

**PERMIT ISSUED**

**City of Portland, Maine - Building or Use Permit Application**  
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0626	Issue Date: JUL - 5 2001	CBL: 124 E004001
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<b>Location of Construction:</b> 32 Prospect St	<b>Owner Name:</b> Hains Avram M	<b>Owner Address:</b> Po Box 300 North Berwick, ME	<b>Phone:</b> 207-871-8986
<b>Business Name:</b> n/a	<b>Contractor Name:</b> Stanley & Sons Construction	<b>Contractor Address:</b> RR1 Box 269k Belgrade	<b>Phone:</b> 2074952976
<b>Lessee/Buyer's Name:</b> n/a	<b>Phone:</b> n/a	<b>Permit Type:</b> Single Family	<b>Zone:</b> R-5

<b>Past Use:</b> Vacant Lot	<b>Proposed Use:</b> New Single Family: Permit # 01-0542 Amend to be a modified ranch w/ habitable space in attic area.	<b>Permit Fee:</b>	<b>Cost of Work:</b> \$3,000.00	<b>CEO District:</b> 3
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<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group: 19.3 Type: 513
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**DOCA PERMIT ISSUED WITH REQUIREMENTS**

*[Handwritten signature]*

**Proposed Project Description:**  
Amend permit #01-0542 to Finish Attic Space as Living Quarters.

Signature: *[Handwritten signature]*

**PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)**

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

<b>Permit Taken By:</b> cjh	<b>Date Applied For:</b> 06/01/2001	<b>Zoning Approval</b>	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>conditional</i>	Date: _____	Date: <i>[Handwritten signature]</i>

*ok - e with*  
*ms 7/3/01*

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

LAND USE - ZONING REPORT

ADDRESS: 32-34 Prospect St DATE: 7/3/01

REASON FOR PERMIT: Amend original permit

BUILDING OWNER: Avram Hains C-B-L: 124-E-004

PERMIT APPLICANT: Robert Hains

APPROVED: with conditions: #1, #6, #10

CONDITION(S) OF APPROVAL

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. During its existence, all aspects of the Home Occupations criteria, Section 14-410, shall be maintained.
3. All the conditions placed on the original, previously approved, permit issued on \_\_\_\_\_ are still in effect for this amendment, and/or revised permit.
4. The footprint of the existing \_\_\_\_\_ shall not be increased during maintenance reconstruction.
5. Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and the same use. Any changes to any of the above shall require that this structure met the current zoning standards.
6. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
7. Our records indicate that this property has a legal use of \_\_\_\_\_ units. Any change in this approved use shall require a separate permit application for review and approval.
8. Separate permits shall be required for any new signage.
9. Separate permits shall be required for future decks, sheds, pool(s), and/or garage.
10. This is not an approval for an additional dwelling unit. You shall not add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals. \*
11. All of the attached Floodplain forms shall be appropriately filled out, signed, and returned prior to the issuance of any certificates of occupancy.
12. Other requirements of condition: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Marge Schmuckal Marge Schmuckal, Zoning Administrator

BUILDING PERMIT REPORT

DATE: 4/June 2001 ADDRESS: 32-34 Prospect ST. CBL: 124-E-004

REASON FOR PERMIT: Amend permit #01-054

BUILDING OWNER: Avram M. Hains

PERMIT APPLICANT: CONTRACTOR Stanley & Sons Const.

USE GROUP: A-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: 3,000.00 PERMIT FEES: 18.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

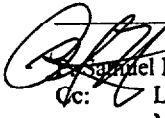
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: \*1, \*11, \*13, \*16, \*20, \*28, \*30, \*31, \*33, \*39, #32

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

Handwritten initials or mark in the bottom right corner.

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- \*28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**
29. All requirements must be met before a final Certificate of Occupancy is issued.
- \*30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- \*31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16) *BOCA Mech. Code 1999 Ch. 12 sec. 1205.0*
32. Please read and implement the attached Land Use Zoning report requirements. *See attached*
33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
34. Bridging shall comply with Section 2305.16.
35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
36. All flashing shall comply with Section 1406.3.10.
37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- \*39. *Your plans does not show the Floor Framing System that shall support a live load of 30 PSF as per Section 1606. Table 1606.0. Please Submit This information for review and approval before work is started.*

  
 Samuel Hoffses, Building Inspector  
 cc: Lt. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator  
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

**\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

**\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. ( You Shall Call for Inspections )**

**\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

**\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00**

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

# All Purpose Building Permit Application ✓

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 32-34 PROSPECT ST.

Total Square Footage of Proposed Structure 1,950 - AMENDED	Square Footage of Lot 5,672
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Tax Assessor's Chart, Block & Lot Number Chart# 124 Block# E Lot# 4	Owner: AVRAM M. HAINS 14 TAYLOR ST. PORTLAND, ME 04102	Telephone#: 207-871-8986
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Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address:	Cost Of ADDITIONAL Work: 3,000 Fee: \$ <del>5,000</del> \$18,00
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Current use: HOME UNDER CONSTRUCTION. AMENDED SITE AND CONSTRUCTION PLAN  
If the location is currently vacant, what was prior use: Amend permit # 01-0542  
Approximately how long has it been vacant:  
Proposed use: SINGLE FAMILY DWELLING  
Project description: MODIFIED RANCH WITH APPROVED HABITABLE SPACE IN THE "ATTIC" AREA.

Contractor's Name, Address & Telephone: STANLEY AND SONS CONSTRUCTION  
RR1 BOX 269K  
BELGRADE, ME 04917 207-495-2976

Applicants Name, Address & Telephone: AVRAM M. HAINS  
14 TAYLOR ST.  
PORTLAND, ME 04102 207-871-8986

Who should we contact when the permit is ready: \_\_\_\_\_  
Telephone:

If you would like the permit mailed, what mailing address should we use:

6/1  
Rec'd By: CH

Applicant: owner: AVRAM Hains

Original Check Sheet

Date: 12/22/00

Address: 32-34 Prospect St.

C-B-L: 124-5004

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-5

Interior or corner lot -

Proposed Use/Work - to construct 28' x 50' RANCh - Single family  
No garage No deck

Sewage Disposal - City

Lot Street Frontage - 50' req

Front Yard - 20' min - 20' shown

Rear Yard - 20' min - 44' shown

Side Yard - 8' req - 8' shown & 12.5' shown

Projections - front steps 3 x 5 = 15 # (50' into the front setback allowed)

Width of Lot - 60' req <sup>at side</sup> step shown - No decks - No ext chimney  
only 54.25' shown - No bulkheads shown

Height - 1 story shown

Lot Area - 6,000 # min - 5,672 # shown <sup>per surveyor</sup>

(5,555) per assessors

1/9/01 This is a lot of record per info provided by Robert Hains

Lot Coverage/Impervious Surface - 40%

Area per Family - 3,000 # min

Off-street Parking - 2 required - 2 shown  
can't park closer than 5' to the side lot line

Loading Bays - N/A

Site Plan - minor/minor # 20000223

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 13 - Zone C

7/3/01  
RECEIVED

Auram M. Hains  
34 Prospect Street  
Portland  
Foundation Exposures

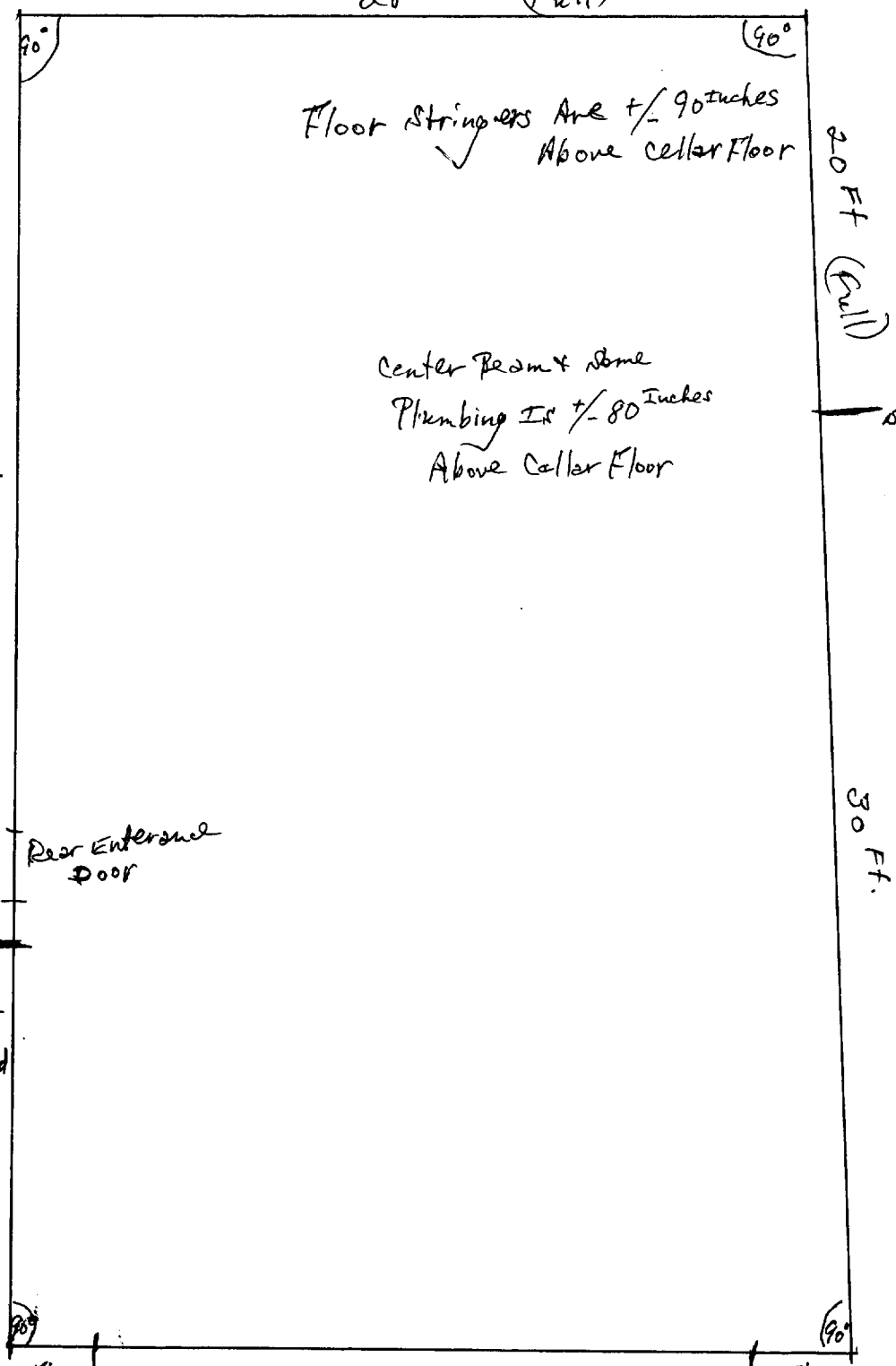
TOTAL Perimeter  
56  
100  
156

Street  
(Front  
28 FT. (Full))

measured 90" floor to ceiling

20'  
20'  
38'  
8'6" linear ft with more than 1/2 of the floor to ceiling height below grade per Robert Hains

3'  
1 1/2'  
7'0" linear ft with more than 1/2 of the floor to ceiling height above grade per R.H.



Floor Stringers are +/- 90 inches Above Cellar Floor

Center Beam & some Plumbing is +/- 80 inches Above Cellar Floor

Step Down of 4 FT.

Rail Road Tracks

Rear Entrance Door

Step Down of 4 Feet

Thus the basement area is NOT considered "A" story

3 FT. Step Down To Full Wall

28 FT. Full Exposure Rear

3 FT. Step Down To Full Wall

Inspection Services  
Michael J. Nugent  
Manager

Department of Urban Development  
Joseph E. Gray, Jr.  
Director



## CITY OF PORTLAND

May 11, 2001

Avram M. Hains  
14 Taylor St.  
Portland, Maine 04102

Re: 32/34 Prospect St. (124 E004) Permit #010024

Dear Mr. Hains,

In response to your request to allow the use of the "attic" space for habitable space, the following are the facts as presented:

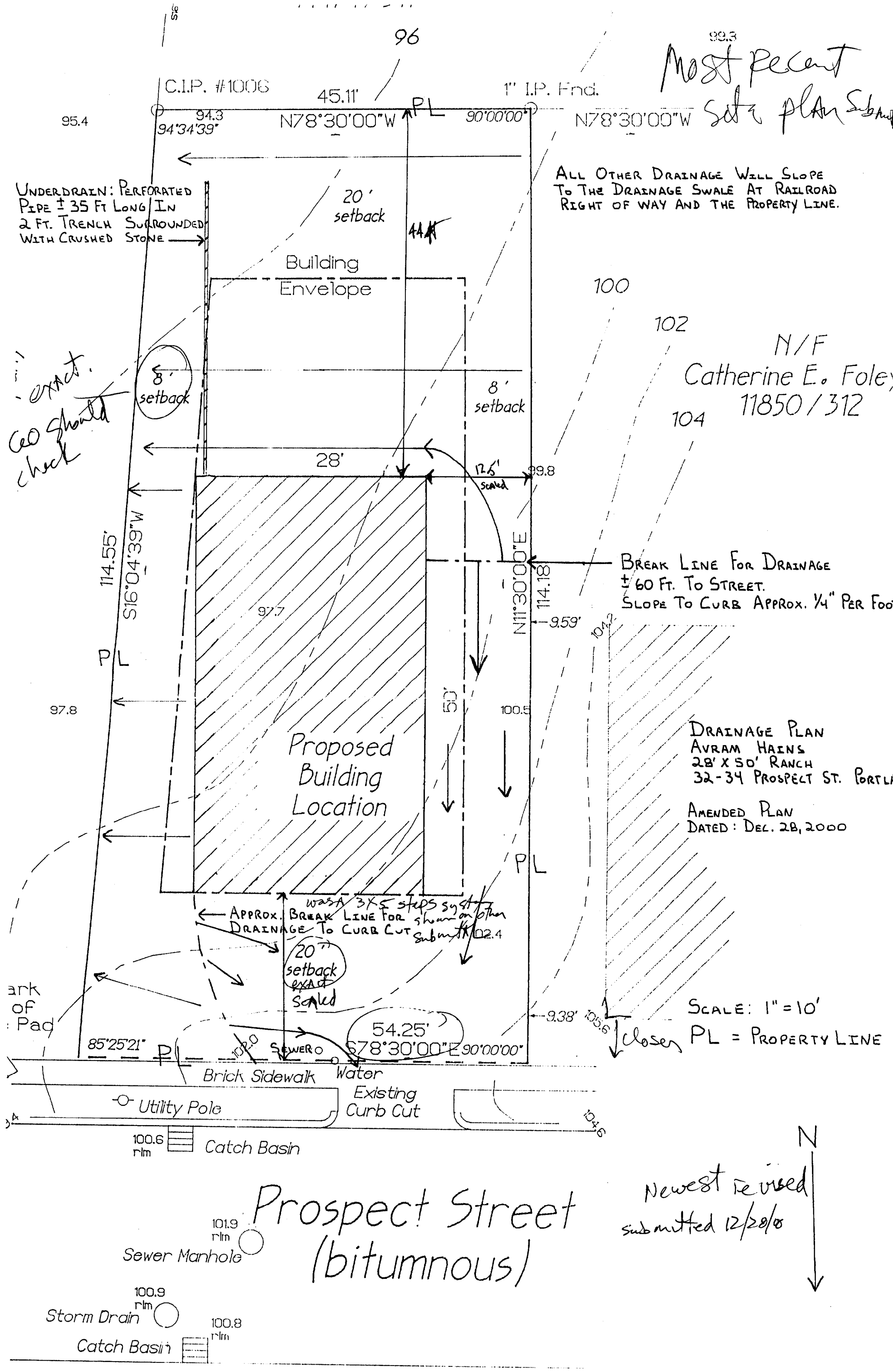
- 1) The use of the structure is a single-family home, Use group R-3.
- 2) The proposed finished ceiling height for the second floor sleeping rooms will be 82 inches.
- 3) The required ceiling height is 84 inches.
- 4) The sloped portion of the ceiling will cover 50.8% of the proposed sleeping area.
- 5) The allowable sloping area is 50%.
- 6) The roof truss system is factory fabricated by Mainely Trusses and cannot be altered without compromising the structural integrity of the trusses.

Based on these facts, and pursuant to Section 121.1 of the City of Portland Building Code, finishing the second floor space in total compliance with the Code would create undue hardship in that the roof system would have to be structurally compromised. The proposal is hereby **granted**. All other aspects of all applicable codes, including, but not limited to, plumbing, electrical, egress, smoke detection, emergency escape and structural loading requirements must be found in complete compliance. Building, plumbing and electrical permit amendments must be applied for and granted prior to the commencement of installation and construction.

Sincerely,

  
Mike Nugent  
Manager of Inspection Services





96  
 C.I.P. #1006 45.11' 1" I.P. Fnd.  
 95.4 94.3 94°34'39" N78°30'00"W 90°00'00" N78°30'00"W

Building Envelope

N/F  
 Catherine E. Foley  
 11850 / 312

Position  
 the second

114.55'  
 S16°04'39"W

Proposed Building Location

PLOT PLAN  
 AVRAM HAINS  
 28' X 50' RANCH  
 32-34 PROSPECT ST. PORTLAND

PROPOSED GRAVEL DRIVEWAY

SCALE: 1" = 10'  
 PL = PROPERTY LINE

UPK  
 Pad

85°25'21" 102.0' Gaso 54.25' wide S78°30'00"E 90°00'00"

Normal lot width  
 is 60' - R-5

Brick Sidewalk Water Existing Curb Cut

Utility Pole  
 100.6 r/m Catch Basin

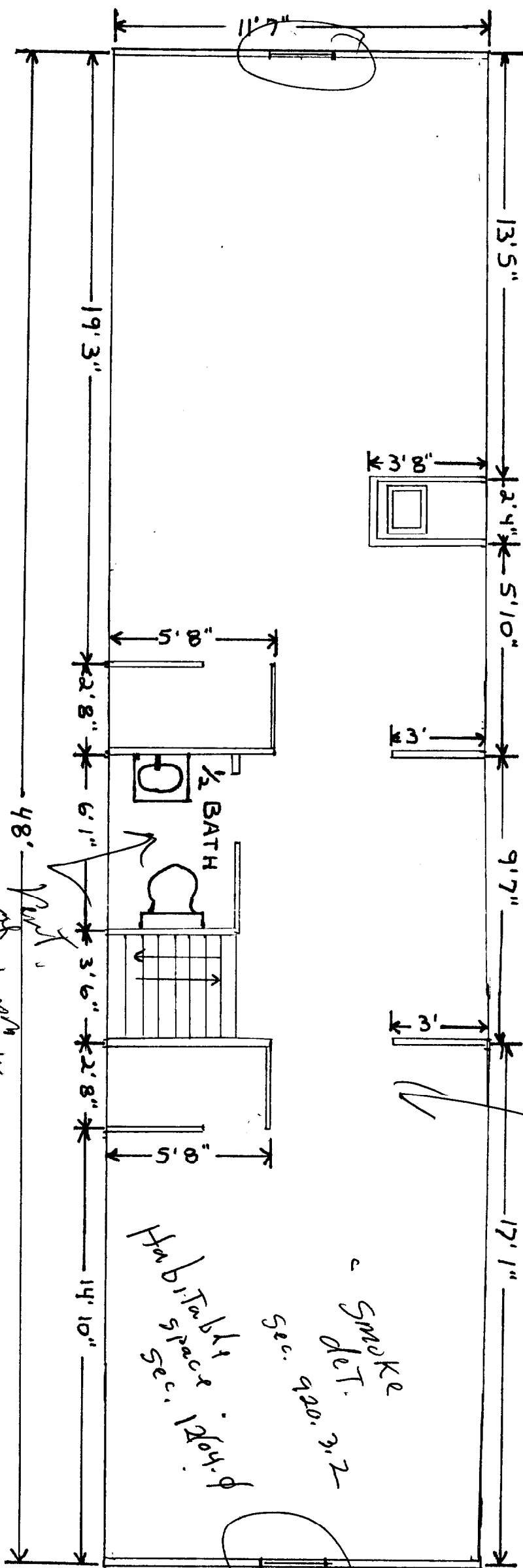
Prospect Street  
 (bituminous)

101.9 r/m Sewer Manhole

100.9 r/m Storm Drain

100.8 r/m Catch Basin





OK bath room  
 mech. 11/14-1/2  
 100cc 8 1/4  
 120.5.5.8  
 Sec 1

Habitat 67  
 Sec. 1264.8  
 Smoke  
 Sec. 920.3.2

Needs Floor  
 Framing detail.  
 #30 PSF is req. for  
 sleeping room - Table 1506.8

AVRAM M. HAINS  
 34 PROSPECT STREET  
 PORTLAND, ME  
 DATED: MAY 28, 2001  
 LAYOUT FOR HABITABLE  
 SPACE IN "ATTIC" AREA

Sleeping room egress or rescue window  
 Sec. 1010.4  
 only 1/2 story less than 2/3  
 of the 1st floor

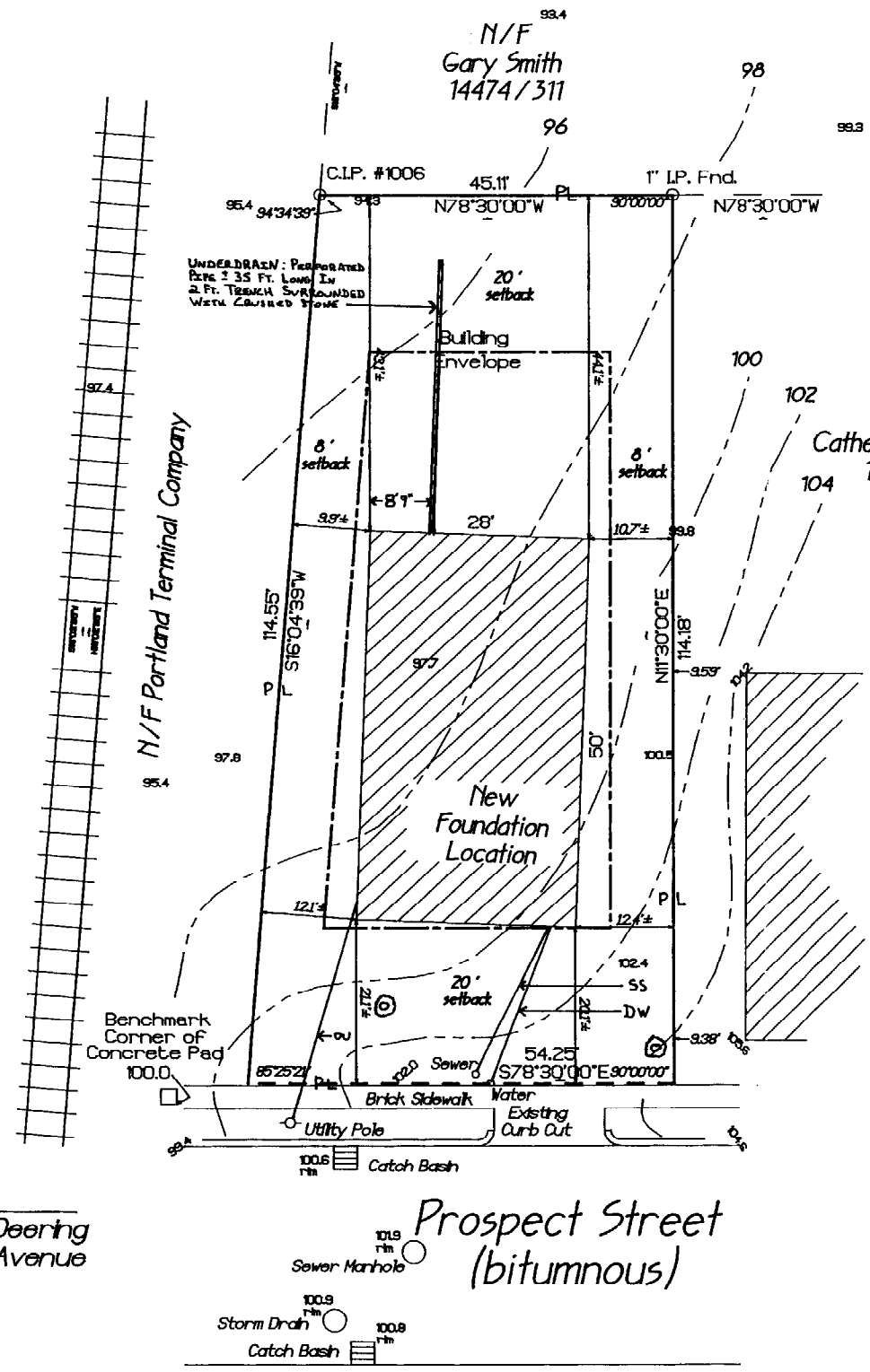
$$11.583 \times 48 = 555.984$$

$$\text{original Bldg } 28 \times 50 = 1400 \times \frac{.67}{.67} = 938 \#$$

**BOUNDARY SURVEY**  
**32-34 Prospect Street**  
**Portland, Maine**  
**for**  
**Avram Hains**

**BRUCE R. BOWMAN, Inc.**  
 Professional Land Surveyor  
 Box 12A Cumberland, Maine (207)829-3959 Fax 829-3522

Date : 3-16-01	Job : 00021
Drawn By : <del>gcs</del>	Scale : 1" = 10'



Plot Plan  
 Avram M. Hains  
 2.8' x 50' Modified Ranch  
 34 Prospect St. Portland

AMENDED PLAN  
 DATED: MAY 21, 2001  
 ACTUAL LOCATION OF FOUNDATION  
 ACTUAL LOCATION OF UNDERDRAIN  
 LOCATION OF TREES WILL BE DETERMINED  
 WITH ASSISTANCE FROM CITY OF PORTLAND ARBORIST

PL = PROPERTY LINE  
 OU = OVERHEAD UTILITIES  
 SS = SANITARY SEWER  
 DW = DOMESTIC WATER  
 ⊙ = TREE

**LOCUS INFORMATION**

Record Owner:  
 Avram Hains  
 CORD Book 6365 Page 32  
 Dated November 1, 1985  
 Tax Map  
 Map 124, Block E, Lot 4

Zone R-5  
 Minimum Frontage 50'  
 Front setback 20'  
 Side setback (1 Story) 8'  
 Rear setback 20'

Area  
 56723 s.f.

Flood Zone  
 230051 0013 B  
 (Not a Flood Zone)

**PLAN REFERENCE**

Plan of Portion of Deering Estate  
 by E.C. Jordan Civil Eng.  
 Dated January 1880  
 CORD Plan Book 4 Page 25

Deering Avenue

Prospect Street  
 (bituminous)



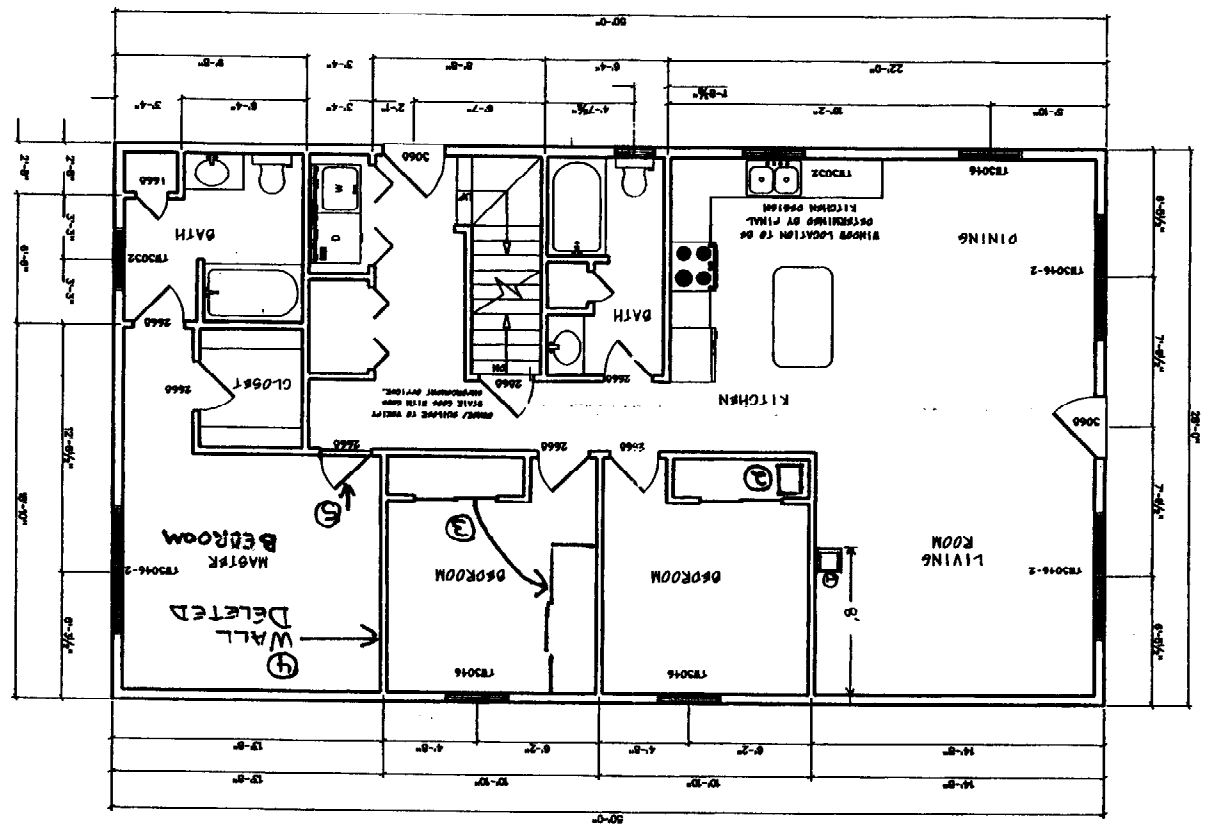
I HEREBY CERTIFY that this survey conforms to the  
 Maine Board of Licensure for Professional Land Surveyors,  
 Category I, Condition II  
 Except No Report Submitted  
 No Deeds Written

*B.R.B.*  
 Bruce R. Bowman PLS #1313

- ③: ACTUAL LOCATION OF CHIMNEY
- ④: WALL DELETED
- ⑤: DOOR DELETED

Amended Plan: Dated: Dec. 29, 2000  
 Height Above Roof Line Will Be 3' on Upper Side  
 Sample Fluo: 8" x 8"  
 Note: Masonry Chimney: Outside Dia. 16" x 16"

FIRST FLOOR



— = ADDITIONS OR CHANGES  
 = DELETIONS OR CHANGES

AVRAM M. HAINS  
 34 PROSPECT ST.  
 PORTLAND, ME  
 AMENDED PLAN  
 DATED: MAY 21, 2001

DESIGNED BY: R. MCCARTHY  
 DATE: 12/9/00 AS NOTED  
 PROJECT: R0056

DESIGNED FOR:  
 AVRAM HAINS  
 28 X 50 RANCH

ADDITIONAL SETS FOR PERMITS AND RECORDS  
 MILLONACE, INC. 1000 ROUTE 100, SUITE 100  
 PORTLAND, ME 04106-1000  
 PHONE: (603) 771-1111  
 FAX: (603) 771-1112  
 E-MAIL: info@millonace.com  
 MILLONACE, INC. 1000 ROUTE 100, SUITE 100  
 PORTLAND, ME 04106-1000  
 PHONE: (603) 771-1111  
 FAX: (603) 771-1112  
 E-MAIL: info@millonace.com

**Hammond**  
 Lumber Company

THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN OF THE ARCHITECTURAL AND STRUCTURAL PORTIONS OF THE PLAN. THE ARCHITECTURAL PORTIONS OF THE PLAN ARE NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS OR FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS OR FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.