

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

PERMIT ISSUED

Permit Number: 101167

OCT 14 2010

Please Read  
Application And  
Notes, If Any,  
Attached

This is to certify that DAMBRIE NICHOLAS FRANKLYN / Main Construction Company  
has permission to install 2 dormers on the roof, remove of & fix concrete floor  
AT 14 COTTAGE ST City of Portland  
CE 125 G006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1167	Issue Date:	CBL: 125 G006001
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Location of Construction: 14 COTTAGE ST	Owner Name: DAMBRIE NICHOLAS FRANKLY	Owner Address: 14 COTTAGE ST	Phone:
Business Name:	Contractor Name: Maine Construction Consultants / To	Contractor Address: 14 Hanover St Portland	Phone: 2072328134
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5

Past Use: 2 unit residential	Proposed Use: 2 unit residential - install 2 dormers on the roof, re-roof & fix basement concrete floor	Permit Fee: \$520.00	Cost of Work: \$50,000.00	CEO District: 3
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FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	INSPECTION: Use Group: R3 Type: SB IRC, 2003
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Proposed Project Description: install 2 dormers on the roof, re-roof & fix basement concrete floor	Signature:	Signature:
	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Signature:	Date:

Permit Taken By: ldobson	Date Applied For: 09/17/2010	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK w/ conditions Date: 9/30/10	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date:
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PERMIT ISSUED

OCT 14 2010

City of Portland

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
10-1167	09/17/2010	125 G006001

Location of Construction:	Owner Name:	Owner Address:	Phone:
14 COTTAGE ST	DAMBRIE NICHOLAS FRANKLY	14 COTTAGE ST	
Business Name:	Contractor Name:	Contractor Address:	Phone
	Maine Construction Consultants / To	14 Hanover St Portland	(207) 232-8134
Lessee/Buyer's Name	Phone:	Permit Type:	
		Additions - Dwellings	

Proposed Use:	Proposed Project Description:
2 unit residential - install 2 dormers on the roof, re-roof & fix basement concrete floor	install 2 dormers on the roof, re-roof & fix basement concrete floor

Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 09/30/2010
Note: Using section 14-436(a). First floor footprint is 1312 sf, 50% is 656 sf. Adding 82.98 sf total which is 12.65%.			Ok to Issue: <input checked="" type="checkbox"/>
1) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Jonathan Rioux	Approval Date: 10/14/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Maintain the two-family dwelling unit separation by wall, and or floor assemblies having not less than 1-hour fire-resistance-rating in accordance with ASTM E 119.			
2) Fastener schedule per the IRC 2003			
3) Hardwired interconnected battery backup smoke detectors, and a Carbon Monoxide Detector hardwired, or plug in with battery backup shall be installed in all bedrooms, protecting the bedrooms, and on every level.			
4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.			

**Comments:**

9/29/2010-amachado: Spoke to Tom Blackburn. Need to know the amount of floor area that is being added. He will get me the information.

9/30/2010-amachado: Meet with Tom Blackburn. Got scalable plans to show increase in floor area.

10/14/2010-jrioux: Met with Contractor to answer fire separation: window, existing stairwell arraignment concerns.

10/14/2010-jrioux: Contractor stated egress window will be provided for bedroom.

## **BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

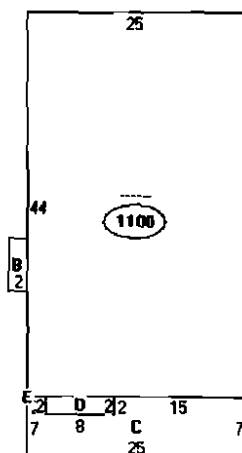
- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

  X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

  X   **Final inspection required at completion of work.**

**The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**



Descriptor/Area
✓ 1100 sqft
✓ D2FBAY/B 12 sqft
✓ CWD/DP 150 sqft
✓ D2FBAY/B 18 sqft
✓ ETAG1 300 sqft

$$\begin{array}{r}
 \text{1112} \\
 + 175 \\
 \hline
 1287 \\
 585 = \quad 25 \\
 \hline
 1312
 \end{array}$$

# THIS IS NOT A BOUNDARY SURVEY

SITE INSPECTION OF: DEED BOOK 13654 PAGE 227 COUNTY Cumberland  
 PLAN BOOK -- PAGE -- LOT --

ADDRESS: 14 Cottage Street, Portland, Maine

Job Number: 583-29-A

Inspection Date: 5-25-10

Owner: Nicholas F. Dambrie

Scale: 1" = 20'

P-5

lot size 5454 $\phi$

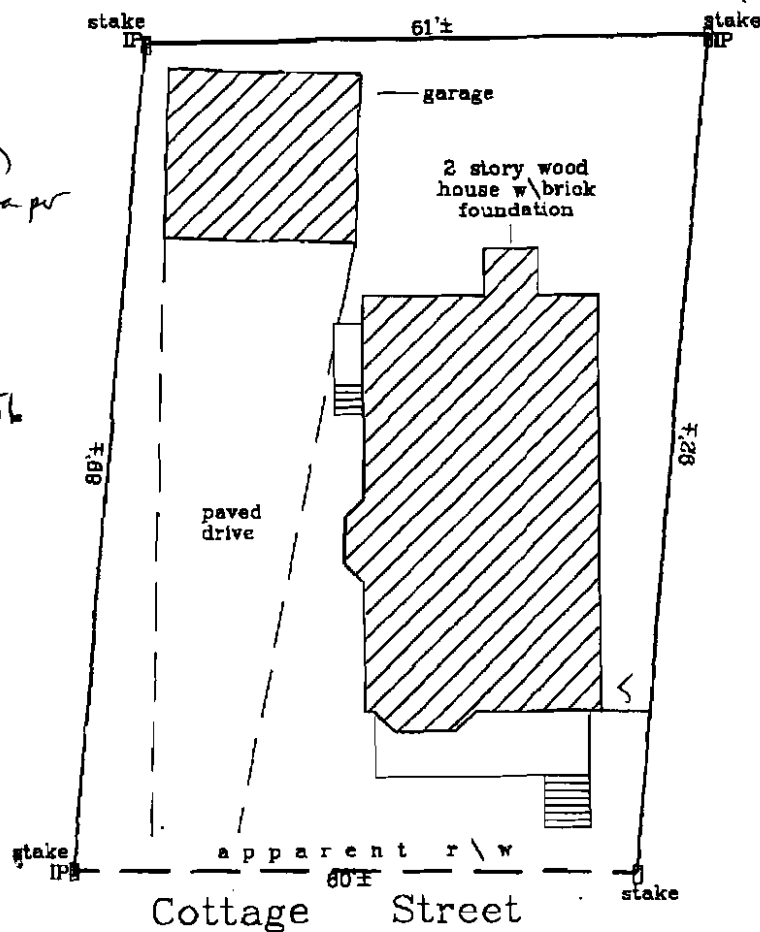
Sidewalk - 12'

5' scaled

Use section 14-436(a)  
 not met land area per  
 div.

61' floor footprint

1312 50% = 656



APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

Copyright

**Livingston-Hughes**

Professional Land Surveyors

88 Guinea Road

Kennebunkport, Maine 04048

207-967-9761 phone 207-967-4831 fax

[www.livingstonhughes.com](http://www.livingstonhughes.com)

THIS IS A SKETCH OF EXISTING CONDITIONS ONLY



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>14 COTTAGE STREET</u>			
Total Square Footage of Proposed Structure/Area <u>1100 SF</u>		Square Footage of Lot <u>5454</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>125</u> <u>4</u> <u>6</u>		Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>NICHOLAS DAMBRE</u> Address <u>14 COTTAGE ST</u> City, State & Zip <u>PORTLAND, ME 04103</u>	
Telephone: <u>318-5451</u>			
Lessee/DBA (If Applicable)		Owner (if different from Applicant) Name <u>SAME</u> Address City, State & Zip	
		Cost Of Work: \$ <u>50,000 -</u> C of O Fee: \$ _____ Total Fee: \$ <u>520</u>	
Current legal use (i.e. single family) <u>TWO FAMILY</u> Number of Residential Units <u>2</u>			
If vacant, what was the previous use? _____			
Proposed Specific use: <u>SAME</u>			
Is property part of a subdivision? <u>NO</u> If yes, please name _____			
Project description: <u>INSTALL 2 DORMERS ON THE ROOF</u> <u>RE ROOF + FIX BASEMENT CONCRETE FLOOR</u>			
Contractor's name: <u>MAINE CONSTRUCTION SERVICES</u>			
Address: <u>14 HANOVER ST</u>			
City, State & Zip <u>PORTLAND, ME 04101</u>		Telephone: _____	
Who should we contact when the permit is ready: <u>THOMAS BLACKBURN</u>		Telephone: <u>232-8134</u>	
Mailing address: <u>SAME</u>			

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

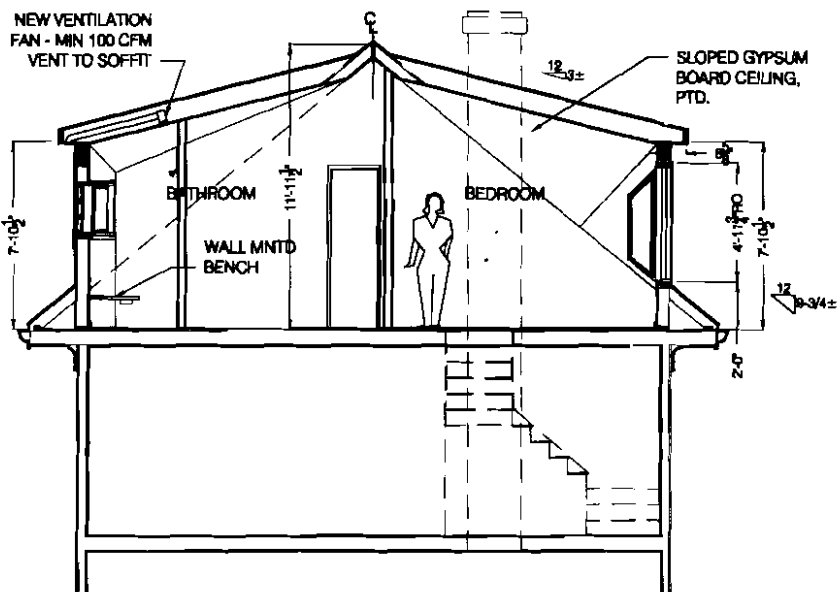
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

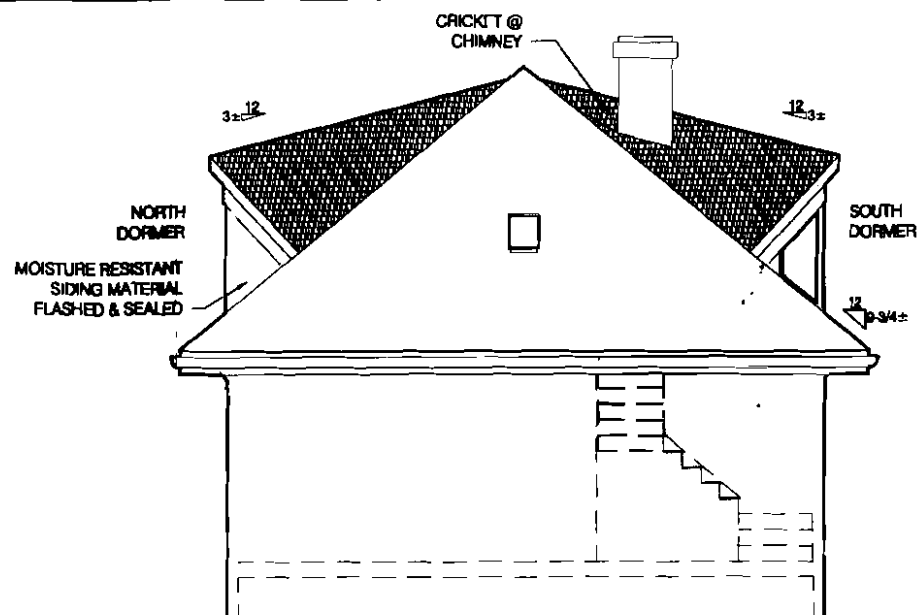
Signature: [Signature]

Date: 9/18/10

This is not a permit; you may not commence ANY work until the permit is issued



20 PARTIAL CROSS SECTION  
1/4" = 1'-0"



11 PARTIAL WEST ELEVATION  
1/4" = 1'-0"



10 SOUTH ELEVATION  
1/4" = 1'-0"

EXISTING WINDOW SHOWN  
ARE AN APPROXIMATION

## ARCADIA

designworks LLC  
142 high street, suite 513  
portland, maine 04101  
tel.: 207.347.6262  
op.: 207.749.9308

www.arcadiadesignworks.com

### GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY DIMENSIONS.
2. CONTRACTOR/OWNER TO PROVIDE ALL BUILDING PERMITS REQUIRED BY STATE & LOCAL JURISDICTIONS, & PROVIDE UTILITY UPDATES AS REQUIRED BY LOCAL/REGIONAL SERVICE PROVIDERS.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COORDINATING HVAC, PLUMBING AND ELECTRICAL SYSTEMS DESIGN AND INSTALLATION FOLLOWING MANUF. RECOMMENDED INSTRUCTIONS.
4. INSTALL HANDRAIL @ 2'-10" ABOVE STEPS ON BOTH SIDES OF STAIR OR AS CODE REQUIRES. THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 8"Ø. A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1-1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS.
5. ASSIGNED DOOR DIMENSIONS ARE IN FEET-INCHES. EXAMPLE: 2088 EQUALS 2'-0" WIDE BY 8'-0" HIGH.
6. INSTALL A MIN. OF 3.5" OF BATT INSUL. IN ALL INTERIOR BATHROOM WALLS.
7. DESIGN TO BE REVIEWED BY STRUCTURAL ENGINEER OR FRAMING MEMBERS TO BE APPROVED BY MANUFACTURER.

PERMIT SET  
09.09.2010

### PHASE:

BUILDERS  
SET

### PROJECT:

DAMBRIE, ROOF  
DORMERS  
PORTLAND  
MAINE

### TITLE:

BUILDING  
SECTION & ELEVATIONS

### SHEET:

A-20

### JOB:

AD-AR02-2010



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5. ASSIGNED DOOR DIMENSIONS ARE IN FEET-INCHES. EXAMPLE: 2008 EQUALS 2'-0" WIDE BY 8'-0" HIGH.
6. INSTALL A MIN. OF 3.5" OF BATT INSUL. IN ALL INTERIOR BATHROOM WALLS.
7. DESIGN TO BE REVIEWED BY STRUCTURAL ENGINEER OR FRAMING MEMBERS TO BE APPROVED BY MANUFACTURER.

PERMIT SET  
09.09.2010

## PHASE:

BUILDERS SET

## PROJECT:

DAMBRIE ROOF DORMER DESIGN  
PORTLAND MAINE

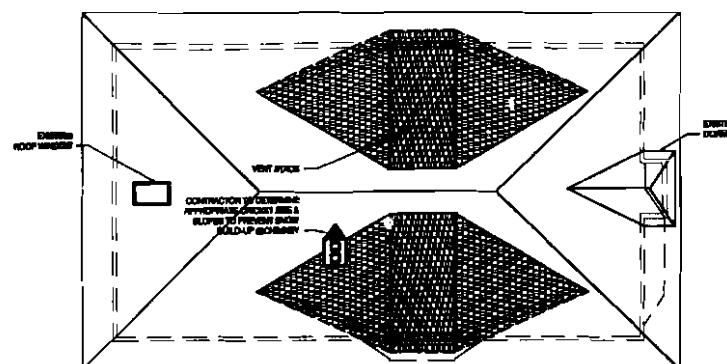
## TITLE:

ATTIC & ROOF PLANS

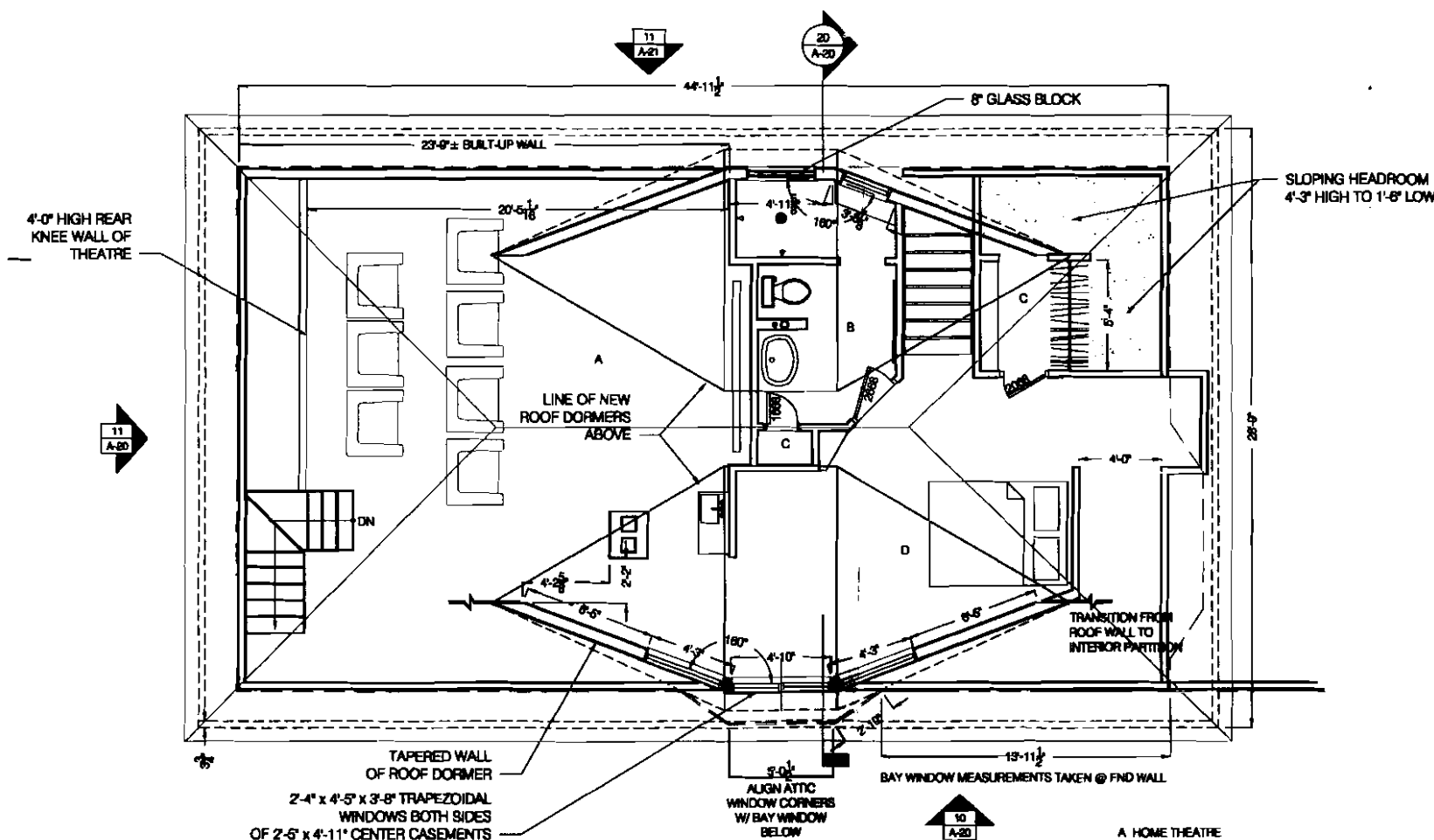
## SHEET:

A-10

JOB: AD-AR02-2010

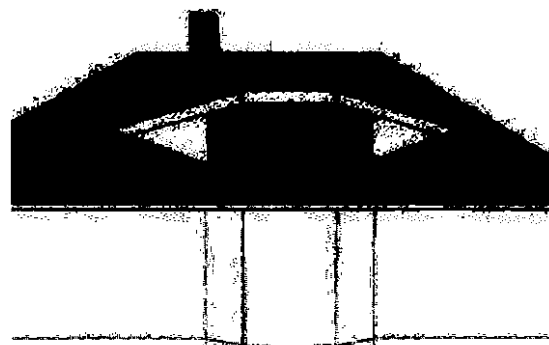
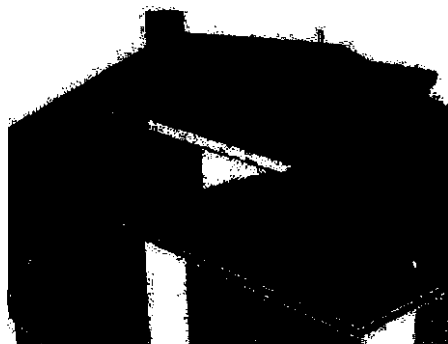
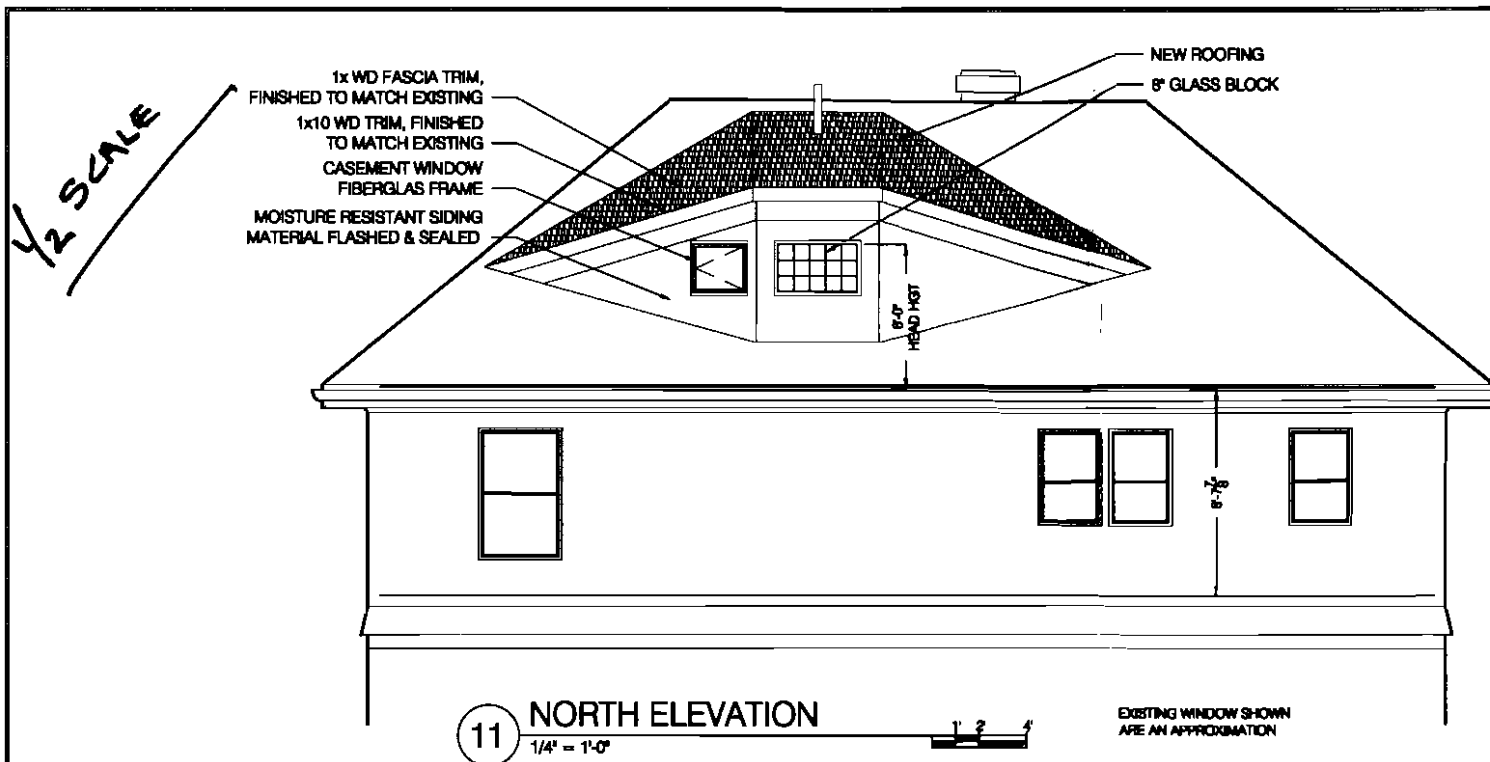


11 ROOF PLAN  
1/4" = 1'-0"

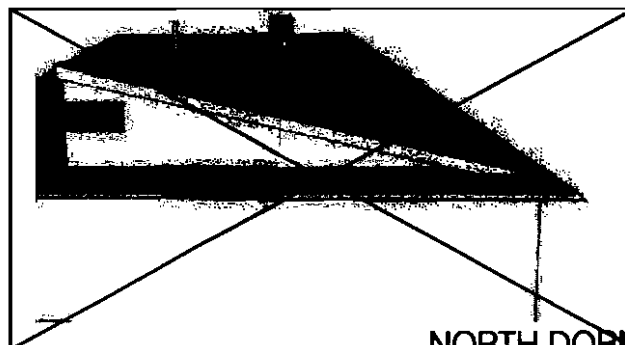
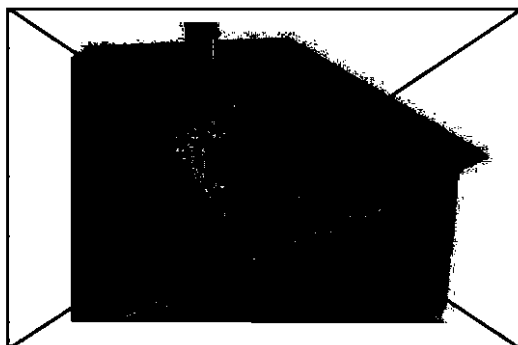


10 ATTIC LEVEL PLAN  
1/4" = 1'-0" [LIVING SPACE 706 NSF @ 4'-0" AFF  
[ADDITIONAL LIVING SPACE 60 NSF]

A HOME THEATRE  
B BATHROOM  
C CLOSET  
D BEDROOM



**SOUTH DORMER MODEL**



**NORTH DORMER MODEL**

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### GENERAL NOTES:

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4. INSTALL HANDRAIL @ 2'-10" ABOVE STEPS ON BOTH SIDES OF STAIR OR AS CODE REQUIRES. THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 8/16". A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1-1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS.
5. ASSIGNED DOOR DIMENSIONS ARE IN FEET-INCHES. EXAMPLE: 2008 EQUALS 2'-0" WIDE BY 6'-8" HIGH.
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7. DESIGN TO BE REVIEWED BY STRUCTURAL ENGINEER OR FRAMING MEMBERS TO BE APPROVED BY MANUFACTURER.

PERMIT SET  
09.09.2010

### PHASE:

**BUILDERS  
SET**

### PROJECT:

**DAMBRIE ROOF  
DORMERS  
PORTLAND  
MAINE**

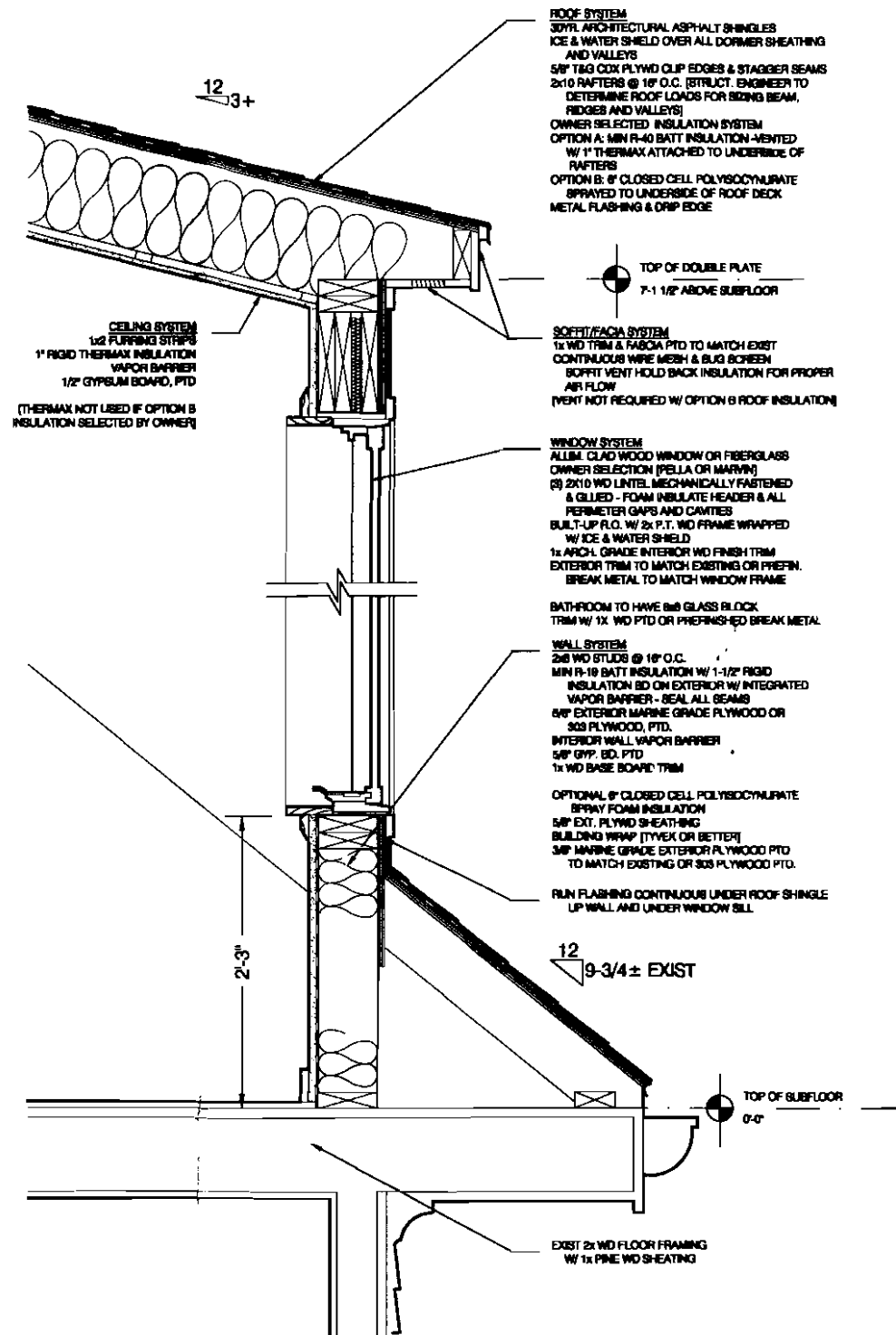
### TITLE:

**ELEVATION  
& MODELS**

### SHEET:

**A-21**

JOB: AD-AR02-2010



**10 FLOOR & WALL SECTION**  
 1 1/2" = 1'-0"

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PERMIT.SET  
 09.09.2010

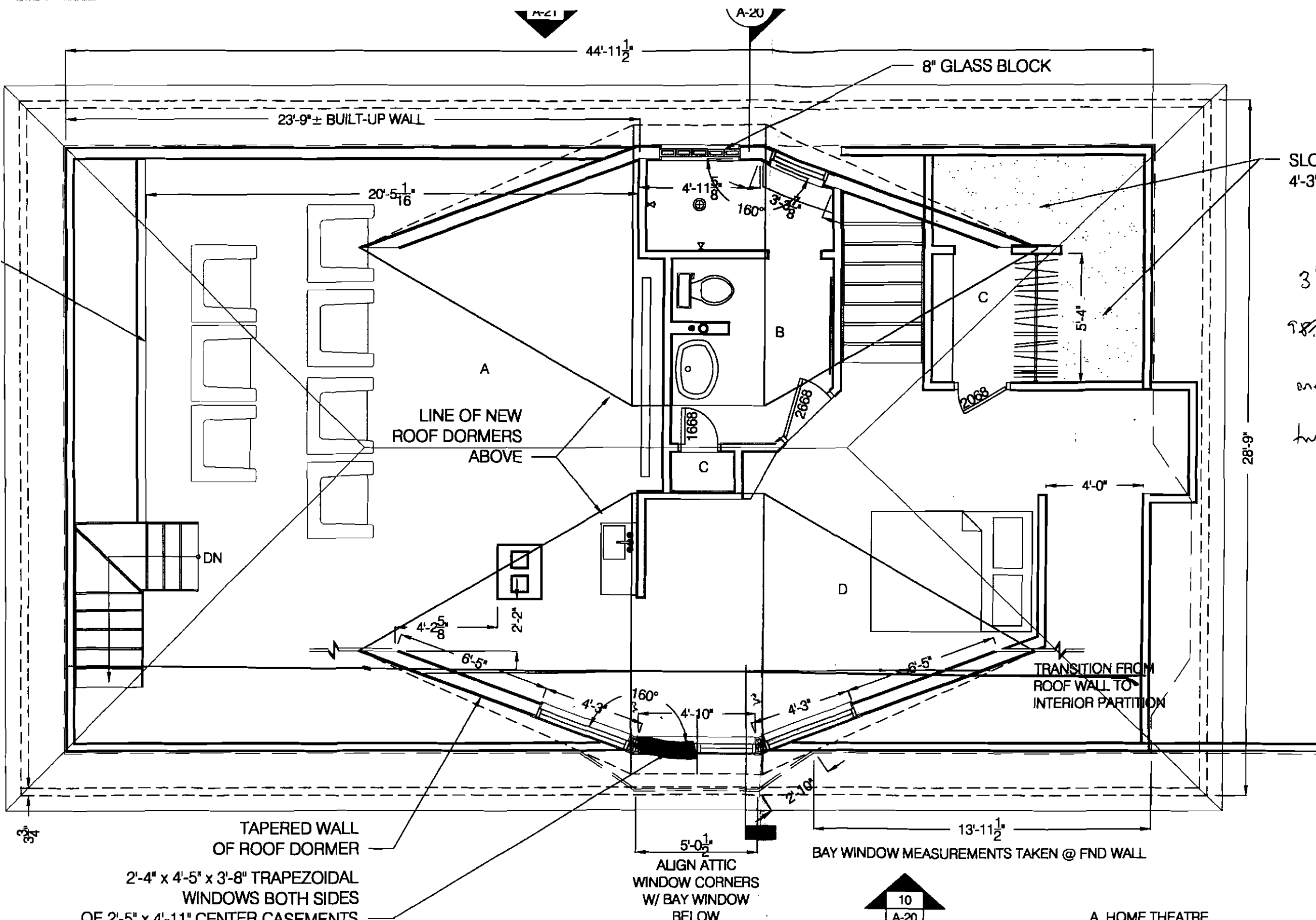
PHASE:  
 BUILDERS SET

PROJECT:  
**DAMBRIE ROOF DORMERS**  
 PORTLAND MAINE

TITLE:  
**WALL & ROOF SECTION DETAILS**

SHEET:  
**A-40**

JOB: AD-AR02-2010



10 ATTIC LEVEL PLAN

1/4" = 1'-0" [LIVING SPACE 705 NSF @ 4'-0" AFF  
[ADDITIONAL LIVING SPACE 60 NSF]

- A HOME THEATRE
- B BATHROOM
- C CLOSET
- D BEDROOM

RECEIVED

SEP 30 2010

Dept. of Building Inspections  
City of Portland Maine

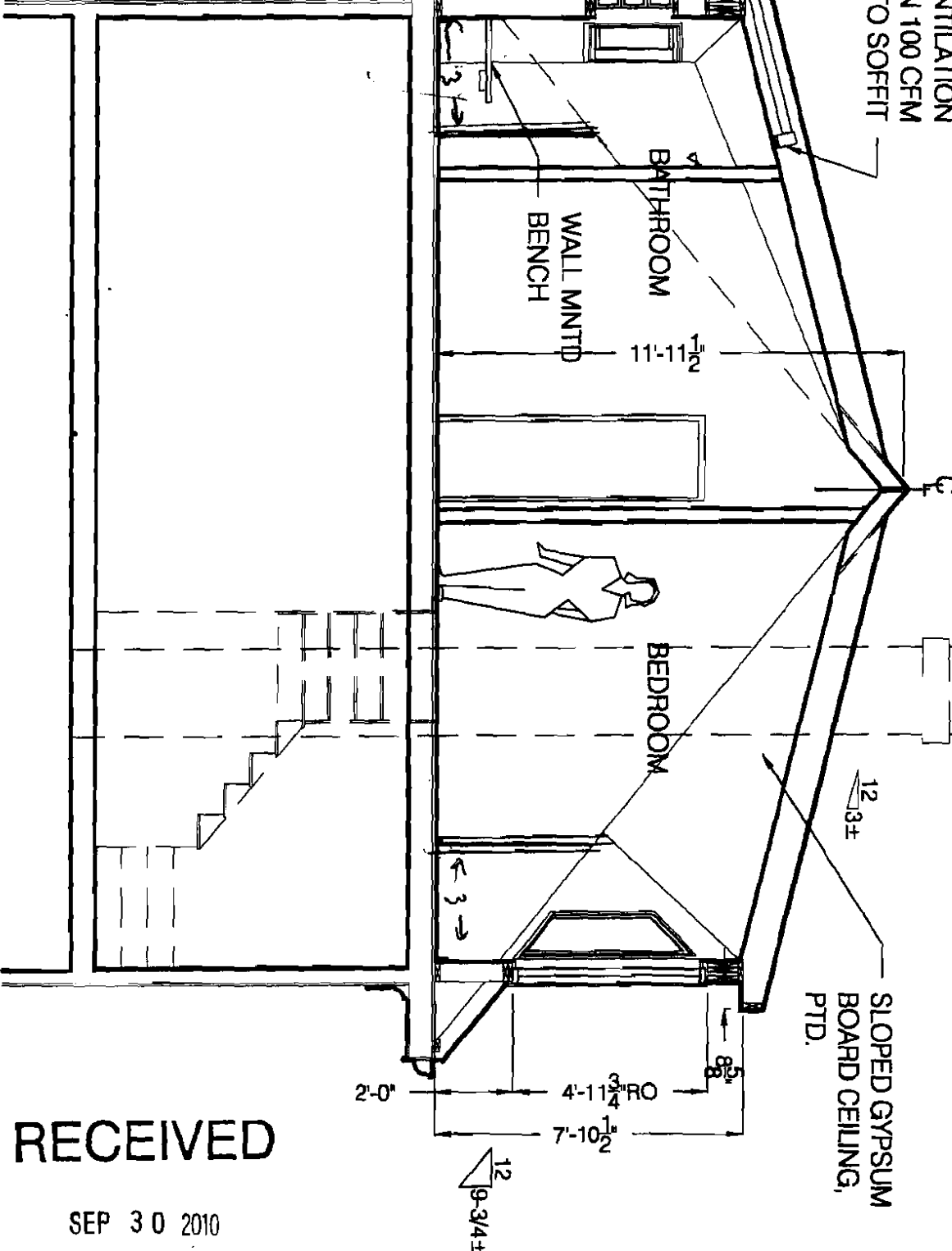
NEW VENTILATION  
FAN - MIN 100 CFM  
VENT TO SOFFIT

SLOPED GYPSUM  
BOARD CEILING,  
PTD.

BATHROOM

BEDROOM

WALL MNTD  
BENCH



# PARTIAL CROSS SECTION

20

1/4" = 1'-0"

RECEIVED

SEP 30 2010

Dept. of Building Inspections  
City of Portland Maine

MOISTURE  
SIDE  
FLASH-

SI Job # 10-00102  
Dormer Addition  
14 Cottage Ave.  
Portland, ME 04101

### GENERAL STRUCTURAL NOTES

DESIGN LIVE LOADS: 2006 IBC, U.O.N.  
\* Snow 50 psf, = Pg  
\* Wind 100 mph, exp B, 3 second gust  
\* Residential Floor: 40 psf

SI Job # 10-0078  
171 Warren Ave Addition  
Portland, ME

### CONCRETE AND REINFORCEMENT:

- \* Concrete shall conform to applicable provisions of ACI-301 and 318. Minimum 28 day compressive strength (F'c) as follows:
  - Footings: 3,000 psi
  - Interior Slabs: 4,000 psi w/ Fibermesh
- \* Cement Type: I/II
- \* Deformed reinforcement: ASTM A615 grade 60, except bars specified to be field-bent, stirrups, and ties which shall be grade 40.
- \* Fibermesh: 100% virgin polypropylene, fibrillated fibers as manufactured by Fibermesh Co. per ASTM C-1116 type 111 4.1.3 and ASTM C-1116 performance level one, 1.5 lb. per cubic yard.
- \* Reinforcement shall be fabricated and placed per ACI Manual of Standard Practice (ACI-315). At splices, lap bars 50 diameters unless noted otherwise.
- \* Concrete cover over reinforcing: 1 1/2" for concrete placed against forms; 3" for concrete placed against earth. See also drawings.
- \* In continuous members, splice top bars at mid span and bottom bars over supports.
- \* Keep reinforcement clean and free of dirt, oil, and scale. Oil forms prior to placing reinforcement.

### STRUCTURAL STEEL:

- \* Angles, misc: ASTM A36
- \* Bolts: ASTM A307
- \* Standard pipe columns: ASTM A 53, Grade B
- \* Adjustable pipe columns:
  - 3" diameter "Heavy Duty" schedule 40 (3.5" O.D.) Columns shall be certified for 28,000 lbs. at 7'-6". Maximum screw extension 2".
- \* Expansion Anchors shall be ICC-ESR approved, installed in accordance with manufacturers specifications.
  - In concrete: Wedge Type
  - In solid masonry: Sleeve Type
- \* Non-shrink grout beneath column base and beam bearing plates shall be non-metallic with minimum compressive strength 5000psi.
- \* All structural steel shall be fabricated and erected per the current edition of AISC Steel Construction Manual.
- \* Welding by qualified welders. E70XX electrodes. 3/16" fillet welds, unless noted otherwise.
- \* All beams shall have full depth web stiffeners each side of webs above and below columns. (3" or as noted)

### WOOD FRAMING:

- \* Dimension Lumber is designed and shall be supplied using BASE VALUES Design Criteria.
- \* SPF #2 and better (Maximum Moisture Content 19%) U.O.N.
  - Plates: Sill plates: Pressure Treated SPF or Southern Pine.
- \* "Pressure treated lumber" shall be framing material of the specified species which has been pressure treated with a decay and insect resistant solution, meeting all current standards for wood in contact with concrete or earth.
- \* Sill plates in contact with masonry or concrete foundations, footings or slabs may be treated Timber Strand LSL (zinc borate treatment). Sodium borate treatment may also be acceptable for sill plate applications when protected from weather.
- \* Acceptable treatment mediums for wood in contact with earth or in exterior applications include ACQ-C and ACQ-D (Alkaline Copper Quaternary) and copper azole (CBA-A and CBA-B).

DO NOT USE WOODS WHICH HAVE BEEN TREATED WITH AMMONIA BASED CARRIERS. All connectors shall meet the recommendations of the pressure treated wood manufacturer, but shall be not less than Hot Dipped Galvanized meeting requirements of ASTM A653, such as Simpson ZMAX (G185). All screws, nails and bolts shall match hangers and other connectors, and shall meet ASTM A123 for individual connectors and ASTM A153 for fasteners. For durability, it is our recommendation that connectors used in exposed conditions with treated lumber be stainless steel.

Do not mix galvanized and stainless products.  
Do not allow aluminum to contact treated wood.  
Top and Bottom Plates: SPF No 2 and better  
Hem Fir Studs U.O.N: 2 x 4 and 2 x 6 to 8'-0: stud grade  
2 x 4 over 8'-0: standard and better  
2x 6 over 8'-0: No. 2 and better

Floor Joists: see plans

Rafters: See plans

- \* Laminated Veneer Lumber (LVL): Manufactured 1 3/4" wide Microlams (ML) by Trus Joist/ I-Level or equivalent.
  - Fb=2,600 psi, E=1,900,000 psi, Fv=285 psi, depth noted on plans.
- \* LSL Rim Joists = 1-1/8" x depth indicated laminated strand lumber or OSB. No substitutions.
- \* All plywood and oriented strand board (OSB) sheathing shall be engineered grades with APA grade stamp indicating appropriate maximum spacing of supports.
  - Floor sheathing: nominal 3/4", APA Stud-I-floor "24" tongue & groove glued and nailed.
  - Roof sheathing: minimum 5/8" CDX plywood, or 19/32" OSB, APA 40/20, nailed.
  - Wall sheathing: 1/2" CDX plywood or 1/4" OSB, APA 24/16, blocked and nailed.
- \* Nail wall sheathing with 8d commons at 6" o.c. at panel edges, and 12" o.c. in intermediate framing U.N.O. BLOCK AND NAIL ALL EDGES BETWEEN STUDS. Sheathing shall be continuous from bottom plate to top plate. Cut in "L" and "T" shapes around openings. Lap sheathing over rim joists min. 4" at all floors to tie upper and lower stud walls together. Minimum height of sheathing panels shall be 16" to assure that plates are tied to studs. Use minimum 3-8d per stud and nail plates with edge nail spacing.
- \* Sole plate at all perimeter walls and at designated shear walls shall be nailed as for braced panels with 3-16d x 3 1/2" long box nails (coated or deformed shank) per 16". 12d nails are not acceptable.

### SHEATH ALL EXTERIOR WALLS:

- \* Minimum nailing shall comply with IBC Table 2304.9.1 except where more or larger nailing shown on drawings.
- \* All roof rafters, joists, beams shall be anchored to supports with metal framing anchors.
- \* Double joists under partitions where joists are parallel to partitions.
- \* Provide continuous wall studs each side of wall openings equal to one half or greater of number of studs interrupted by openings.
- \* All wall studs shall be continuous from floor to floor or from floor to roof.
- \* Cross bridge all dimension lumber roof and floor joists at midspan and provide solid blocking or rim joists at all joist supports and joist ends.
- \* Solid block between rafters at bearings.
- \* Metal connectors: Simpson Strong Tie unless otherwise noted, installed with number and type of nails to achieve maximum rated capacity. Note that heavy duty and skewed hangers may require special order.
- \* All beams shall be braced against rotation at points of bearing.
- \* Drypack grout all beam pockets full after beams are set.
- \* Unless otherwise indicated, install two lengths of solid blocking x joist depth x 12 inches long in floor framing under column loads. Columns must have a continuous load path to foundation.
- \* Lead holes for lag bolts shall be 60% to 70% of lag shank diameter in compliance with AITC criteria.

### STRUCTURAL ERECTION AND BRACING REQUIREMENTS

- \* The structural drawings illustrate the completed structure with all elements in their final positions, properly supported and braced. The contractor, in the proper sequence, shall provide proper shoring and bracing as may be required to achieve the final completed structure.
- \* These plans have been engineered for construction at one specific building site. Builder assumes ALL responsibility for use of these plans at Any Other building site. Plans shall not be used for construction at any other building site without specific review by the engineer.
- \* Observations of foundation reinforcing or framing required by the owner, lender, insurer, building department or any other party will be accomplished by the engineer at the owner's expense. At least 24 hours advance notice is requested.
- \* All slabs on grade shall be separated from adjacent structural and finish elements to allow free movement of the slab, unless specifically shown and noted otherwise.

## Structural Drawing Index

S-00	General Notes, Etc.
S-01	Foundation Reference Plan
S-10	Attic Level Framing Plan
S-20	Dormer Roof Framing Plan
S-30	Sections

## ARCADIA

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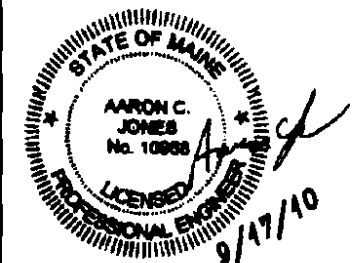
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DATE: 9-17-10

PROJECT:

DAMBRIE ROOF  
DORMER DESIGN  
PORTLAND  
MAINE

TITLE:

GENERAL NOTES, Etc.

SHEET:

S-00

JOB: SI# 10-0102

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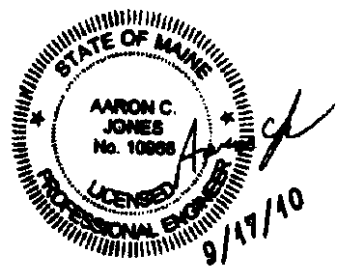
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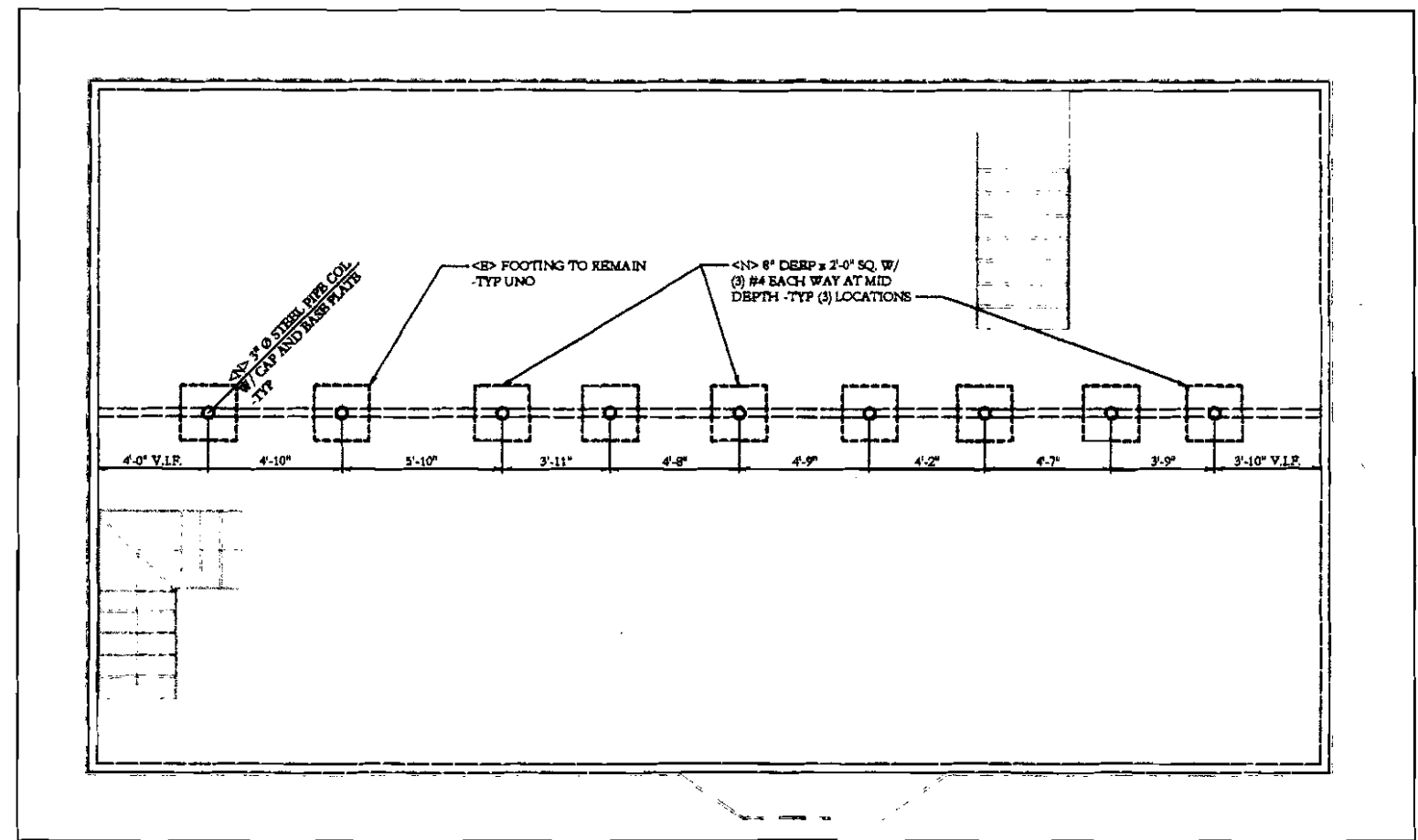
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DAMBRIE ROOF  
DORMER DESIGN  
PORTLAND  
MAINE

TITLE:  
FOUNDATION  
REFERENCE PLAN

SHEET:  
S-01

JOB: SI# 10-0102



### FOUNDATION REFERENCE PLAN

NOTES

SCALE 1/4"=1'-0"

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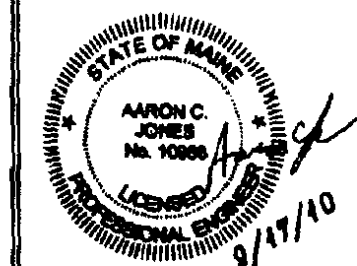
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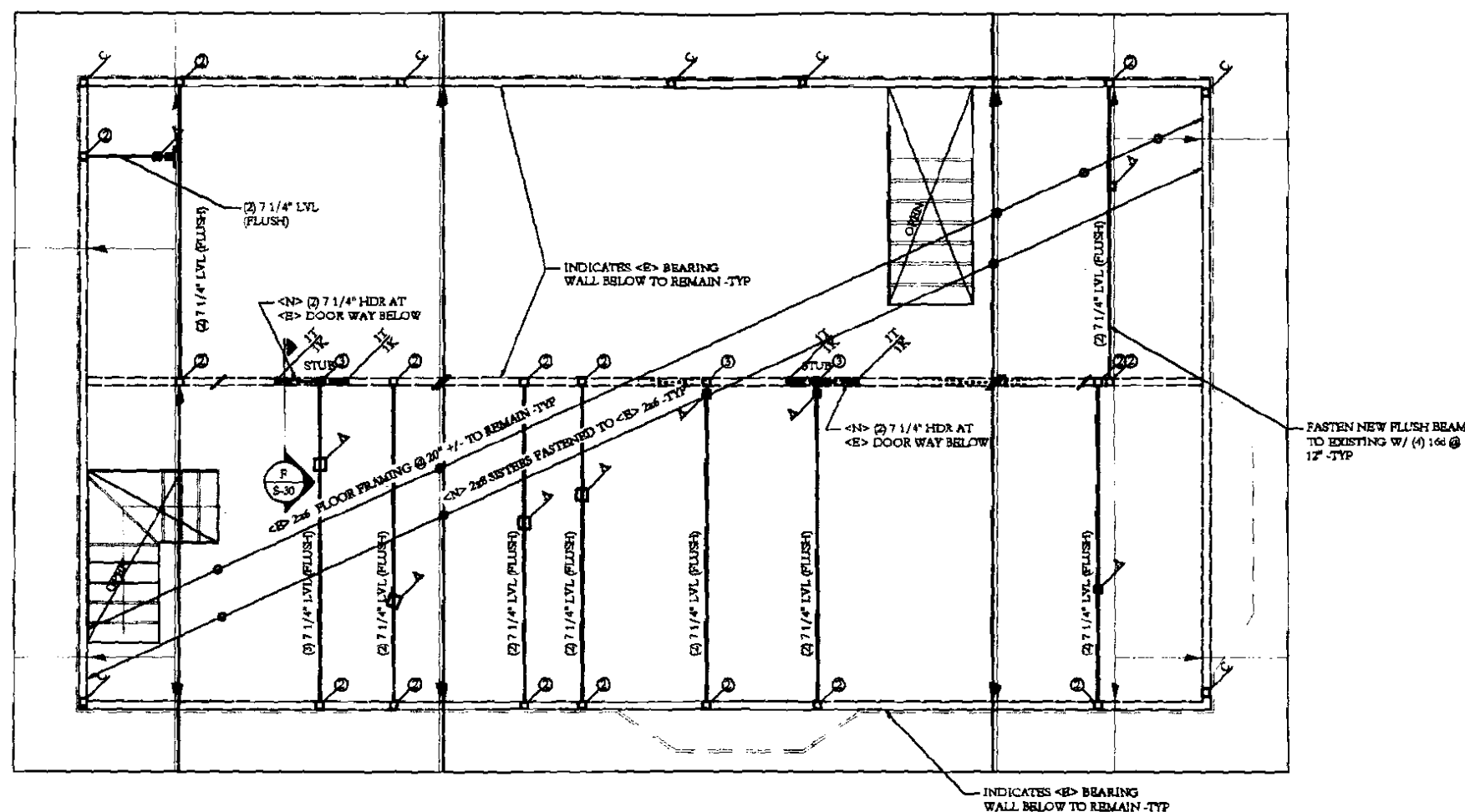
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PROJECT:  
DAMBRIE ROOF  
DORMER DESIGN  
PORTLAND  
MAINE

TITLE:  
ATTIC LEVEL  
FRAMING PLAN

SHEET:  
S-10

JOB: SI# 10-0102



### ATTIC LEVEL FRAMING PLAN

#### NOTES

1. FLOOR DECK SHALL BE 3/4\" T&G SHEATHING, SEE GENERAL NOTES FOR ADDITIONAL INFO
2. ALL WOOD COLUMNS IN 2x6 WALLS SHALL BE 3-2x6 AND IN 2x4 WALLS SHALL BE 3-2x4 UNLESS NOTED OTHERWISE ON PLANS.
3. ALL WOOD BEAMS ARE FLUSH, UNO
4. SEE S-00 FOR GENERAL STRUCTURAL NOTES

SCALE 1/4"=1'-0"

#### FRAMING PLAN SYMBOLS KEY

□	WOOD POST
⊗	NUMBER OF WOOD STUDS IN POST BELOW
XX	NUMBER OF TRIM STUDS UNDER HEADER
KK	NUMBER OF KING STUDS ADJACENT TO HEADER
—	TRUSS OR JOIST BEARING
—	FLUSH FRAMED JOIST BEARING WITH HANGER
—	BEARING WALL BELOW
<N>	INDICATES NEW MEMBER
<E>	INDICATES EXISTING MEMBER



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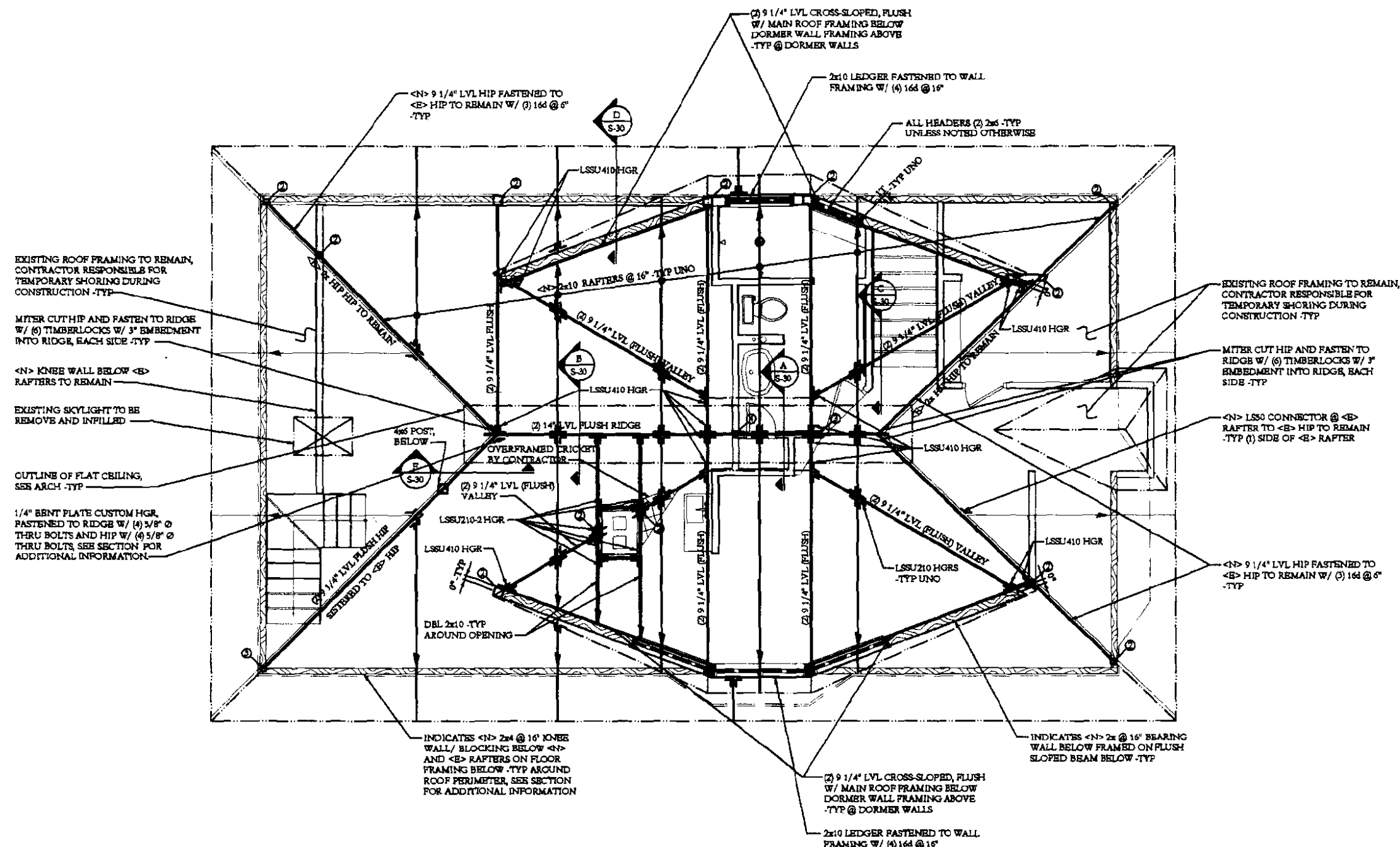
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PROJECT:  
**DAMBRIE ROOF  
DORMER DESIGN  
PORTLAND  
MAINE**

TITLE:  
**DORMER ROOF  
FRAMING PLAN**

SHEET:  
**S-20**

JOB: S# 10-0102



### DORMER ROOF FRAMING PLAN

SCALE 1/4"=1'-0"

#### NOTES

1. ROOF SHEATHING SHALL BE 5/8" OSB, SEE GENERAL NOTES FOR ADDITIONAL INFO
2. ALL WOOD COLUMNS IN 2x6 WALLS SHALL BE 3-2x6 AND IN 2x4 WALLS SHALL BE 3-2x4 UNLESS NOTED OTHERWISE ON PLANS
3. ALL WOOD BEAMS ARE FLUSH, UNO
4. ALL HEADERS ARE 3-2x6 UNO
5. ALL ROOF RAFTERS TO BE 2x10 @ 16"
6. SEE S-00 FOR GENERAL STRUCTURAL NOTES

#### FRAMING PLAN SYMBOLS KEY

⊞	WOOD POST
⊞	NUMBER OF WOOD STUDS IN POST BELOW
⊞	NUMBER OF TRIM STUDS UNDER HEADER
⊞	NUMBER OF KING STUDS ADJACENT TO HEADER
⊞	TRUSS OR JOIST BEARING
⊞	FLUSH FRAMED JOIST BEARING WITH HANGER
⊞	BEARING WALL BELOW
<N>	INDICATES NEW MEMBER
<E>	INDICATES EXISTING MEMBER

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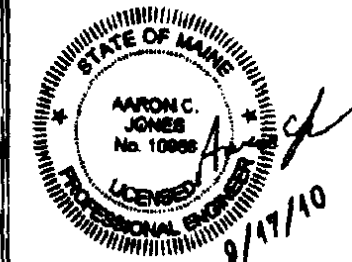
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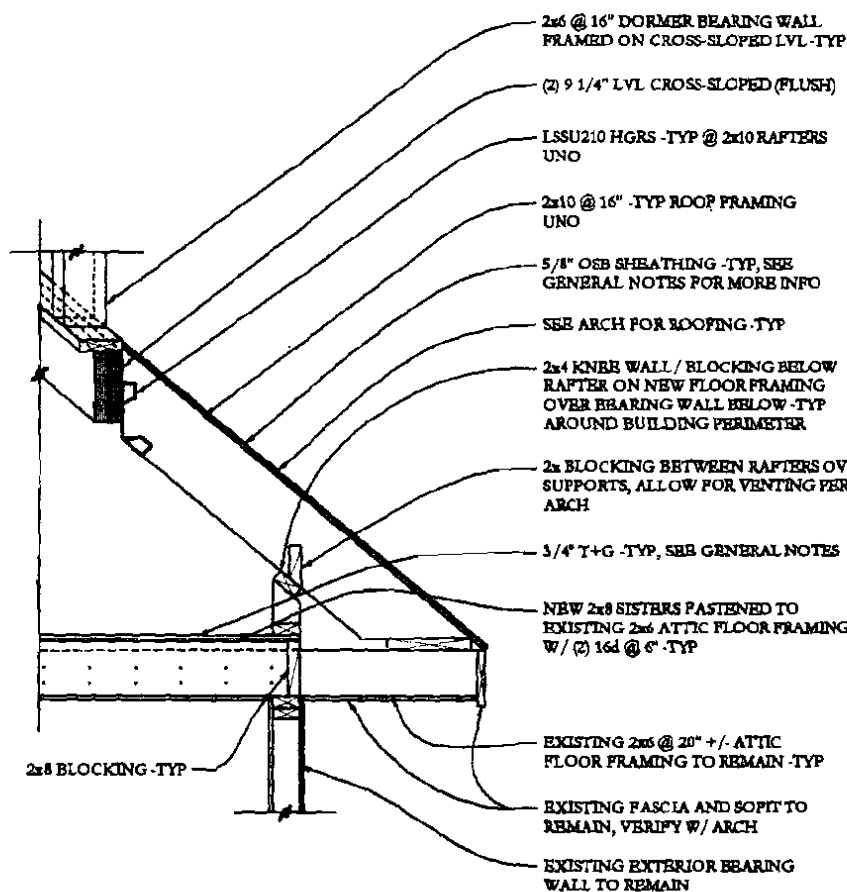
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PROJECT:  
**DAMBRIE ROOF  
DORMER DESIGN  
PORTLAND  
MAINE**

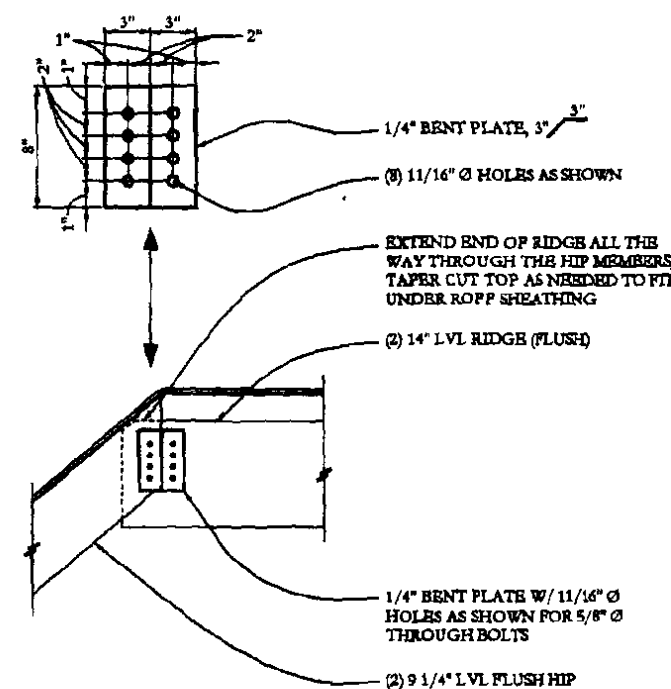
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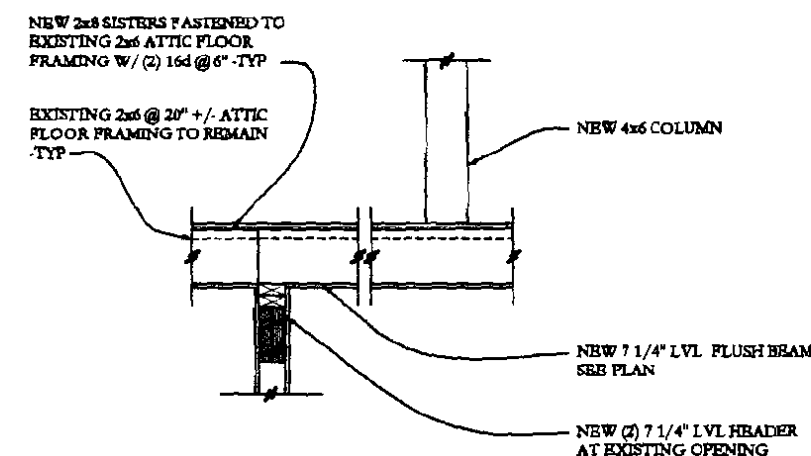
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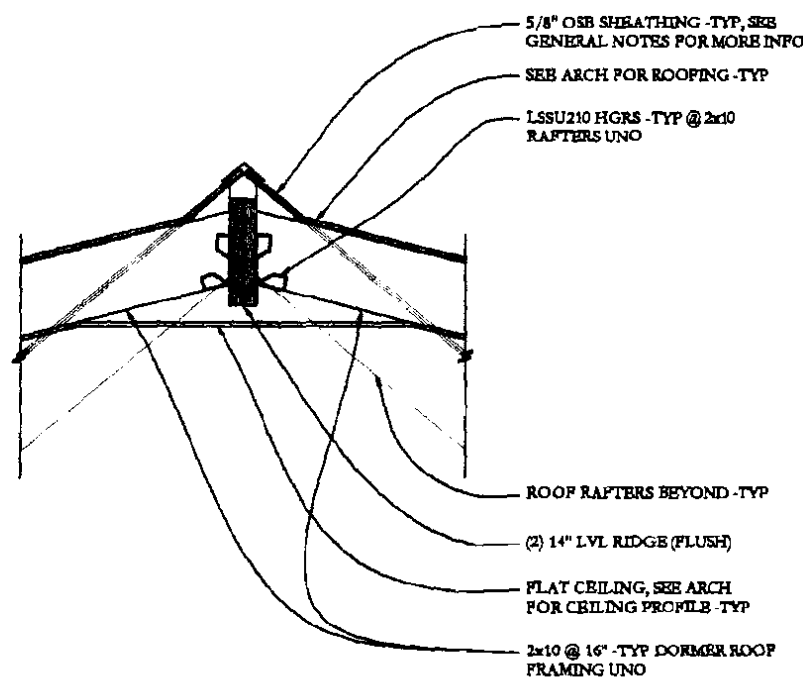
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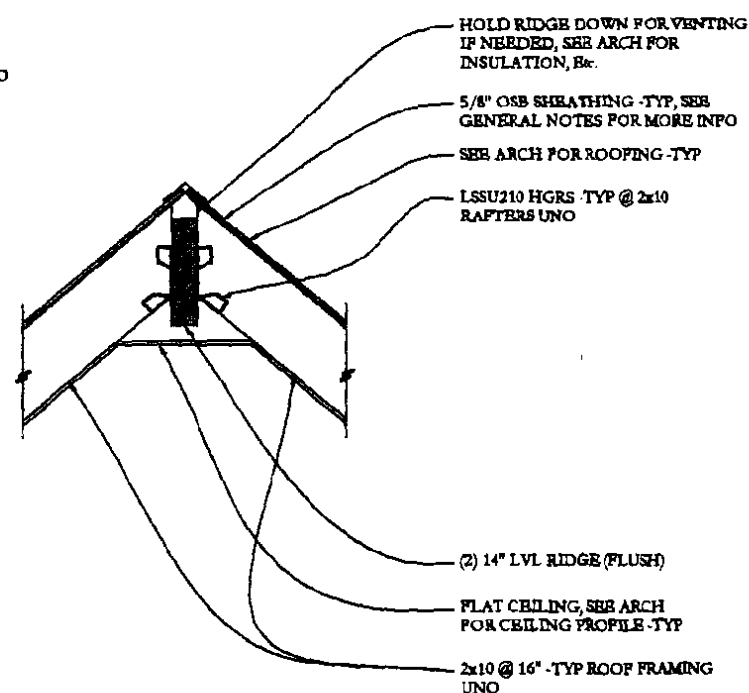
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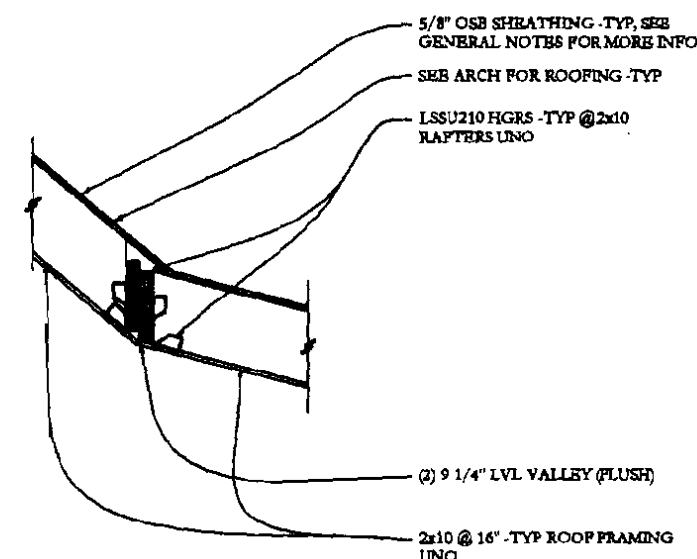
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SECTION **A**  
S-30 3/4"=1'-0"



SECTION **B**  
S-30 3/4"=1'-0"



SECTION **C**  
S-30 1 1/2"=1'-0"