
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1115	Issue Date:	CBL: 125 H005001
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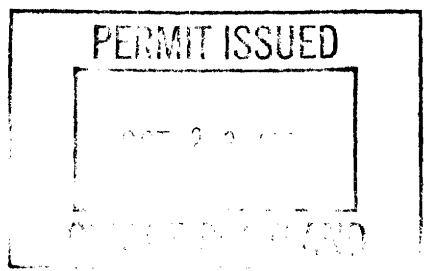
Location of Construction: 25 COTTAGE ST 58 Ashmont St.	Owner Name: MCADAM THOMAS J & JOLENE	Owner Address: 451 DEERING AVE	Phone:
Business Name:	Contractor Name: Glen Harmon	Contractor Address: Portland	Phone: 2078384025
Lessee/Buyer's Name	Phone:	Permit Type: Foundation Only/Residential	Zone: R5

Past Use: Vacant Land	Proposed Use: Single Family 41 x 28 two story	Permit Fee:	Cost of Work: \$146,500.00	CEO District: 3
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Proposed Project Description: 41 x 28 two story	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IR-2003
	Signature: <i>JMB 10/20/06</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: dmartin	Date Applied For: 07/25/2006	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>panel 13 - zone c</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2006-0137</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/cond. for</i> Date: <i>8/29/06</i> <i>JBN</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>JBN</i> Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

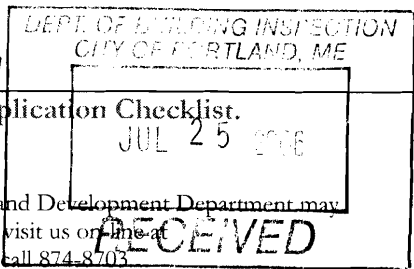
58 Ashmont St

Location/Address of Construction: <u>25 Cottage St. Portland MAINE</u>		
Total Square Footage of Proposed Structure <u>1008 sq ft FOUNDATION</u>		Square Footage of Lot <u>8946 sq. ft.</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>PLAN # 125, Block H, Lot 5</u>	Owner: <u>JOLENE MCGOWAN</u>	Telephone: <u>775-5958</u>
Lessee/Buyer's Name (If Applicable) <u>NA</u>	Applicant name, address & telephone: <u>JOLENE MCGOWAN 451 Deering Ave Portland, MAINE 04103</u>	Cost Of Work: \$ <u>9,500⁰⁰</u> Fee: \$ <u>120 + 300 = 420⁰⁰</u> C of O Fee: \$ <u>DUES</u>
Current Specific use: <u>Empty Lot</u> If vacant, what was the previous use? <u>Always been vacant</u> Proposed Specific use: <u>Single Family residence foundation</u> Project description: <u>Foundation for single family home.</u> <u>* August 14, 2006 brought in structural plans - so permit includes house too.</u> <u>Phase II to follow *</u> <u>Glen Harmon 838.402.5</u>		
Contractor's name, address & telephone: Who should we contact when the permit is ready: <u>JOLENE MCGOWAN</u> Mailing address: _____ Phone: <u>775-5958</u> <u>Cell 632.0538</u> <u>WK, 772.2199</u>		

147,000

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703



I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:	Date: <u>7-25-06</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

Applicant: Thomas McAdam
Julene McGowan

Date: 8/15/02

Address: 25 Cottage St.

C-B-L: 125-H-005
Permit # 06-1115

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R5

Interior or corner lot →

Proposed Use/Work - build anew
single family house

Sevage Disposal - city

Lot Street Frontage - 50' min. - 75.20' given

Front Yard - 20' min. 39.5' scaled to Bay window

Rear Yard - 20' min. 39.5' to end of house

Side Yard - 2 story - 12' min. 28' scaled to bay window
side street 15' min. 16' to house (scaled)

Projections - porch 5.5 x 6.5 w 1.75 x 4 steps, porch 6 x 5.75 w 1.75 x 5 steps
front bay 16' to side bay 2.5' to

Width of Lot - 60' min. 76' scaled

Height - 35' min. - 22.75' scaled

Lot Area - 6,500 sq ft min.

Lot Coverage Impervious Surface - 40% = 3507.6 sq ft

Area per Family - ~~6,500~~ 3,000 sq ft

Off-street Parking 2 spaces required - 40' x 16' space passed 15' setback including area of proposed garage

Loading Bays - N/A

Site Plan - minor/minor 2006-0137

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 13 - zone C

* no daylight basement

Bay = 25.5
Bay = 11 ft
1.75 x 5 = 8.75
6 x 5.75 = 34.5
5.5 x 6.5 = 35.75
1.75 x 4 = 7
5 x 14 = 70
5.5 x 21.5 = 118.25
30.5 x 28 = 854
1169.5 sq ft

STATE OF MAINE
CHIMNEY OR FIREPLACE CONSTRUCTION/INSTALLATION DISCLOSURE

Dear Consumer: State law, specifically 32 M.R.S.A. § 2313-A, requires that chimney or fireplace installers, as of January 1, 1992, provide you with this "Disclosure" prior to the installation or construction of your chimney or fireplace. The purpose of this Disclosure is to inform you that the National Fire Protection Standard #211 (NFPA #211) is the current standard which applies to all new construction of chimneys and fireplaces. Please note that the State of Maine does not require registration or licensure of chimney or fireplace installers. It is important to realize that many fires are caused each year from improperly constructed fireplaces and chimneys. This disclosure form should help you in making an informed decision as to the abilities of the installer and under what requirements the installation must comply.

INSTALLER INFORMATION

Name of Installer:		D/B/A:	
Name of Installer (if incorporated):		D/B/A:	
Legal Address:			
City:	State:	Zip Code:	
County:	Home Telephone: () -		
	Work Telephone: () -		
Years of experience doing fireplace or chimney installations:			

CONSUMER INFORMATION

Name of Consumer:			
Mailing Address:			
City:	State:	Zip Code:	
County:	Home Telephone: () -		
	Work Telephone: () -		

Installer, please give a brief description of installation being offered: _____

I hereby attest that the preceding information provided is true to the best of my knowledge. I also understand that if I fail to conform with the standards as outlined in NFPA #211 that I shall be subject to penalties as outlined in Title 32, M.R.S.A., Chapter 33 and the Oil and Solid Fuel Board Rules.

Signature of Installer: _____ Date: _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1115	Date Applied For: 07/25/2006	CBL: 125 H005001
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Location of Construction: 58 Ashmont ST	Owner Name: MCADAM THOMAS J & JOLENE	Owner Address: 451 DEERING AVE	Phone:
Business Name:	Contractor Name: Glen Harmon	Contractor Address: Portland	Phone: (207) 838-4025
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family 41 x 28 two story	Proposed Project Description: 41 x 28 two story
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 08/17/2006

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall be a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 4) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure it may be required to be located by a surveyor.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 10/20/2006

Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 3) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 4) As discussed, hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 5) Now using ICF for foundation, will not need to insulate the basement ceiling.
- 6) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.

Dept: Engineering **Status:** Approved **Reviewer:** Jessica Hanscom **Approval Date:** 08/21/2006

Note: ASSIGNED ADDRESS 58 ASHMONT ST BASED ON APP. NO. 2006-0137. **Ok to Issue:**

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 09/11/2006

Note: received app. on 8/21!
Sent comments 8/22, **Ok to Issue:**

- 1) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 3) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.

Location of Construction: 58 Ashmont ST	Owner Name: MCADAM THOMAS J & JOLENE	Owner Address: 451 DEERING AVE	Phone:
Business Name:	Contractor Name: Glen Harmon	Contractor Address: Portland	Phone: (207) 838-4025
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 4) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Dept: Planning **Status:** Approved **Reviewer:** Jay Reynolds **Approval Date:** 09/11/2006

Note: **Ok to Issue:**

Comments:

09/08/2006-jmb: Spoke w/Tom McAdam, to explain checklist items, he will probably request a foundation only permit on 9/8

09/25/2006-jmb: Received foundation info, issued foundation only permit

10/08/2006-jmb: Received addendum, still not clear on bay header

10/17/2006-jmb: New addendum, header not clear

10/20/2006-jmb: New addendum, header will be 3-LvL's similar to dormer headers, ok to issue

09/19/2006-jmb: Left vm w/Tom M. Inquiring if he dropped off the foundation plans for approval as I have not seen anything.

07/31/2006-dmartin: Jeannie spoke with the owner on Fri asking for elevations, when they come this will be routed to zoning/ dm

08/14/2006-dmartin: Requested plans came in today application being routed to zoning.

08/15/2006-amachado: Spoke to Jolene. The footprint of the house on the site plan and the blue prints does not match up. She was going to call her architect and have the architect call me.

08/16/2006-amachado: Spoke to architect Glen Harmon. He will get the site plan updated to match the building plans. He said that the garage is not being built at this point.

08/17/2006-amachado: Tom McAdam came in and made the changes on the site plan.

From: "Jodi & Glenn" <glhjrm@earthlink.net>
To: "Jeanie Bourke" <JMB@portlandmaine.gov>
Date: 10/19/2006 6:28:58 PM
Subject: Re: McAdam residence

Right, we can order all the same LVL and use throughout: (3) 1-3/4 x 9-1/4

Bay Headers

> [Original Message]
> From: Jeanie Bourke <JMB@portlandmaine.gov>
> To: <glhjrm@earthlink.net>
> Date: 19/10/2006 09:02:36
> Subject: Re: McAdam residence
>
> Glen,
> I think there is some confusion here....the header or beam that carries
> the floors at the bay windows was originally listed as
> 3-2x10's, this is not enough. Even 3-2x12 only span 8'-10", for a 28'
> building. So I guess I could put on the addendum that it will be
> LVL's.....can you confirm....
> thanks
>
>>> "Jodi & Glenn" <glhjrm@earthlink.net> 10/17/2006 8:21:07 PM >>>
>
> Thus, as previously discussed.
>
> G
>
>> [Original Message]
>> From: Jeanie Bourke <JMB@portlandmaine.gov>
>> To: <glhjrm@earthlink.net>
>> Date: 12/10/2006 13:10:27
>> Subject: Re: McAdam residence
>>
>> What did you mean to put on Sheet A6 for the "bay header"
>>
>>>> "Jodi & Glenn" <glhjrm@earthlink.net> 10/08/2006 8:21:56 PM >>>>
>>
>> Anything else, let me know, thanks
>> Glenn
>>
>> Jeanie Bourke
>> Inspections Services Division Director
>>
>> City of Portland
>> Planning Dept./ Inspections Division
>> 389 Congress St. Rm 315
>> Portland, ME 04101
>> jmb@portlandmaine.gov
>> (207)874-8715
>
>
> Jeanie Bourke
> Inspection Services Division Director
>
> City of Portland

ADDENDUM

Project: McAdam/McGowan residence

Date: 17 October 2006

The following items are hereby appended to the plan set and shall be considered as part of the contract documents. In case of conflict, this Addendum supercedes the original drawings.

Sheet A1 & A2

1. At the bay and roof deck railings, ADD the following note: "Guardrail minimum 42" height above deck, 1" sq nom balusters 4" OC typical"
2. Roof deck is 1 x 6 nominal decking in 2 x 4 sleepers floating on membrane roofing supported by 2 x 10 rafters 16" OC
3. Fasteners shall be in accordance with IRC Table R602.3
4. Typical bedroom windows: Andersen 400 TW3046. Provide tempered glass at stair windows

Sheet A3

1. Thickened slab detail (attached) applies at lally column foundation (chimney base similar).
2. At the Typical Foundation Detail, ADD the following note: "Damproofing per IRC"
3. CHANGE the designation of the garage from "Existing" to "Future".

Sheet A4

1. Chimney clearance minimum 2" to combustibles
2. At the stairs, ADD the following notes: "Treads min 10", risers max 7.75", winders min 10" at 12" from springpoint, 6" min at smallest point. Handrail 34" one side (1.5" diameter)

Sheet A5

1. Provide attic access via a pull-down Brosco Excel 22X48 stair located in the hall

Sheet A6

1. Add the following general note: perimeter Insulation values: R-13 at 4' perimeter slab, U-factor 0.35, walls R-19, cap R-38, ~~10" batts at first floor joists~~
2. ADD the following notes to the section: "Bay header min (2) 2 x 12s @ 12 OC"
3. ADD the following notes to the dormer section: "Header 3-1.75 x 9.25 LVL header typical"

not
correct

ADDENDUM

Project: McAdam/McGowan residence

Date: 8 October 2006

The following items are hereby appended to the plan set and shall be considered as part of the contract documents. In case of conflict, this Addendum supercedes the original drawings.

Sheet A1 & A2

1. At the bay and roof deck railings, ADD the following note: "Guardrail minimum 42" height above deck, 1" sq nom balusters 4" OC typical"
2. Roof deck is 1 x 6 nominal decking in 2 x 4 sleepers floating on membrane roofing supported by 2 x 10 rafters 16" OC
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Sheet A5

1. Provide attic access via a pull-down Brosco Excel 22X48 stair located in the hall

Sheet A6

1. Add the following general note: perimeter Insulation values: R-13 at 4' perimeter slab, U-factor 0.35, walls R-19, cap R-38, 10" batts at first floor joists
2. ADD the following notes to the section: "Bay header - 4-2x10 of LVL'S"
3. ADD the following notes to the dormer section: "Header 3-1.75 x 9.25 LVL header typical"



From: Jeanie Bourke
To: glhjm@earthlink.net
Date: 10/02/2006 3:58:30 PM
Subject: Re: McAdam residence

Hi Glen,

There are a few items missing or still not clear:

10. The dormer header I was referring to was in the roof framing of the dormers....that is an 8'-6" span, the bay span is a 11'-6" and 3-2x12 only spans 8'-10" carrying 1 floor of a 28' wide structure.
11. The r-factor of the slab perimeter is not continuous above grade, so the other option is to insulate the basement ceiling with r-21.
12. On winder, need mention of 6" min. at narrowest point
14. Guard height on decks and opening limitations

Thanks

>>> <glhjm@earthlink.net> 09/28/2006 2:16:56 PM >>>
Reply to checklist items:

- 1,2 & 3 previously addressed
4. Roof deck is 1 x 6 nominal decking in 2 x 4 sleepers floating on membrane roofing supported by 2 x 10 rafters 16" OC
5. Fasteners shall be in accordance with IRC Table R602.3 (a copy will be appended to the drawings issued)
6. Bedroom windows are Andersen 400 TW3046 (meets 5.7 SF clear opening for egress)
7. Tempered glass shall be ordered for stair windows
8. Attic access shall be via a pull-down Brosco Excel 22X48 stair
9. Chimney clearance minimum 2" to combustibles
10. Headers at dormer have intermediate mullion studs cutting span into thirds. Bay header upgraded to 2 x 12s will give us over 9' span.
11. Insulation values: U-factor 0.35, walls R-19, cap R-38, slab perimeter R-13 at 4'
12. Treads 10", risers 7.75" max, winder tread 10" at 1'-0" from spring point
13. 6'-8" clear headroom
14. 1-1/2" diameter handrail 34" above nosing (also serves as guardrail R312.1)

Let me know if you need anything else, thanks.

Glenn

Jeanie Bourke
CEO/Plan Reviewer

City of Portland
Planning Dept./ Inspections Division
389 Congress St. Rm 315
Portland, ME 04101
jmb@portlandmaine.gov
(207)874-8715

From: <glhjr@earthlink.net>
To: Jeanie Bourke <JMB@portlandmaine.gov>
Date: 09/28/2006 2:20:32 PM
Subject: McAdam residence

Reply to checklist items:

- 1,2 & 3 previously addressed
4. Roof deck is 1 x 6 nominal decking in 2 x 4 sleepers floating on membrane roofing supported by 2 x 10 rafters 16" OC
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Let me know if you need anything else, thanks.

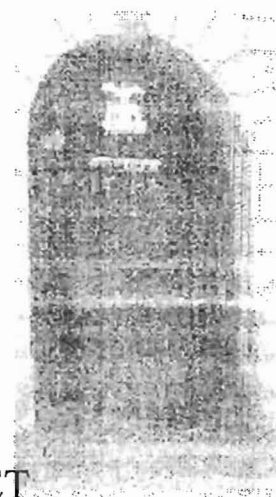
Glenn

Not window - Roof Framing
 3 x 2x10 = span is 11"
 A pan is 8'6"
 7'10"
 ? not a slab
 ? narrow point
 ? Spacing
 ? Ext deck rail

City of Portland
INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693
Facsimile: 207-874-8716



FACSIMILE TRANSMISSION COVER SHEET

TO: <u>Tom McAdam</u>	FROM: <u>Jeanie Bourke</u>
FAX NUMBER: <u>626-3612</u>	NUMBER OF PAGES, WITH COVER: <u>4</u>
TELEPHONE: <u>531-8620</u>	RE: <u>Plan review checklist</u>
DATE: <u>8/29/06</u>	<u>58 Ashmont BP# 06-1115</u>

Comments:

58 Ashmont (25 cottage) 125-14-5
06-115

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1) _____				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	Footing 30" X 10" Wall 10" scaled on plan to spec	* Footing projection from wall should not exceed the footing thickness	OK	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	drain pipe, stone, fabric	? Damp proof	OK on permit	①
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	shown in crawl space area	OK		
Anchor Bolts/Straps, spacing (Section R403.1.6)	5/8 bolt x 1' 4" o.c. 1' to cuts corners	OK		
Lally Column Type (Section R407)	3 1/2 lally			
Girder & Header Spans (Table R 502.5(2))	none given	?	OK on Foundation permit	②
Built-Up Wood Center Girder Dimension/Type	" "	?		③
Sill/Band Joist Type & Dimensions	2x6 PT 2x10	OK		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" o.c. ? Eng truss?	OK		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" o.c.	OK		
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x8 ceiling joists 16" o.c.	OK		

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x10 @ 16" O.C. 2x8 Dormers	OK see addendum ? Roof deck over mud room	4
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	3/4 T&G, 1/2", 5/8 OSB w/clips		
Fastener Schedule (Table R602.3(1) & (2))	not given	? OK see Addend.	5
Private Garage (Section R309) Living Space ? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	No Garage Permitted		
Emergency Escape and Rescue Openings (Section R310)	not given	? OK see Addendum	6
Roof Covering (Chapter 9)	Asphalt	OK	
Safety Glazing (Section R308)	needed in → stairwells - not shown	? OK see Addend.	7
Attic Access (Section R807)	not shown	? OK pull down "	8
Chimney Clearances/Fire Blocking (Chap. 10)	not given	? OK 2" "	9
Header Schedule (Section 502.5(1) & (2))	none 3-2x10 @ bay max span 7'7" not enough 8'6" dormer header not Adequate - 2-2x10 = 6'3" (4-2x10 = 9'1")	? ? shown in Rafter	10
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	? Foundation insulation or floor @ 1st? Wall - R-19 ceiling - R-38	? U Factor windows OK	11

Type of Heating System	FHW 011	OK
Means of Egress (Sec R311 & R312) Basement	yes - no Egress -	condition - not habitable
Number of Stairways	5	
Interior	2	
Exterior	3	
Treads and Risers (Section R311.5.3)	not given winder not to code	? OK
Width (Section R311.5.1)	3+ Scaled	OK Addendum
Headroom (Section R311.5.2)	?	? 3
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	?	? 4
Smoke Detectors (Section R313) Location and type/Interconnected	not given	? OK condition condition
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)	N/A	
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A	
Deck Construction (Section R502.2.1)	N/A	

Tom McAdam

From: Ann Machado [AMACHADO@portlandmaine.gov]
Sent: Friday, January 13, 2006 11:02 AM
To: Tom McAdam
Subject: Buidable lot at 25 Cottage Street

Tom -

You have asked our office if 25 Cottage Street is a buildable lot. 25 Cottage Street is in the R5 Zone. A single family home in the R5 zone must meet the following requirements:
-Minimum lot size 6,000 square feet - Assessors map shows the square footage of 25 Cottage St. as 8769 square feet

- Minimum lot area per dwelling unit - 3,000 square feet
- Minimum street frontage 50 ' - assessors map shows 77' on Cottage Street
- Minimum lot width 60' - This depends on the orientation of the house but the lot is 77' wide at one end & 71.7' wide at the other so it should be able to be met
- Minimum yard dimensions - Front yard 20' setback
 - Rear yard 20' setback
 - Side yard 1 & 1 ½ stories 8' setback
 - 2 stories 12' setback
 - 2 ½ stories 14' setback
- Side yard on side street 15' setback

* -Maximum lot coverage 40%.

Looking at the above requirements, the lot does meet the lot size, minimum lot area per dwelling unit, minimum street frontage and it could meet the minimum lot width. Looking at the yard dimensions, a reasonable house could be built that met those requirements.

This is not an approval to build a house. We can only make a final determination on a specific house request when a permit with all the appropriate submittals has been applied for and reviewed along with a site plan submittal. There are also other review processes such as building code review that an applicant must go through before the permit is approved. Zoning is only one piece in the permit review process.

I hope that this helps. Please feel free to contact me if you have any questions.

Sincerely,
Ann Machado

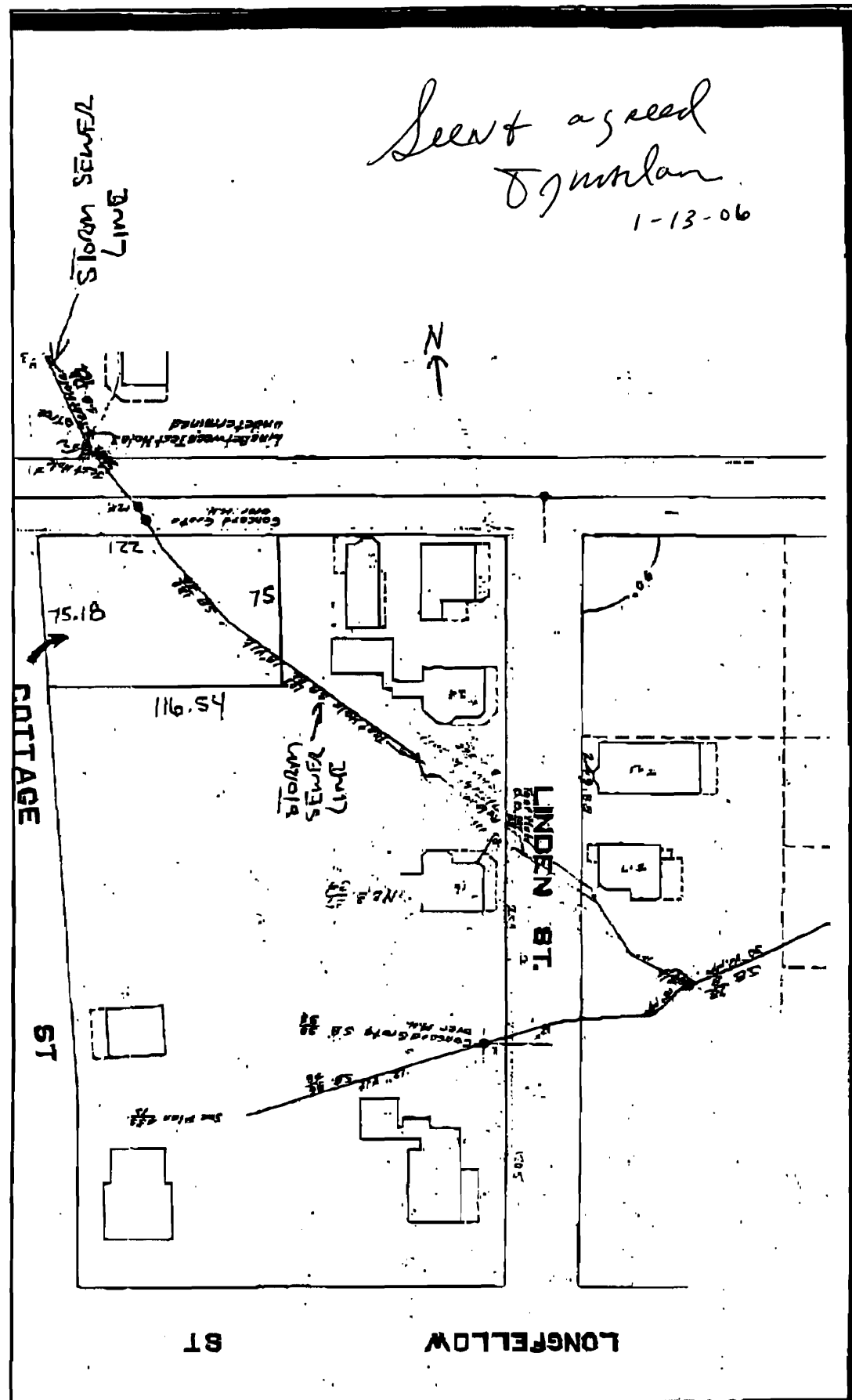
Zoning Specialist
(207) 874-8709

25 Cottage is a buildable lot.
Thomas J. McAdam 1-13-06

Tom McAdam

From: David Peterson [DEP@portlandmaine.gov]
Sent: Tuesday, February 28, 2006 9:18 AM
To: Tom McAdam
Subject: Fwd: Coyles Gully sewer at #25 Cottage Road

>>> David Peterson 2/15/2006 10:24:18 AM >>>
R e: your request on the status of this old combined sewer crossing
this property from Ashmont st towards Linden st. is no longer being used
by the City for this purpose. We dye tested the sanitary systems at 48
and 52 Ashmont St. in Jan. of this year confirming that they discharge
into other city's sewer systems. These two addresses were the only two
that was questionable to where their systems discharged to.
I would suggest to you that this pipe be exposed where it leaves this
property and sealed with a masonry plug also at this time confirming
this pipe is indeed no longer transporting sanitary sewer by notifying
Public Works Dept. or myself.
DEP



From: Ann Machado
To: j3mcgowan@aol.com
Date: 8/16/2006 1:56:23 PM
Subject: 25 Cottage Street

Jolene -

The site plan does not match the building plans. Glenn Harmon said that the building plans are correct so the site plan must match the building plans.

1. The foundation on the left side of the building (facing Ashmont Street) on the building plan extends 30.5' from the backside towards the front. Then it indents 6.5 ' towards the right side and then extends 5.5' towards the front. The foundation on the site plan needs to match this.
2. The position of the bay window on the front of the house needs to match the building plan.
3. The bulkhead needs to be taken off of the site plan.
4. The steps that come off of the entry porch on the left side of the building must go towards Ashmont Street.
5. If the garage is not part of this permit then the footprint of it must be taken off of the site plan and the house plans.

Once I get the revised site plan than I can finish my zoning review and pass the permit forward.

Ann Machado
Zoning Specialist
874-8709

From: Ann Machado
To: J3mcgowan@aol.com
Date: 8/17/2006 7:44:29 AM
Subject: Re: 25 Cottage Street

You can make the alterations by hand and initial it but it must be clear. We are open from 8-1 today. We are open tomorrow from 8-4 but I will not be here.

Ann

>>> <J3mcgowan@aol.com> 8/16/2006 4:28:16 PM >>>
Hi Ann. Thank you for sending this.

Can any of this be altered by hand and initialed by us to avoid having new site plans done?

If we are within the setback area of the zoning, do we have any flexibility in what you see in the site plan? In other words if there is anything we can do to avoid redoing the whole site plan, we'd like to. Thank you. Jolene

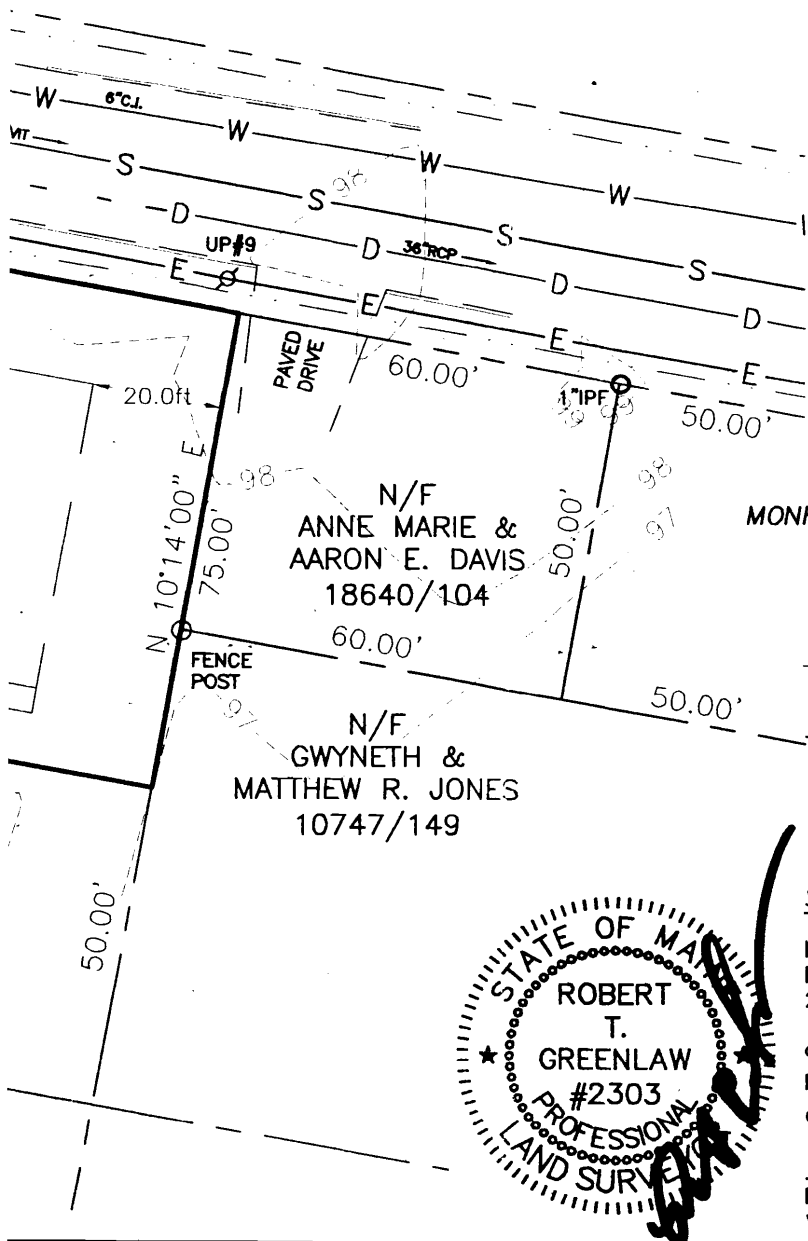
GENERAL NOTES:

1. RECORD OWNER OF PARCEL: THOMAS J. MCADAM AND JOLENE A. MCGOWAN, BOOK 23608 PAGE 26, AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 3 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
3. AREA OF SUBJECT PARCEL: 8,946.4 SQ. FT. 0.21 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) CITY OF PORTLAND, MAINE, ASSESSORS PLAN, NO. 125, BLOCK H, LOT 5, DATED: RETRACED 4-5-67.
5. THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF OF THIS SURVEY.
6. ZONING: R-5 RESIDENTIAL
SETBACKS: FRONT - 20 FT
REAR - 20 FT
SIDE - 1-1/2 STORY: 8 FT; 2 STORIES: 12 FT
ON SIDE STREET: 15 FT
MINIMUM LOT SIZE: 6,000 SQ FT
MINIMUM LOT FRONTAGE: 50 FT
MAXIMUM BUILDING HEIGHT: 35 FT
MAXIMUM LOT COVERAGE: 40%

7. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 13B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

8. ELEVATIONS ARE BASED UPON AN ASSUMED VALUE OF 100.00' AT MONUMENT FOUND ON NORTHEASTERLY SIDELINE OF ASMONT STREET AT INTERSECTION WITH COTTAGE STREET, LABELED "TBM: ELEV. 100.00."

59'
3.37'
89.32'



LEGEND

- MONF W/DH ⊙ Monument Found With Drill Hole
IPF ○ Iron Pipe Found
(50.00') Distance from reference plan or deed.
N/F Now Or Formerly
— Z — Indicates Ownership in Common
⊕ Utility Pole
— E — Overhead Utility
— — — Abutter Line
— — — Property Line
— — — Street Line

- ⊙ Sewer Manhole
⊕ Drain Manhole
⊠ Catch Basin
12345/99 Deed Book/Page of Local Registry
VT Vitrified Clay Pipe
RCP Reinforced Conc. Pipe
C.I. Cast Iron
→ Direction of Flow
— — — Edge of Traveled Way
— — — Setback Line
- - - 98 - - - Existing Contour Line

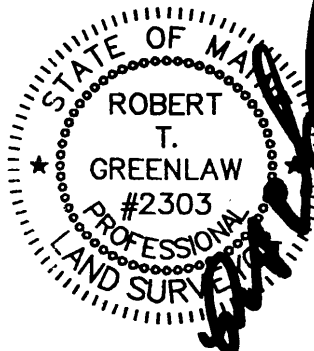
SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION
- c) NO NEW CORNERS SET

DATE: MARCH 31, 2006

ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.



MINOR SITE PLAN
EXISTING CONDITIONS
25 COTTAGE STREET, PORTLAND, MAINE
THOMAS J. MCADAM

FOR:

DRAWN BY: PJM
CHECKED BY: RTG
SCALE: 1"=30'
DATE OF SURVEY: 03/20/2005
JOB NUMBER: 2006008
SHEET: 1 OF 3

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
643 FOREST AVENUE
PORTLAND, MAINE 04101
207-774-2855 FAX 207-347-4346
DRAWER: 2006 NO: 008

Garage to be built at later date
 T. Greenlaw
 8-17-06

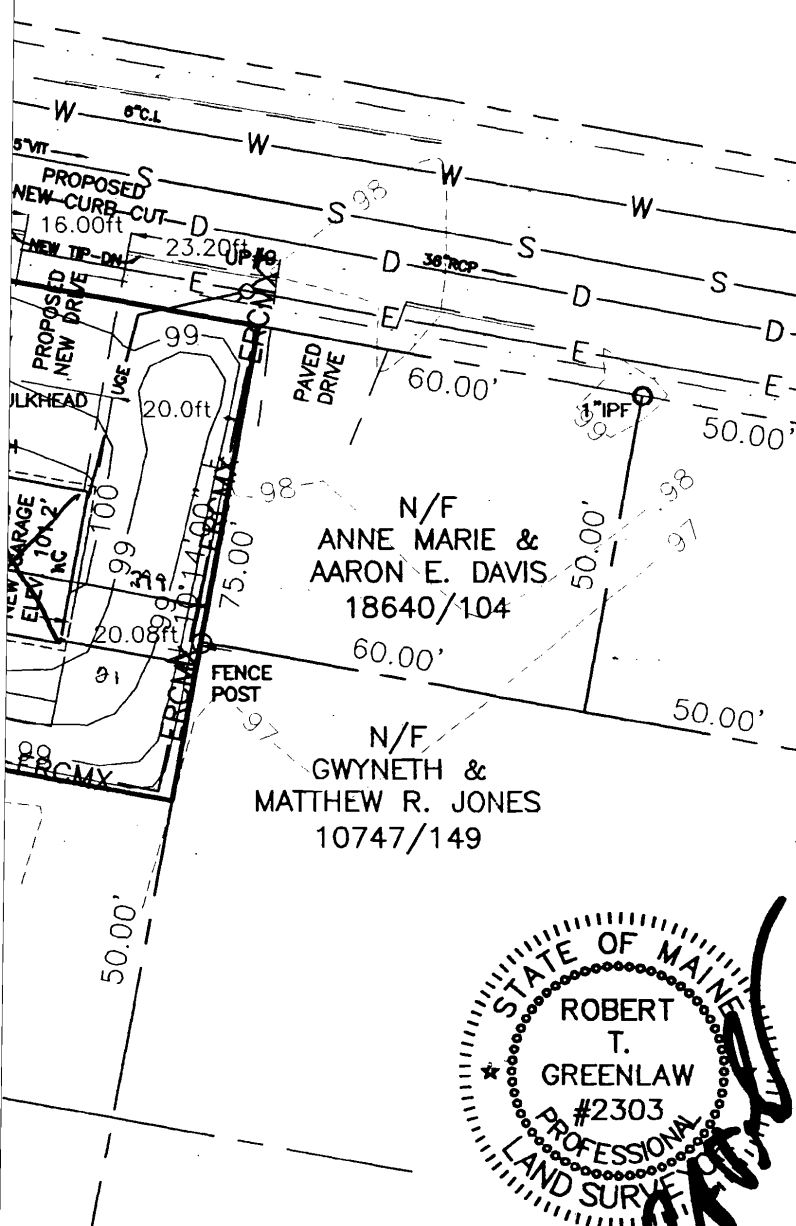
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6. ZONING: R-5 RESIDENTIAL
 SETBACKS: FRONT - 20 FT
 REAR - 20 FT
 SIDE - 1-1/2 STORY: 8 FT; 2 STORIES: 12 FT
 ON SIDE STREET: 15 FT
 MINIMUM LOT SIZE: 6,000 SQ FT
 MINIMUM LOT FRONTAGE: 50 FT
 MAXIMUM BUILDING HEIGHT: 35 FT
 MAXIMUM LOT COVERAGE: 40%

PROPOSED DWELLING AND DRIVEWAY COVER APPROX 25% OF LOT, MEETS ABOVE REQUIREMENTS.

7. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 13B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

8. NOTE: 4"± LOAM TO BE ADDED TO EXISTING CONDITIONS.



MONF		LEGEND	
W/DH	☐ Monument Found With Dirll Hole	⊙	Sewer Manhole
IPF	○ Iron Pipe Found	⊕	Drain Manhole
(50.00')	Distance from reference plan or deed.	□	Catch Basin
N/F	Now Or Formerly	12345/99	Deed Book/Page of Local Registry
3'-Offset Line		VIT	Vitrified Clay Pipe
○	Utility Pole	RCP	Reinforced Conc. Pipe
E	Overhead Utility	C.I.	Cast Iron
—	Abutter Line	→	Direction of Flow
—	Property Line	—	Edge of Traveled Way
—	Street Line	—	Setback Line
—	ERC MX - Erosion Control Mix	— 98	Existing Contour Line
		— 98	New Contour Line

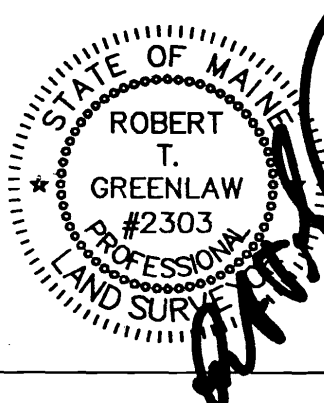
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ROBERT T. GREENLAW P.L.S., #2303
 V. PRESIDENT BACK BAY BOUNDARY, INC.



MINOR SITE PLAN
 PROPOSED NEW DWELLING
 25 COTTAGE STREET, PORTLAND, MAINE
 FOR: THOMAS J. MCADAM

DRAWN BY: PJM	CHECKED BY: RTG	SCALE: 1"=30'	DATE OF SURVEY: 03/20/2006
JOB NUMBER: 2006008	SHEET: 2 OF 3		

PREPARED BY:
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