

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 32-34 Prospect Street		Owner: ***Avram M. Hains		Phone: *** 871-8986		Permit No: 010024
Owner Address: 262 Danforth Street, Portland, ME 04102		Lessee/Buyer's Name:		Phone:		
Contractor Name: Stanley & Sons Construction		Address: RR1 Box 269K, Begrade, ME 04917		Phone: 207-495-2976		Zone: GBL: 124-E-004 R-5
Past Use: Vacant		Proposed Use: New Single Family		COST OF WORK: \$ 60,000.00 PERMIT FEE: \$ 384.00 FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: R-3 Type 5B DOC 2 99 Signature: <i>[Signature]</i>		
Proposed Project Description: 28 x 50 Ranch		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/> Signature: _____ Date: _____				
Permit Taken By: Gayle		Date Applied For: December 21, 2000 gg				

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Minor Minor Fee: \$300.00
 Building Fee: \$384.00
 TOTAL: \$684.00

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

December 21, 2000

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

PERMIT ISSUED WITH REQUIREMENTS

PERMIT ISSUED WITH REQUIREMENTS

CEO DISTRICT

3

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

Minor/Minor Site Review for New Detached Single Family Dwelling, Additions/Alterations/Accessory Structures, Multi-Family, Commercial Interior Rehab (other than additions), Change of Use

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 32-34 PROSPECT ST.

Total Square Footage of Proposed Structure 1,400	Square Footage of Lot 5,672
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Tax Assessor's Chart, Block & Lot Number Chart# 124 Block# E Lot# 4	Owner: AVRAM M. HAINS 262 DANFORTH ST. PORTLAND, ME 04102	Telephone#: 207-871-8986
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Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address:	Cost Of Work: 8 60,000 Fee: 8 684.00 \$ \$
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Current use: VACANT LOT	Proposed use: SINGLE FAMILY DWELLING
Project description: 28' x 50' RANCH	

Contractor's Name, Address & Telephone STANLEY AND SONS CONSTRUCTION RR1 BOX 269K, BELGRADE, ME 04917 207-495-2976	Rec'd By:
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Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

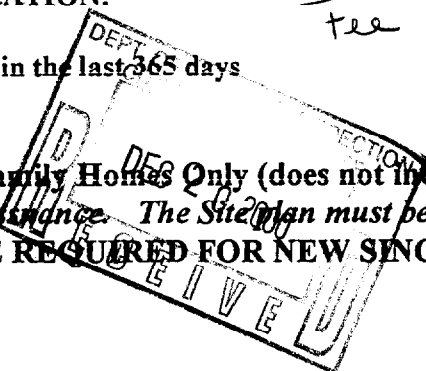
- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

minor minor 300.0
Fee 384.0
\$ 684.00

YOU MUST INCLUDE THE FOLLOWING WITH YOUR APPLICATION:

- A Copy of Your Deed or Purchase and Sale Agreement if purchased in the last 365 days
- A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required for New Single Family Homes Only (does not include additions, alterations or accessory structures) prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor. **FOUR COPIES ARE REQUIRED FOR NEW SINGLE FAMILY HOMES**



**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE
PERMIT IS ISSUED**

A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours


Building Plans are required for all construction, including interior rehab (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 12/20/00
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Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

AUTOCAD OR ADOBE FORMAT REQUIRED FOR ALL COMMERICAL PROJECTS

Egress (Chapter 10)

- ~~SR~~ One exit from dwelling unit (1010.2)
- ~~SR~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~X~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~SR~~ Stairways (1014.3) 36" W
- ~~SR~~ Treads (1014.6) 10" min.
- ~~SR~~ Riser (1014.6) 7 3/4" max.
- ~~SR~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~SR~~ Handrails (1022.2.2.) Ht.
- ~~SR~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SR~~ Guards (1012.0) 36" min.

Smoke Detectors (920.3.2)

- ~~SR~~ Location and interconnection
- ~~SR~~ Power source

Dwelling Unit Separation
Table 602

~~NA~~

Electrical
NFPA # ~~70~~

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>48 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

- SA Labeling (2402.1)
- _____ Louvered window or jalousies (2402.5)
- _____ Human impact loads (2405.0)
- _____ Specific hazardous locations (2405.2)
- _____ Sloped glazing and skylights (2404)

Private Garages (Chapter 4)

- NA General (407)
- _____ Beneath rooms (407.3)
- _____ Attached to rooms (407.4)
- _____ Door sills (407.5)
- _____ Means of egress (407.8)
- _____ Floor surface (407.9)

- ~~SA~~ Roof rafters - Design (2305.15) spans
- ~~X~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~X~~ Roof trusses (2313.3.1)
-
-
-
-
-

Roof Coverings (Chapter 15)

- ~~SA~~ Approved materials (1404.1)
- Performance requirement (1505)
- Fire classification (1506)
- Material and installation requirements (1507)
- ~~MA~~ Roof structures (1510.0)
- ~~SA~~ Type of covering (1507)

**Chimneys and Fireplaces
BOCA Mechanical/1993**

- ~~MA~~ Masonry (1206.0)
- ~~MA~~ Factory - built (1205.0)
- ~~MA~~ Masonry fireplaces (1404)
- ~~MA~~ Factory - built fireplace (1403)
- ~~SA~~ NFPA 211

**Mechanical
1993 BOCA Mechanical Code**

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-
-
-
-
-
-

Floors (contd.)

- Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- Bridging (2305.16)
- Boring and notching (2305.5.1)
- Cutting and notching (2305.3)
- Fastening table (2305.2)
- Floor trusses (AFPANDS Chapter 35)
- Draft stopping (721.7)
- Framing of openings (2305.11) (2305.12)
- Flooring - (2304.4) 1" solid - 1/2" particle board
- Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- Design (1609) wind loads
- Load requirements
- Grade
- Fastening schedule (Table 2305.2)
- Wall framing (2305.4.1)
- Double top plate (2305.4.2)
- Bottom plates: (2305.4.3)
- Notching and boring: (2305.4.4) studs
- Non load bearing walls (2305.5)
- Notching and boring (2305.5.1)
- Wind bracing (2305.7)
- Wall bracing required (2305.8.1)
- Stud walls (2305.8.3)
- Sheathing installation (2305.8.4)
- Minimum thickness of wall sheathing (Table 2305.13)
- Metal construction
- Masonry construction (Chapter 21)
- Exterior wall covering (Chapter 14)
- Performance requirements (1403)
- Materials (1404)
- Veneers (1405)
- Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

Foundations (Chapter 18)

Wood Foundation (1808)

- ~~NA~~ Design
- ~~NA~~ Installation

Footings (1807.0)

- ~~X~~ Depth below (outside) grade 4' minimum; but below frost line except for insulated footings.
- ~~NA~~ Insulated footing provided
- ~~X~~ Soil bearing value (table 1804.3)
- ~~X~~ Footing width
- ~~X~~ Concrete footing (1810.0) .3.1, 3.2
- _____
- _____
- _____
- _____
- _____

Foundation Walls

- ~~X~~ Design (1812.1)
- ~~A~~ Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
- ~~S2~~ Water proofing and damp proofing Section 1813 Sill plate (2305.17)
- ~~S1~~ Anchorage bolting in concrete (2305.17)
- ~~S2~~ Columns (1912)
- ~~S1~~ Crawl space (1210.2) Ventilation
- ~~S2~~ Crawl opening size (1210.2.1)
- ~~S2~~ Access to crawl and attic space (1211.0)
- _____

Floors (Chapter 16-23)

- ~~X~~ Joists - Non sleeping area LL40PSF (Table - 1606)
- ~~X~~ Joists - Sleeping area LL30PSF (Table - 1606)
- ~~X~~ Grade
- ~~X~~ Spacing
- ~~X~~ Span
- ~~X~~ Girder 4" bearing 2305.6.1

**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$60,000.00 Plan Review # 1902/24

Fee: \$384.00 Date: 21 DEC. 2009

Building Location: 32-34 Prospect St CBL: 124-E-004

Building Description: Single Family dwelling 28'x50' ranch.

Reviewed By: S. Hoffses

Use or Occupancy: _____ Type of Construction: _____

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site plan and building Code requirements shall be completed before a Certificate of Occupancy can or will be issued.	111.0 118.0
2.	Have all lot lines clearly marked before calling for a foundation inspection.	111.0
3.	Foundation drains shall comply with section 1813.6	1813.0
4.	Water proofing & damp proofing shall comply with section 1813.0	1813.0
5.	Protection of concrete and masonry shall comply with sections 1908.9-1908.10- & 2116.2111.4	see sec.
6.	Chimney & vents shall comply with NFPA 211 or manufacturers UL installations 1951	NFPA 211
7.	Guard rails shall comply with section 1022.0	1022.0
8.	Hand rails shall comply with section 1021.0	1021.0
9.	Stair construction shall comply with section 1014.0	1014.0
10.	Concrete floors shall comply with section 1905.0	1905
11.	Columns shall comply with section 1912	1912
12.	Foundation anchorage shall comply with section 2305.0	2305.0

REV: PSH 4-7-00

95.4

C.I.P. #1006

45.11'

1" I.P. Fnd.

94.3
94°34'39"

N78°30'00"W

90°00'00"

N78°30'00"W

UNDERDRAIN: PERFORATED
PIPE ± 35 FT LONG IN
2 FT. TRENCH SURROUNDED
WITH CRUSHED STONE

20'
setback

ALL OTHER DRAINAGE WILL SLOPE
TO THE DRAINAGE SWALE AT RAILROAD
RIGHT OF WAY AND THE PROPERTY LINE.

Building
Envelope

100

102

N/F

Catherine E. Fc
11850 / 312

104

8'
setback

8'
setback

28'

99.8

BREAK LINE FOR DRAINAGE
± 60 FT. TO STREET.
SLOPE TO CURB APPROX. 1/4" PER

114.55'

S16°04'39"W

97.7

N11°30'00"E

114.18

9.59'

107.2

96

99.3

PL

PL

56

DRAINAGE PLAN
AVRAM HAINS
28' X 50' RANCH
32-34 PROSPECT ST. B

AMENDED PLAN
DATED: DEC. 28, 2000

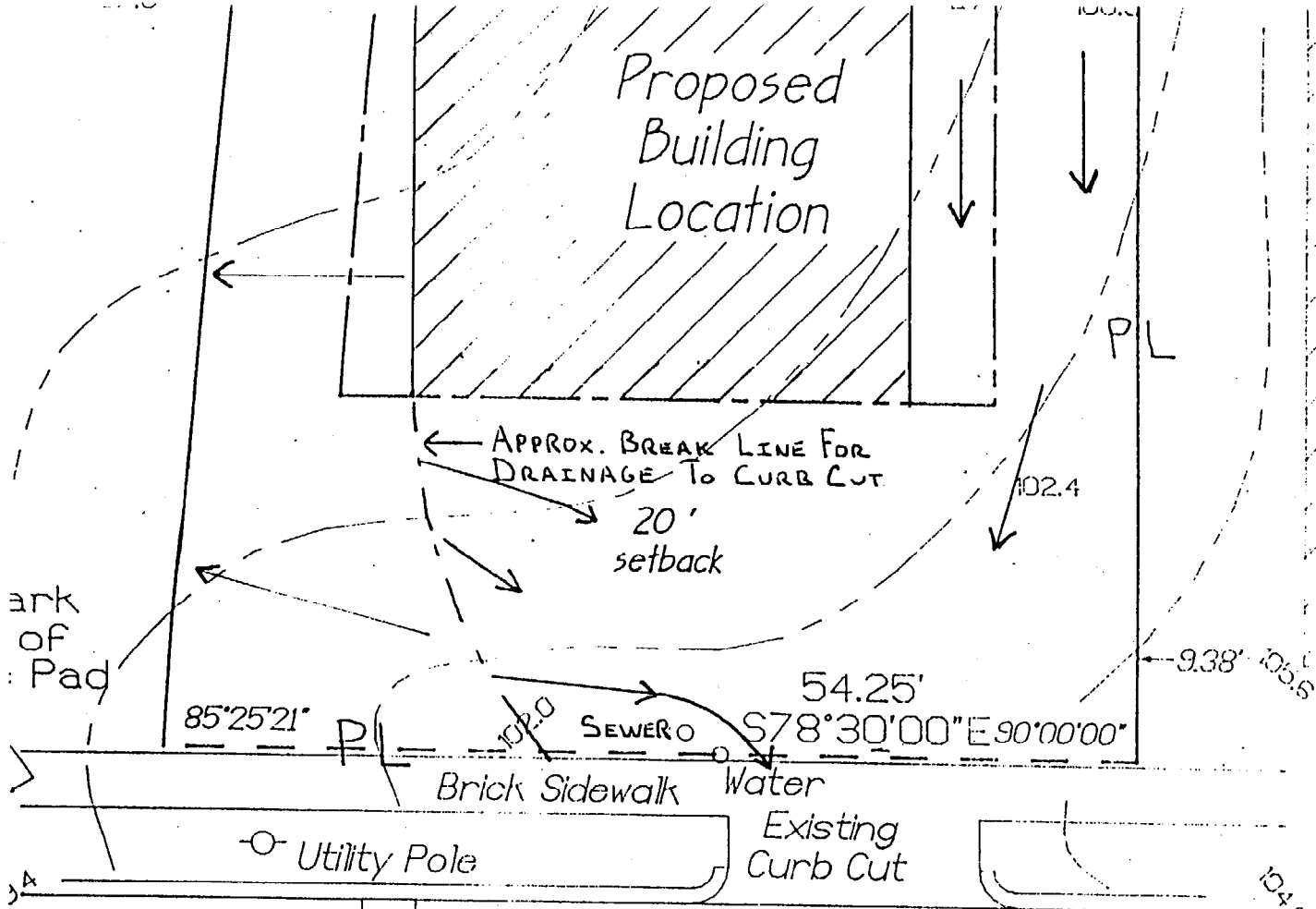
Proposed
Building
Location

APPROX. BREAK LINE FOR
DRAINAGE TO CURB CUT

20'
setback

PL

SCALE: 1" = 10'
PL = PROPERTY LINE



85'25'21"

54.25'

S78°30'00"E 90°00'00"

100.6
rlm

Catch Basin

101.9
rlm

Sewer Manhole

100.9
rlm

Storm Drain

100.8
rlm

Catch Basin

Prospect Street
(bitummnous)



CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

20000223

I. D. Number

Avram M. Hains

Applicant

262 Danforth Street, Portland, ME 04102

Applicant's Mailing Address

Avram M. Hains

Consultant/Agent

207-871-8986

Applicant or Agent Daytime Telephone, Fax

12/21/00

Application Date

Single Family 28 x 50 Ranch

Project Name/Description

34 - 34 Prospect St, Portland, Maine 04102

Address of Proposed Site

124-E-004

Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Approved subject to site plan review condition of approval sheet.

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 34 Prospect Street, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

A street opening permit(s) maybe required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Applicant shall be responsible to install and maintain all necessary erosion control devices.

Applicant shall be responsible to keep city streets free of mud or other debris tracked from this site. This includes street sweeping if necessary.

Applicant shall place a minimum of 6" of gravel (MDOT-703-06a Type 'A') as the finished grade for the driveway.

Planning Conditions of Approval

Inspections Conditions of Approval

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

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Applicant or Agent Daytime Telephone, Fax

12/21/2000

Application Date

Prospect #34

Project Name/Description

34 - 34 Prospect St, Portland, Maine 04102

Address of Proposed Site

124-E-004

Assessor's Reference: Chart-Block-Lot

Public Works - Engineering Comment

Public Works - Sewer Comments

Public Works - Traffic Comments

Parks and Recreation Comments

**CITY OF PORTLAND, MAINE
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12/21/2000

Application Date

Prospect #34

Project Name/Description

34 - 34 Prospect St, Portland, Maine 04102

Address of Proposed Site

124-E-004

Assessor's Reference: Chart-Block-Lot

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. It is the owner's responsibility to contact the Portland Terminal Co or the railroad to determine whether there are any other setback requirements from them concerning the placement of your house.
3. The parking of cars within your proposed driveway shall be no closer than 5' from the side lot lines.
4. Your side setbacks are based upon a single story ranch. If there are any changes to your building elevations, it may impact your required setbacks. As stated in condition #1, this office would require to see an amendment showing those changes.

Fire Conditions of Approval

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
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12/21/2000

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This includes street sweeping if necessary.

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Planning Conditions of Approval

Inspections Conditions of Approval

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CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Inspections Office Copy

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Application Date
Prospect #34
Project Name/Description

34 - 34 Prospect St, Portland, Maine 04102
Address of Proposed Site
124-E-004
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) 28 x 50 Ranch no garage
1,400 sf 5,672 sf R-5
Proposed Building square Feet or # of Units 5,672 sf R-5
Acreage of Site 5,672 sf Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other

Fees Paid: Site Plan \$300.00 Subdivision _____ Engineer Review _____ Date: 12/21/2000

Inspections Approval Status:

Reviewer Marge Schmuckal

- Approved Approved w/Conditions see attached Denied
Approval Date 01/09/2001 Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance Marge Schmuckal signature *[Signature]* date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issued	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date

BUILDING PERMIT REPORT

DATE: 21 December 20 ADDRESS: 32-34 Prospect Street CBL: 124-E-004

REASON FOR PERMIT: To Construct a 28' x 50' ranch / S/R

BUILDING OWNER: Duram M. Harris

PERMIT APPLICANT: /CONTRACTOR Stanley & Sons Const.

USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: \$60,000 PERMIT FEES: \$38400

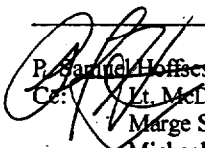
The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1 *2 *3 *4 *5 *6 *7 *8 *9 *10 *11 *12 *13 *14 *15 *16 *17 *18 *19 *20 *21 *22 *23 *24 *25 *26 *27 *28 *29 *30 *31 *32 *33 *34 *35 *36 *37

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
16. Each apartment shall have access to two (2) separate, remote and approved means of egress.
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

- X19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- X26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- X27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- X28. All requirements must be met before a final Certificate of Occupancy is issued.
- X29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- X30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 31. Please read and implement the attached Land Use Zoning report requirements. *All the requirements and conditions on the attached site development review sheets shall be met.*
- X32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- X33. Bridging shall comply with Section 2305.16.
- X34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- X35. All flashing shall comply with Section 1406.3.10.
- 36. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- X37. Your plan in elevations and cross section does not comply. Your elevation shows basement, first and 1/2 second floor - your cross section shows basement and first floor - please correct your elevation and cross section -


 P. Bartel, Offices, Building Inspector
 Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

Auram M. Heirs

No. 30-40 Prospect St		Chart 24 Blk. 15		Lot 7	
DATE OF OWNERSHIP	NAME OF OWNER	AREA	VALUATION		DATE OF VALUATION
			LAND	BUILDINGS	
	Boe Niels Christian C	6050	700	4700	1925
1957	Gallagher John J & Octavia M or surv.	6050	700	4600	1931
		6050	700	3650	1933
		6050	675	3475	1934
		6050	650	3300	1935
		6050	625	3125	1936
		6050	600	2975	1937
		6050	575	2875	1938
		6050	450	2800	1951
		6050	450	2950	1957
		6050	550	2950	1962
*Total of two or more buildings.		CITY OF PORTLAND	MAINE	0-Library Bureau 311-615 -A	

No. 115-127 Longfellow St		Chart 19 Blk. B		Lot 2	
DATE OF OWNERSHIP	NAME OF OWNER	AREA	VALUATION		DATE OF VALUATION
			LAND	BUILDINGS	
	Deering Heirs	31970	900		1925
1946	Noyes Edward D	21965	625		1929
1951	Noyes Edward D NR	20815	875		1930
1958	Miller Henry S & Marguerite or Surv	20815	825		1934
1961	Smith Jeannette	20815	775		1935
		20815	750		1936
		20815	725		1937
		20815	700		1938
		20815	450		1951
		20815	75		1962
		20815	850		1963
		10465	200		1964
*Total of two or more buildings.		CITY OF PORTLAND	MAINE	0-Library Bureau 311-615 -A	

36-40 Prospect St			124-E-7		
DATE OF OWNERSHIP	NAME OF OWNER	APPROX. AREA	VALUATION		DATE OF VALUATION
			LAND	BUILDINGS	
1957	Gallagher John J & Octavia M or- ^{Surv}	6050	550	2950	1962
1968	Hamblet, Daniel S & Jeanne K Jts	6050	1425	10750	1963
1971	O'Connor David M & Cheryl L jts	6050	4530	17450	1974
		6050	11330	34210	84

THE MAVEY COMPANY PORTLAND MAINE B2860 2M 11-63

115-121 Longfellow St			119 B 2		
DATE OF OWNERSHIP	NAME OF OWNER	APPROX. AREA	VALUATION		DATE OF VALUATION
			LAND	BUILDINGS	
1958	Miller, Henry S & Marguerite or- ^{Surv}	20815	850		1963
1961	Smith, Jeannette	10465	200		1964
976	Ramey Jeannette Smith	10465	2510	Exempt	74
1984	RAMEY Jeannette Smith Blind	10465	2510	EXEMPT=4000)	1980
		10465	2240	Exempt 1800	1984
		10465	4440		1990

THE MAVEY COMPANY PORTLAND MAINE B3069 1M 10-64

AVRAM HAINS
 32-34 PROSPECT ST
 PROOF OF LOT OF RECORD
 PER CITY OF PORTLAND ASSESSOR'S OFFICE CARD FILE
 12/28/00

No. 32-34 Prospect St		Chart 124 Blk. E		Lot 4	
DATE OF OWNERSHIP	NAME OF OWNER	AREA	VALUATION		DATE OF VALUATION
			LAND	BUILDINGS	
	Hudson George Heirs	5555	525		1925
1928	" " " " NR	5555	225		1932
1961	Hudson George Hrs. P/ih/P MR	5555	200		1933
1987	Hains Avram M-59 Fessenden St	5555	175		1935
		5555	150		1936
		5555	225		1951
		5555	550		1962
		5555	1075		1963
		5555	3420		1974
		5555	5360		84

*Total of two or more buildings.

CITY OF PORTLAND MAINE

0-Library Bureau 311-615 -Δ

*This is only his property
 Not the Abutting property*

AVRAM HAINS
 32-34 PROSPECT ST.
 PROOF OF LOT OF RECORD
 PER CITY OF PORTLAND ASSESSOR'S OFFICE CARD FILE
 12/28/00

No. 32-34 Prospect St				Chart 124 Blk. E	Lot 4
DATE OF OWNERSHIP	NAME OF OWNER	AREA	VALUATION		DATE OF VALUATION
			LAND	BUILDINGS	
	Hudson George Heirs	5555	525		1925
1928	" " " " NR	5555	225		1932
1961	Hudson George Hrs. P/in/P NR	5555	200		1933
1987	Hains Avram M-59 Fessenden St	5555	175		1935
		5555	150		1936
		5555	225		1951
		5555	550		1962
		5555	1075		1963
		5555	3420		1974
		5555	5360		84

*Total of two or more buildings.

CITY OF PORTLAND MAINE

0-Library Bureau 311-615 -Δ

B22506

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(optional)

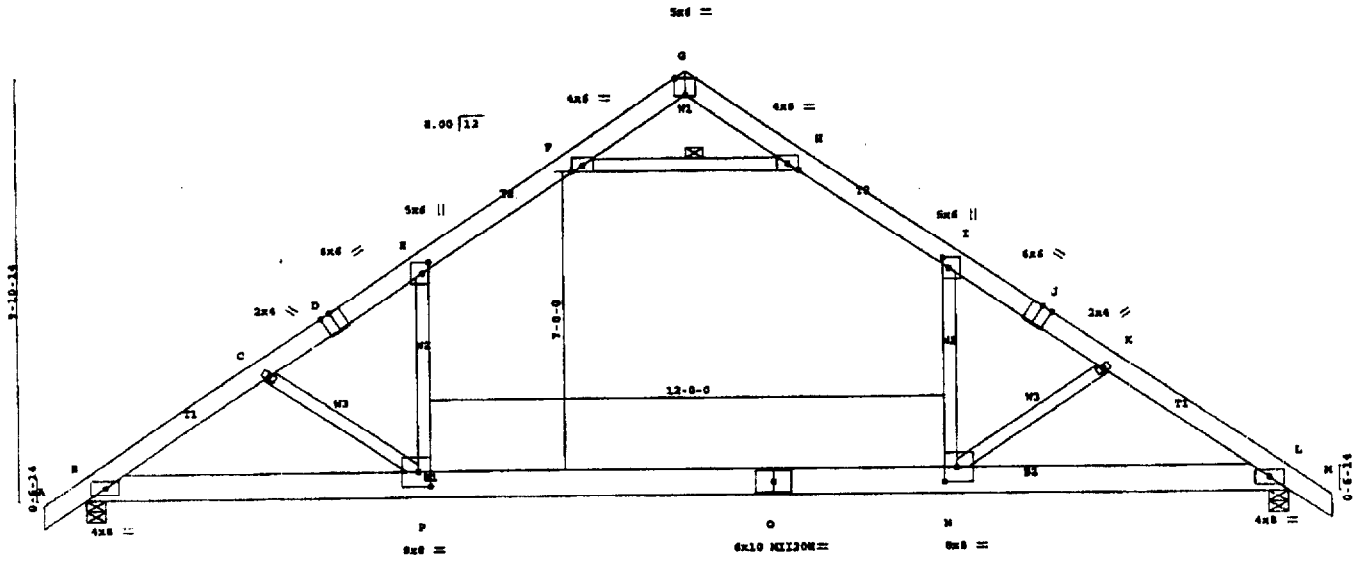
Mainely Trusses, Inc., Fairfield, ME 04937

4.201

SRI 8 Nov 16 2000 MITak Industries, Inc. Fri Dec 08 16:53:42 2000 Page 1

-1-0-0	4-3-8	7-10-4	11-7-2	14-0-0	16-4-14	20-1-12	23-8-8	28-0-0	29-0-0
1-0-0	4-3-8	3-6-12	3-8-14	2-4-14	2-4-14	3-8-14	3-6-12	4-3-8	1-0-0

Scale - 1/8"=1'-0"



4-3-8	7-10-4	20-1-12	23-8-8	28-0-0
4-3-8	3-6-12	12-3-8	3-6-12	4-3-8

Plate Offsets (X,Y): [R:0-1-12,0-3-0], [P:0-1-12,0-3-0], [G:0-3-0,Edgs], [M:0-1-12,0-3-0], [I:0-1-12,0-3-0], [N:0-3-8,0-4-0], [O:0-3-8,0-4-0]

LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in(loc) 1/def1	PLATES	GRIP
TCLL 42.0	Plates Increase	1.15	TC 0.99	Vert(LL) -0.71	M-P >465	MII20	169/123
TCDL 7.0	Lumber Increase	1.15	BC 0.34	Vert(TL) -1.01	M-P >327	MII20M	187/143
BCLL 0.0	Rep Stress Incr	TMS	WB 0.77	Hors(TL) 0.05	L n/a		
BCDL 10.0	Code	BOCA/ANSI95	(Matrix)	1st LC LL Min 1/def1 = 240			Weight: 186 lb

LUMBER	BRACING	
TOP CHORD	TOP CHORD	Sheathed.
T1 2 X 6 SPF No.2, T2 2 X 6 SPF No.2	BOT CHORD	Rigid ceiling directly applied or 9-7-14 oc bracing.
BOT CHORD	WEBS	1 Row at midpt F-H
2 X 8 SPF DSS		
WEBS		
2 X 4 SPF-S Stud *Except*		
W1 2 X 4 SPF No.2		

REACTIONS (lb/size) R=2465/0-5-8, L=2465/0-5-8
 Max Hors R=343(load case 3)
 Max Uplift=-243(load case 4), L=-243(load case 5)

FORCES (lb) - First Load Case Only
 TOP CHORD A-B=58, B-C=1958, C-D=3436, D-E=3252, E-F=2429, F-G=1051, G-H=1651, H-I=2429, I-J=3252, J-K=3436, K-L=3958, L-M=58
 BOT CHORD B-P=3191, O-P=2477, M-O=2477, L-M=3191
 WEBS F-N=3740, N-P=1342, I-M=1342, C-P=881, K-N=881

- NOTES
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 100 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the interior roof zone on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-99 per BOCA/ANSI95 If end verticals or cantilevers exist, they are exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
 - 3) All plates are MII20 plates unless otherwise indicated.
 - 4) Ceiling dead load (5.0 psf) on member(s). E-F, H-I, F-H
 - 5) Bottom chord live load (40.0 psf) and additional bottom chord dead load (5.0 psf) applied only to room. M-P
 - 6) One RT7 UBF connectors recommended to connect truss to bearing walls due to uplift at jt(s) B and L.
 - 7) This truss has been designed with ANSI/TPI 1-1995 criteria.

LOAD CASE(S) Standard

Roof Truss
 Avram Hains
 28' X 50' RANCH
 32-34 PROSPECT ST. PORTLAND



**PRELIMINARY DESIGN.
 NOT FOR CONSTRUCTION**

DEC-08-2000 17:24

MAINELY TRUSSES

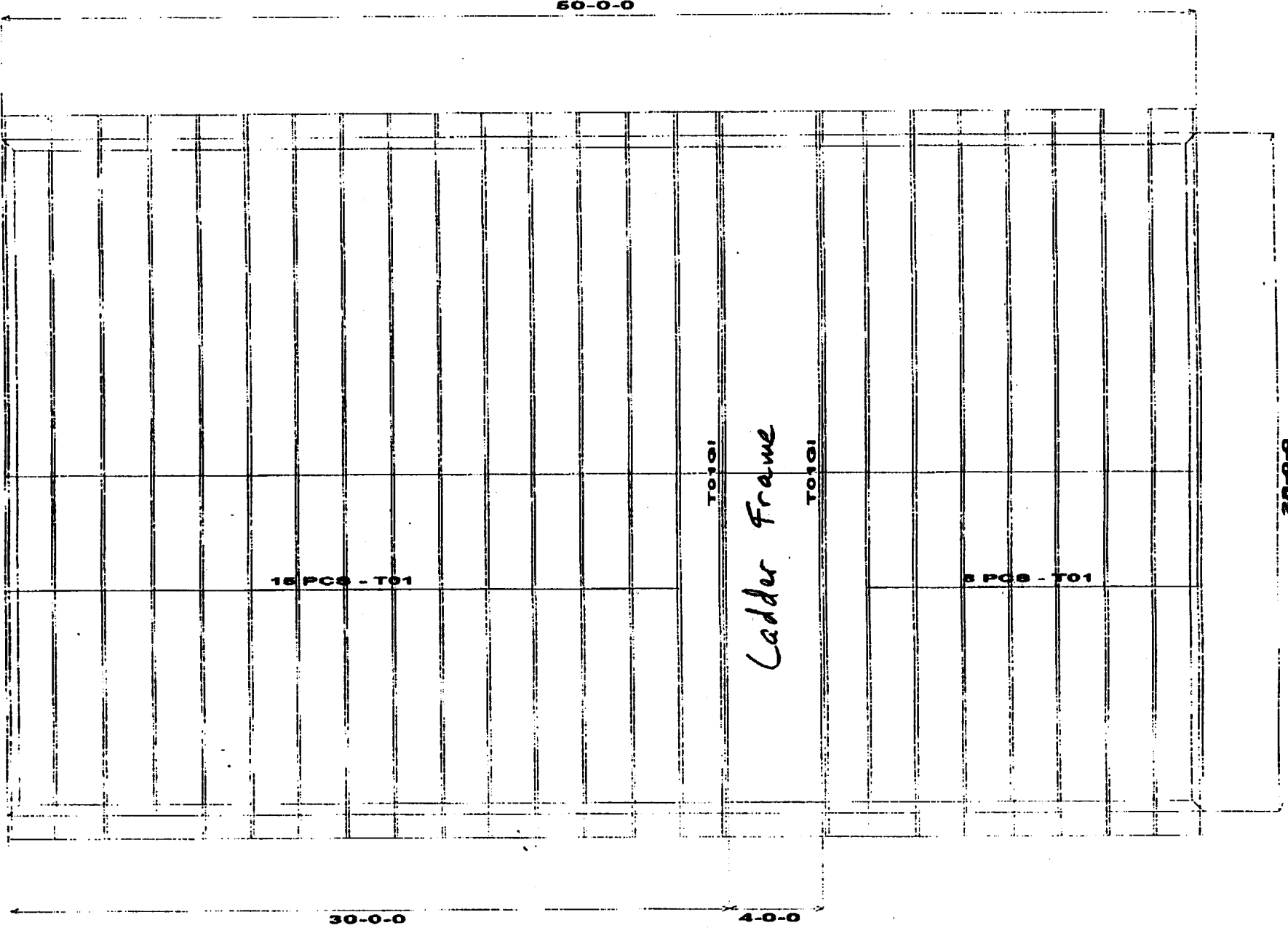
P. 02/03

ROOF FRAME PLAN

AVRAM HAINS

28' x 50' RANCH

32-34 PROSPECT ST., PORTLAND



PRELIMINARY DESIGN,
NOT FOR CONSTRUCTION

30-0-0

50-0-0

T0101

Cadder Frame

T0101

15 PCS - T01

3 PCS - T01

4-0-0

28-0-0



CITY OF PORTLAND

December 22, 2000

Avram M. Hains
262 Danforth Street
Portland, ME 04102

RE: 32-34 Prospect Street – 124-E-004 - R-5 Zone

Dear Mr. Hains,

I am in receipt of your building application to construct a new single family home at 32-34 Prospect Street. This property is located within the R-5 residential zone which requires a minimum lot size of 6,000 sq. ft. You are showing that this lot is only 5,672 sq. ft. Before I can allow you to build, you would need to document that this lot can meet the requirements of a 'lot of record' as defined in section 14-433 of the zoning ordinance. You would need to show me that this lot was held under separate and distinct ownership from any adjacent lots since June 5, 1957.

1/9/01 ok - Robert Hains brought in info -

I have also noted that your contractor states that he will be constructing a masonry chimney. Neither your structural plans nor your plot plan show the location of this chimney. Is this an internal or exterior chimney? If it is exterior, such a chimney would need to be shown on your plot plan with all the appropriate setbacks denoted. If it is interior, that should be shown on your construction plans. The height above the roof line should be shown on your plans.

it is interior per plans submitted 12/29/00

Your permit will be on hold until all the appropriate information has been submitted. If you have any questions, please do not hesitate to contact this office.

Very truly yours,

Marge Schmuckal
Zoning Administrator

CC: File

Applicant: owner: AVRAM Hains
Address: 32-34 Prospect St.

Date: 12/22/00
C-B-L: 124-E004

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-5

Interior or corner lot -

Proposed Use/Work - to construct 28' x 50' RANCH - single family
No garage No deck

Sevage Disposal - City

Lot Street Frontage - 50' req

Front Yard - 20' min - 20' show

Rear Yard - 20' min - 44' show

Side Yard - 8' req - 8' show & 12.5' show

Projections - front steps 3 x 5 = 15 # (50 # into the front setback allowed)
interior chimney show

Width of Lot - 60' req ^{at side step show} - only 54.25' show - No decks - No ext chimneys
No bulkheads show

Height - 1 story show

Lot Area - 6,000 # min - 5,672 # show ^{per survey or} (5,555) _{per assessors} - 1/9/01 This is a lot of record per info provided by Robert Hains

Lot Coverage/ Impervious Surface - 40%

Area per Family - 3,000 # min

Off-street Parking - 2 required - 2 show
can't park closer than 5' to the side of the

Loading Bays - N/A

Site Plan - minor/minor
20000223

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 13 - Zone C

Stanley and Sons Construction

RR1 Box 269K

Belgrade, ME 04917

Phone: 495-2976

Submitted to: Avram ^{M. HANUS LES amH} ~~Haines~~
262 Danforth Street
Portland ME, 04102
Phone: 207-871-8986

Submitted by: Stanley and Sons Construction
RR 1 Box 269K
Belgrade ME, 04917
Phone: 207-495-2976

We hereby propose to furnish the materials and perform the labor necessary for the completion of one 28x50 ranch style home complete. House will have full basement with a walkout on one end. House will be hooked to city water and sewer. House will have 2x10 floor stringers, 3/4 T&G osb sheathing on floors. Exterior walls will be 2x6 framing 7/16 osb sheathing. Interior partitions will be 2x4 framing, roof will be trussed 8/12 pitch with attic space, 5/8 osb sheathing. 3/4 osb sheathing on second floor. Stairs will be 2x12 rises, with 2x10 treads with no riser boards. Vinyl siding with covered trim. 25 year 3 tab shingles, single hung vinyl windows. Insulated exterior doors, masonite molding interior doors. Colonial trim pt. outside steps. Interior to be painted complete. Allowances: Finished floors \$3000.00 Three Thousand Dollars
Light fixtures \$450.00 Four Hundred Fifty Dollars
Kitchen and vanities \$3500.00 Three Thousand Five Hundred Dollars

Groundwork will consist of digging and backfilling foundation. Gravel driveway, foundation drains, running water and sewer pipes to curb. Spreading any loam saved from site, filling around the house to get proper grade for water run off. Ledge will be extra, stump removal from property will be extra, seed and hay lawn will be \$500.00 extra. Any stumps that can be buried on site will be.

Foundation: 8"x16" footing, ^{LES amH} 8"x7'6" walls 4" cement floor. Walls will have rebar in cement, and 2-basement window's. One end of foundation will be a walk out; this end will have one door and one window.

Plumbing: 1 zone baseboard hot water, 2 bathes plumbed complete. Kitchen ~~sink~~ ^{With LES amH} sink, dishwasher, fridge hookup plumbed complete. Washer and dryer hookup. Gas hookup to dryer and kitchen stove. Kitchen sink with a double stainless steal with double handle faucet with spray.

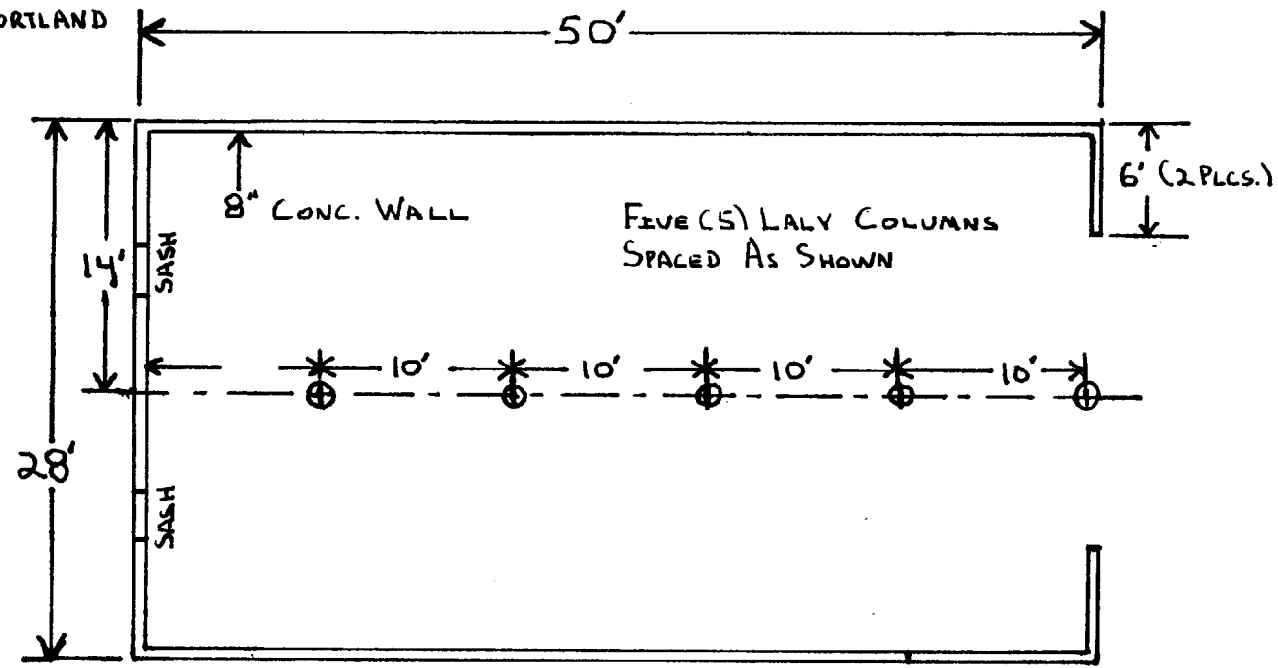
Electrical: 100 amp above ground service. Basement will have 4 lights and one outlet, 2 outside outlets, lights at every entrance, smoke detectors in every bedroom and one on every level. House first floor will be wired complete; nothing will be done on second floor. 220 hookup for electric range. Install 50 amp sub panel in attic area. Install one light and one outlet on 3rd floor.

Chimney: Will be an 8x8 single flu block with a brick top.

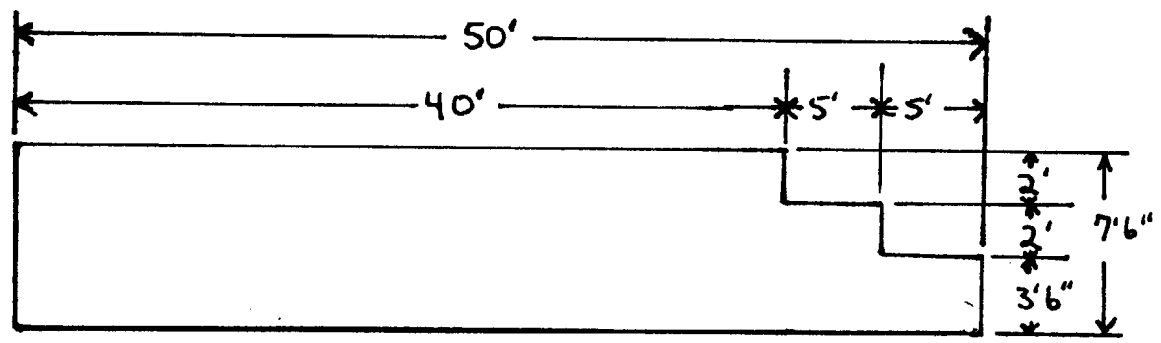
Options: Cement pads at each set of stairs and a 6x8 pad at walk out. All outside cement pads will be 4" thick cement with 2" foam under them \$750.00

*where is this located
not on plot plan not a
structure*

FOUNDATION PLAN
 AVRAM HAENS
 28' X 50' RANCH
 32-34 PROSPECT ST. PORTLAND

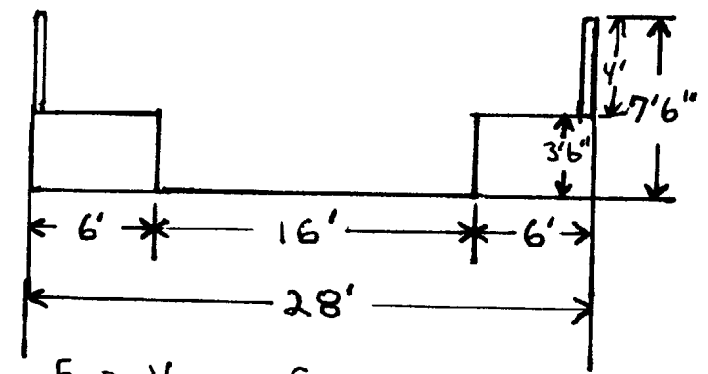


ELEVATION AT TOP OF FOUNDATION
 WILL BE APPROX 105.5 FT.



SIDE VIEW

WHERE FOUNDATION STEPS DOWN
 FROST WALL WILL BE CONSTRUCTED
 TO A DEPTH AT LEAST 5 FT. BELOW GRADE.



END VIEW SHOWING WALKOUT

46683
Know all Men by these Presents,

That The City of Portland, a body politic and corporate, and located at Portland, in the County of Cumberland and State of Maine, in consideration of one dollar and other valuable considerations paid by

Avram M. Hains of Portland, in the County of Cumberland and State of Maine, the receipt whereof it does hereby acknowledge, does hereby remise, release, bargain, sell and convey, and forever quit-claim unto the said

Avram M. Hains and his Heirs and Assigns forever, all its right, title and interest in and to the following described real estate situated in Portland in the County of Cumberland and State of Maine and more particularly described as, viz: Real Estate, Portland, Maine Assessor's Plans on file in Assessor's Office, City Hall Plan 124-E-4 Prospect St. 32-34 5555SF

Meaning and intending to convey the same land and building which the said grantor acquired by Tax Deed, Dated February 27, 1959, Recorded in Book 2593, Page 308. Also, Tax Deed, Dated February 27, 1959, Recorded in book 2599, Page 173

The instrument above referred to is recorded in the Cumberland County Registry of Deeds in Book Page .

In Witness Whereof, the said City of Portland has caused this instrument to be executed and its corporate seal affixed by Richard J. Ranaghan, Jr. Director of Finance, thereunto duly authorized, this 9th day of October A.D. 19 85 .

Signed, Sealed and Delibered in presence of

Susan M. Ruel

By Richard J. Ranaghan, Jr. Director of Finance.

Richard J. Ranaghan, Jr.

State of Maine. }
Cumberland, } ss.

October 9, 1985

Then personally appeared the above named Richard J. Ranaghan, Jr. and acknowledged the foregoing instrument to be his free act and deed in his said capacity, and the free act and deed in of said City of Portland.

Before me,

Susan M. Ruel
SUSAN M. RUEL Justice of the Peace
NOTARY PUBLIC, MAINE Notary Public.
MY COMMISSION EXPIRES AUGUST 12, 1990

The said City of Portland hereby makes no representations or warranties of any kind as to the acceptance or improvement of

AL
199/10/5
SEAL

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822506

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(optional)

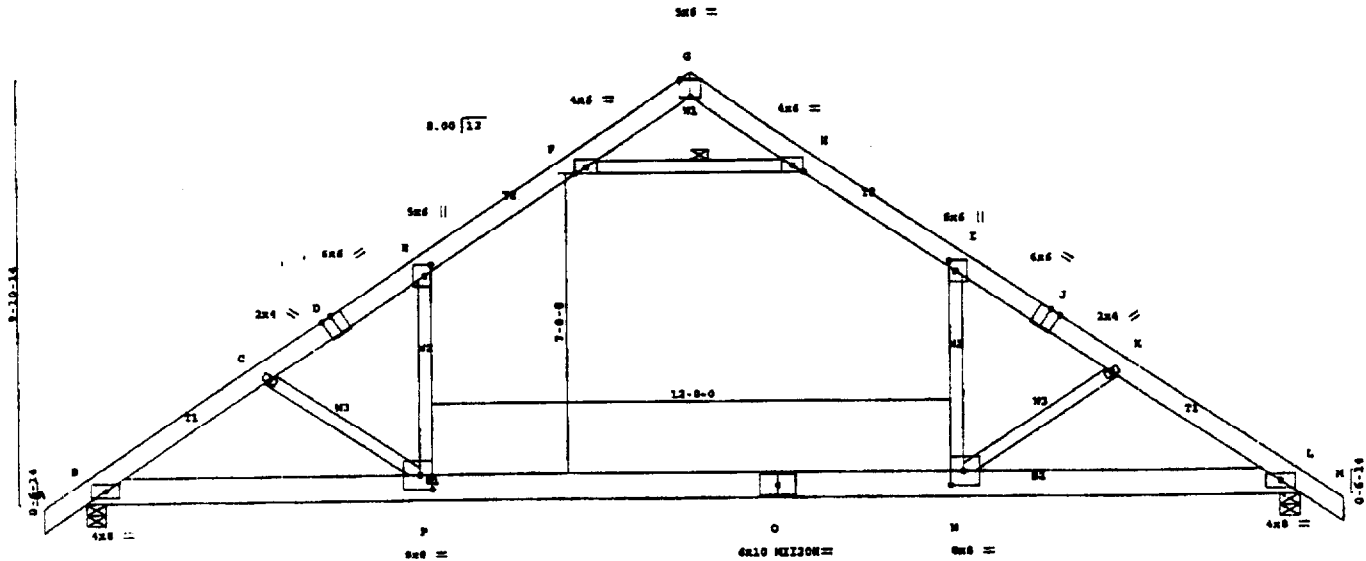
Mainely Trusses, Inc., Fairfield, NH 04937

4.201

SRI 8 Nov 18 2000 MiTek Industries, Inc. Fri Dec 08 16:53:42 2000 Page 1

-1-0-0	4-3-8	7-10-4	11-7-2	14-0-0	16-4-14	20-1-12	23-8-8	28-0-0	29-0-0
1-0-0	4-3-8	3-6-12	3-8-14	2-4-14	2-4-14	3-8-14	3-6-12	4-3-8	1-0-0

Scale - 1/4" = 1'-0"



4-3-8	7-10-4	20-1-12	23-8-8	28-0-0
4-3-8	3-6-12	12-3-8	3-6-12	4-3-8

Plate Offsets (X,Y): [B:0-1-12,0-3-0], [F:0-1-12,0-3-0], [G:0-3-0,4-0-0], [H:0-1-12,0-3-0], [I:0-1-12,0-3-0], [M:0-3-8,0-4-0], [D:0-3-8,0-4-0]

LOADING (psf)	SPACING 2-0-0	CSI	DEFL in(loc) 1/defl	PLATES	GRIP
TCLL 42.0	Plates Increase 1.15	TC 0.99	Vert(LL) -0.71 N-P >465	MII20	169/123
TCBL 7.0	Lumber Increase 1.15	BC 0.54	Vert(TL) -1.01 N-P >327	MII20M	187/143
BCLL 0.0	Rep Stress Inscr YES	WR 0.77	Max(TL) 0.05 L n/a	Weight: 186 lb	
BCBL 10.0	Code SOCA/ANSI95	(Matrix)	1st LC LL Min 1/defl = 240		

LUMBER	BRACING
TOP CHORD 2 X 6 SPF DSS *Except* T1 2 X 6 SPF No.2, T2 2 X 6 SPF No.2	TOP CHORD Sheathed.
BOT CHORD 2 X 6 SPF DSS	BOT CHORD Rigid ceiling directly applied or 9-7-14 oc bracing.
WEBS 2 X 4 SPF-S Stud *Except* W1 2 X 4 SPF No.2	WEBS 1 Row at midpt F-H

REACTIONS (lb/size) B=2465/0-5-8, L=2465/0-5-8
 Max Wors B=343(load case 3)
 Max UpliftB=243(load case 4), L=243(load case 5)

FORCES (lb) - First Load Case Only
 TOP CHORD A-B=38, B-C=3988, C-D=-3436, D-E=-3252, E-F=2429, F-G=1051, G-H=1051, H-I=2429, I-J=3252, J-K=3436, K-L=3988, L-M=38
 BOT CHORD B-F=3191, O-P=2477, N-O=2477, L-M=3191
 WEBS F-N=3740, E-P=1342, I-M=1342, C-P=-881, K-N=-881

- NOTES
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 100 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, in the interior roof some on an occupancy category II, condition I enclosed building, with exposure D ASCE 7-98 per SOCA/ANSI95 if end verticals or cantilevers exist, they are exposed to wind. If porches exist, they are not exposed to wind. The lumber DOI increase is 1.33, and the plate grip increase is 1.33
 - 3) All plates are MII20 plates unless otherwise indicated.
 - 4) Ceiling dead load (5.0 psf) on member(s) N-F, H-I, F-H
 - 5) Bottom chord live load (40.0 psf) and additional bottom chord dead load (5.0 psf) applied only to room. N-P
 - 6) One RT7 USP connectors recommended to connect truss to bearing walls due to uplift at jt(s) B and L.
 - 7) This truss has been designed with ANSI/TPI 1-1995 criteria.

LOAD CASE(S) Standard

ROOF TRUSS
 AVRAM HAINS
 28' X 50' RANCH
 32-34 PROSPECT ST. PORTLAND



**PRELIMINARY DESIGN.
 NOT FOR CONSTRUCTION**

DEC-08-2000 17:24

MAINLY TRUSSES

P. 02/03

ROOF FRAME PLAN

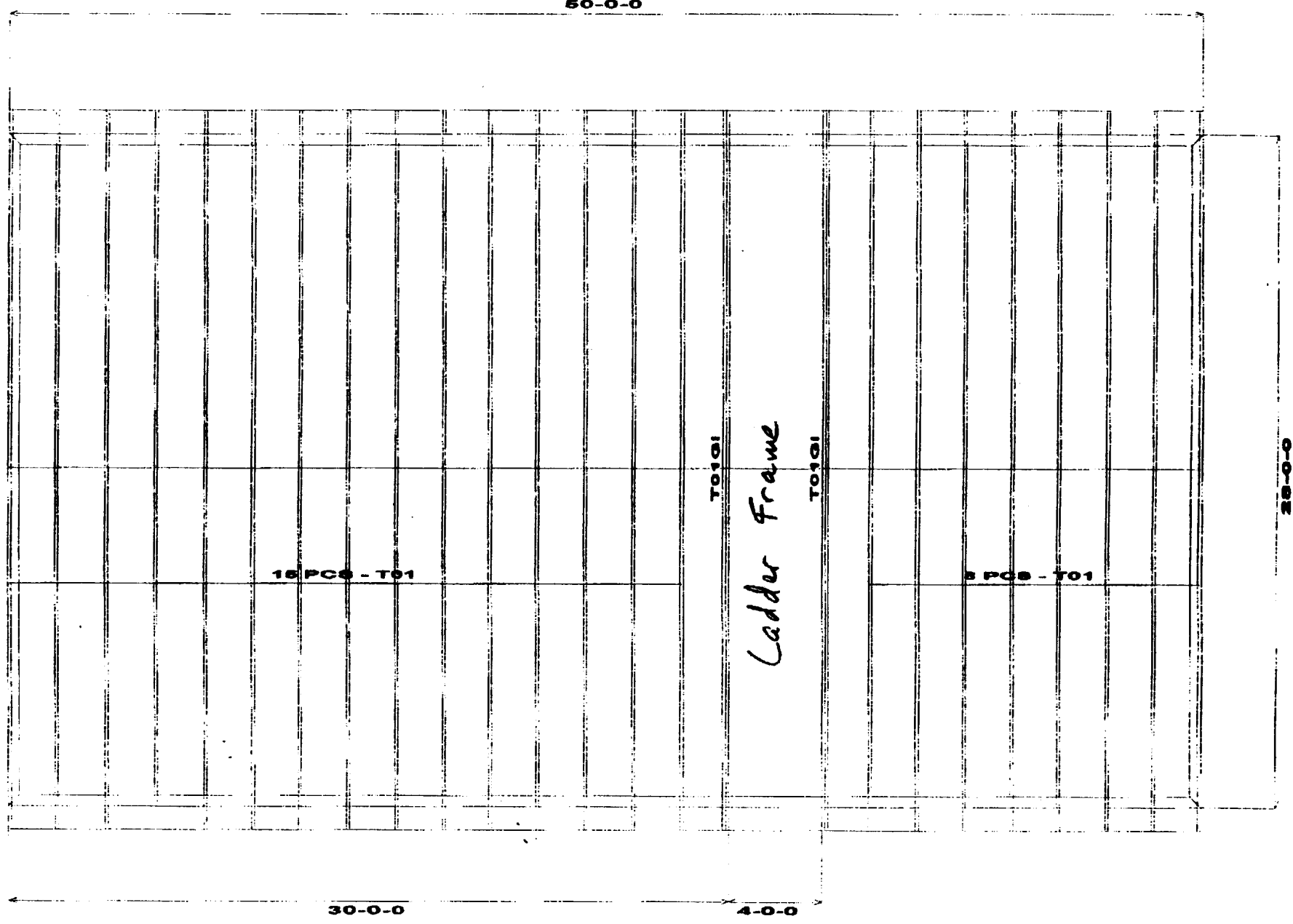
AVRAM HAINS

28x50' RANCH

32-34 PROSPECT ST., PORTLAND



PRELIMINARY DESIGN.
NOT FOR CONSTRUCTION



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

20000223
I. D. Number

Avram M. Hains
Applicant
262 Danforth Street, Portland, ME 04102
Applicant's Mailing Address
Avram M. Hains
Consultant/Agent
207-871-8986
Applicant or Agent Daytime Telephone, Fax

12/21/00
Application Date
Single Family 28 x 50 Ranch
Project Name/Description
34 - 34 Prospect St, Portland, Maine 04102
Address of Proposed Site
124-E-004
Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

- Approved subject to site plan review condition of approval sheet.
- All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- Your new street address is now 34 Prospect Street, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.
- A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- A street opening permit(s) maybe required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
- As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.
- The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- Applicant shall be responsible to install and maintain all necessary erosion control devices.
- Applicant shall be responsible to keep city streets free of mud or other debris tracked from this site. This includes street sweeping if necessary.
- Applicant shall place a minimum of 6" of gravel (MDOT-703-06a Type 'A') as the finished grade for the driveway.

Planning Conditions of Approval

Inspections Conditions of Approval

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Inspections Office Copy**

20000223

I. D. Number

Avram M. Hains

Applicant

282 Danforth Street, Portland, ME 04102

Applicant's Mailing Address

Avram M. Hains

Consultant/Agent

287-871-8985

Applicant or Agent Daytime Telephone, Fax

12/21/00

Application Date

Single Family 28 x 50 Ranch

Project Name/Description

34 - 34 Prospect St, Portland, Maine 04102

Address of Proposed Site

174-E-004

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) **28 x 50 Ranch**
1,400 sf. **5,672 sf.**

Proposed Building square Feet or # of Units **1,400 sf.** Acreage of Site **5,672 sf.** Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other

Fees Paid: Site Plan **\$300.00** Subdivision _____ Engineer Review _____ Date: **12/21/00**

Inspections Approval Status:

Approved Approved w/Conditions see attached Denied Reviewer _____

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____	_____	
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

20000223

I. D. Number

Avram M. Hains

Applicant

262 Danforth Street, Portland, ME 04102

Applicant's Mailing Address

Avram M. Hains

Consultant/Agent

207-871-8988

Applicant or Agent Daytime Telephone, Fax

12/21/00

Application Date

Single Family 28 x 50 Ranch

Project Name/Description

34 - 34 Prospect St, Portland, Maine 04102

Address of Proposed Site

124-E-004

Assessor's Reference: Chart-Block-Lot

Fire Conditions of Approval

C.I.P. #1006

45.11'

1" I.P. Fnd.

95.4

94.3
94°34'39"

N78°30'00"W

90°00'00"

N78°30'00"W

UNDERDRAIN: PERFORATED
PIPE ± 35 FT LONG IN
2 FT. TRENCH SURROUNDED
WITH CRUSHED STONE

20'
setback

ALL OTHER DRAINAGE WILL SLOPE
TO THE DRAINAGE SWALE AT RAILROAD
RIGHT OF WAY AND THE PROPERTY LINE.

Building
Envelope

100

102

N/F

Catherine E. Foley

11850 / 312

104

8'
setback

8'
setback

28'

99.8

BREAK LINE FOR DRAINAGE
± 60 FT. TO STREET.
SLOPE TO CURB APPROX. 1/4" PER FOOT

114.55'

S16°04'39"W

97.7

N11°30'00"E

114.18

9.59'

97.8

DRAINAGE PLAN
AVRAM HAINS
28' X 50' RANCH
32-34 PROSPECT ST. PORTLAND

Proposed
Building
Location

50'

100.5

PL

APPROX. BREAK LINE FOR
DRAINAGE TO CURB CUT

20'
setback

102.4

Mark
of
Pad

85°25'21"

54.25'

S78°30'00"E 90°00'00"

9.38'

105.6

SCALE: 1" = 10'

PL = PROPERTY LINE

Brick Sidewalk

Water

Utility Pole

Existing
Curb Cut

100.6
rlm

Catch Basin

101.9
rlm

Sewer Manhole

100.9
rlm

Storm Drain

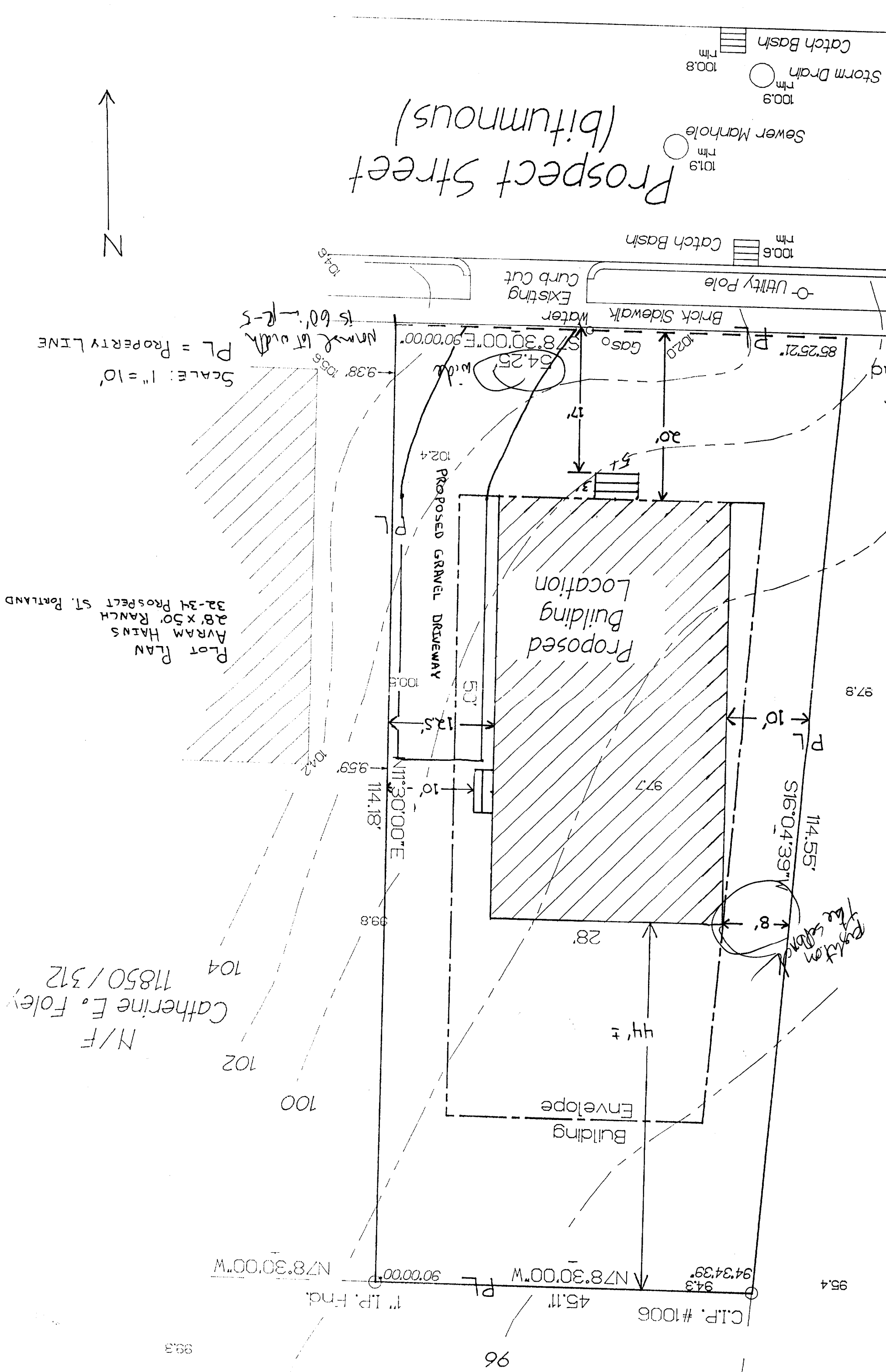
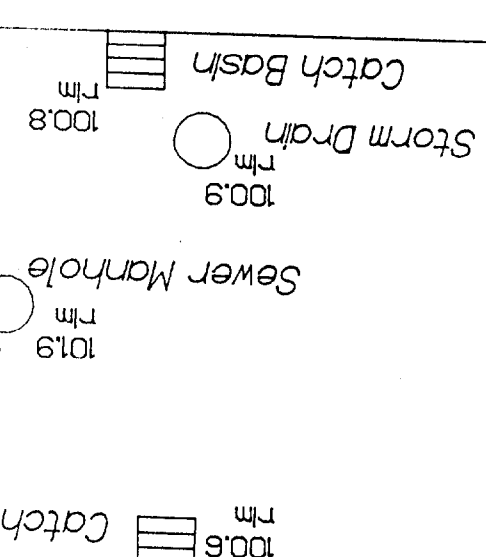
100.8
rlm

Catch Basin

Prospect Street
(bituminous)



Prospect Street (bituminous)



Plot Plan
AVRAM HAIN'S
28' x 50' RANCH
32-34 PROSPECT ST. PORTLAND

N/F
Catherine E. Foley
11850 / 312
104
102
100

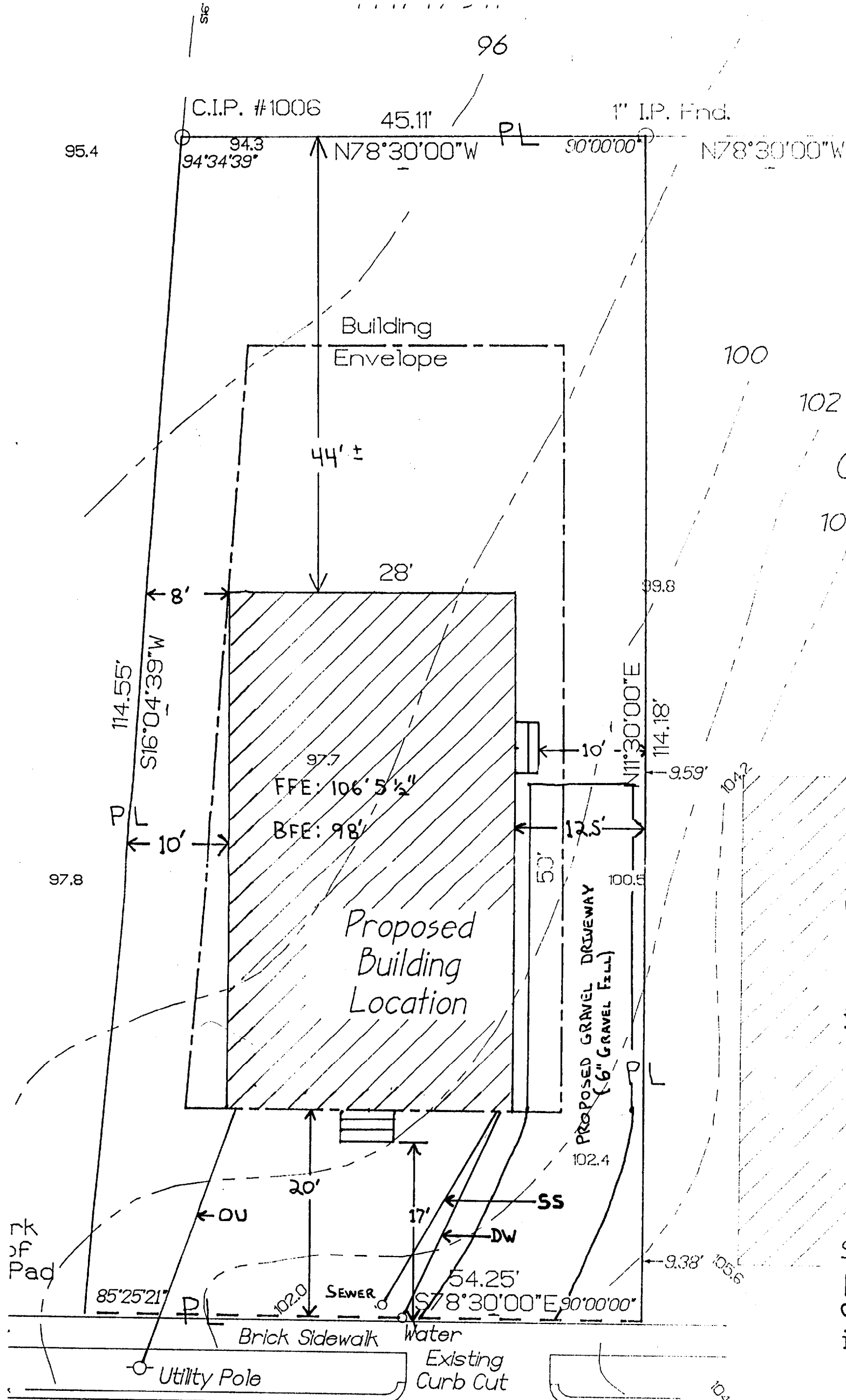
99.3

96

95.4

C.I.P. #1006

1" I.P. Fnd.



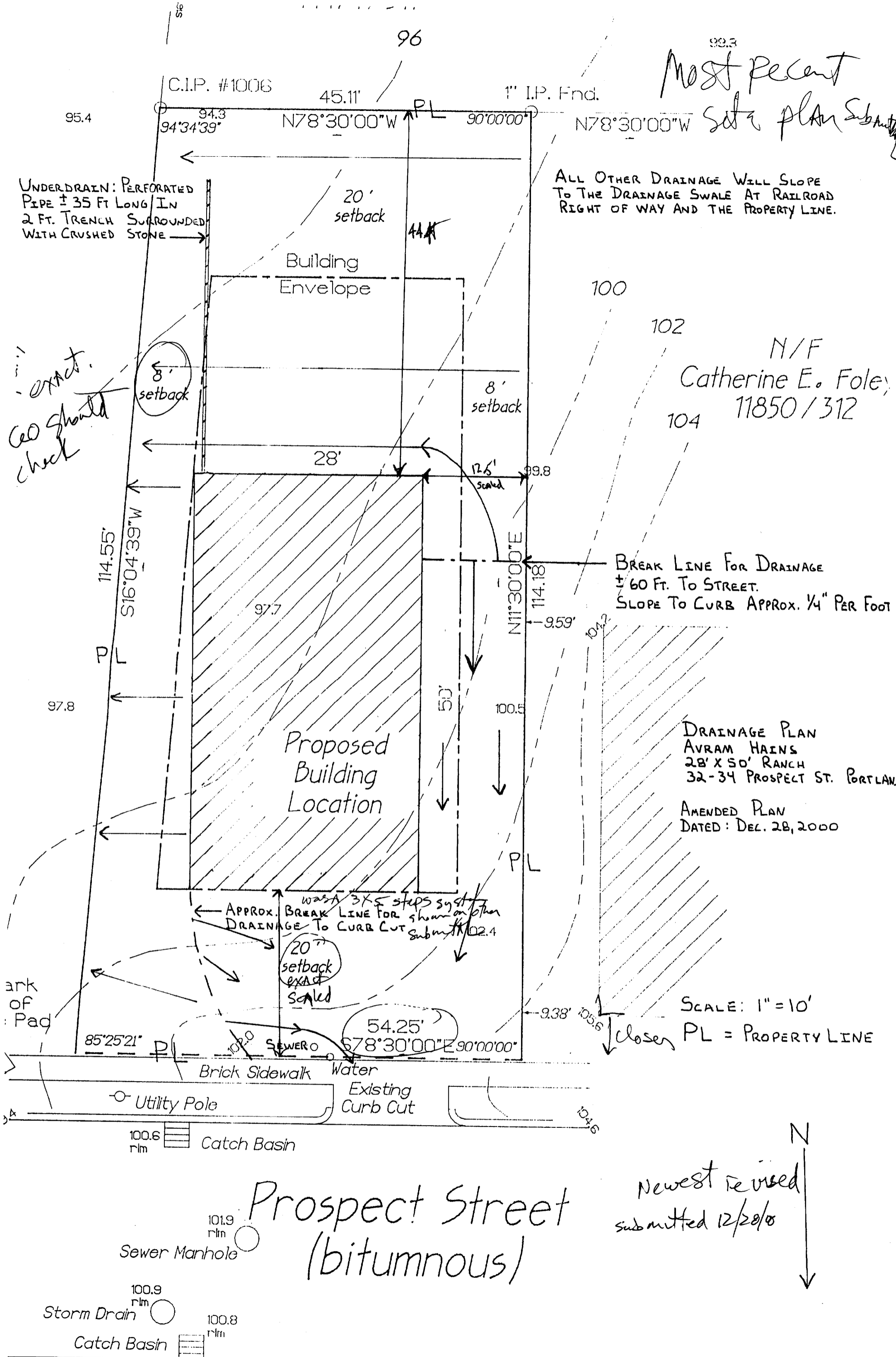
N/F
 Catherine E. Foley
 11850/312

PLOT PLAN
 AVRAM HAINS
 28' X 50' RANCH
 32-34 PROSPECT ST. PORTLAND
 AMENDED PLAN
 DATED: DEC. 28, 2000

SCALE: 1" = 10'
 PL = PROPERTY LINE
 OU = OVERHEAD UTILITIES
 SS = SANITARY SEWER
 DW = DOMESTIC WATER



Prospect Street
 (bituminous)



99.3
 Most recent
 site plan submitted

ALL OTHER DRAINAGE WILL SLOPE TO THE DRAINAGE SWALE AT RAILROAD RIGHT OF WAY AND THE PROPERTY LINE.

N/F
 Catherine E. Foley
 11850/312

BREAK LINE FOR DRAINAGE ± 60 FT. TO STREET. SLOPE TO CURB APPROX. 1/4" PER FOOT

DRAINAGE PLAN
 AVRAM HAINS
 28' X 50' RANCH
 32-34 PROSPECT ST. PORTLAND

AMENDED PLAN
 DATED: DEC. 28, 2000

SCALE: 1" = 10'
 PL = PROPERTY LINE

exact.
 CEO should check

mark of Pad

was 3x5 steps system
 APPROX. BREAK LINE FOR DRAINAGE TO CURB CUT
 sewer on other submit 12/24

20' setback exact scaled

54.25'

closer

Prospect Street
 (bituminous)

Newest revised
 submitted 12/20/0



100.6 r/m Catch Basin

101.9 r/m Sewer Manhole

100.9 r/m Storm Drain

100.8 r/m Catch Basin