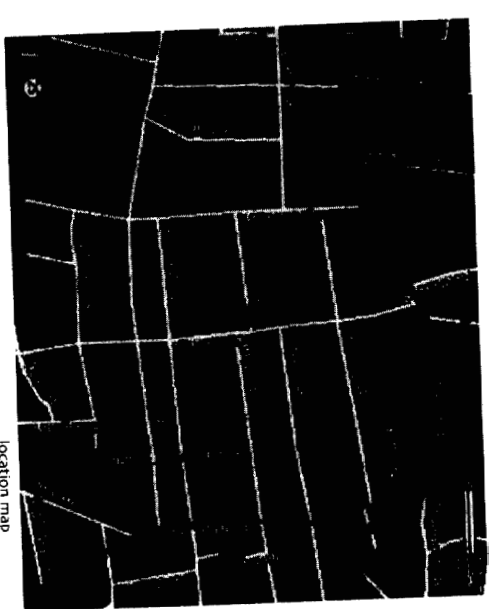
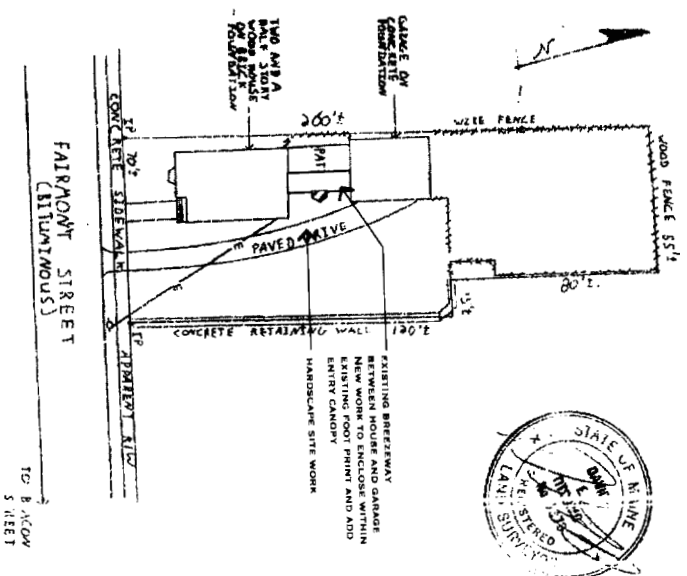


124 6 008
 OCT 12 2004
 5 1 7 E



location map



GENERAL NOTES

THE SITE IS LOCATED AT 13 FAIRMONT STREET IN PORTLAND MAINE.

ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT SUPERVISOR AND OWNER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.

ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH.

ALL WORK IS TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANLY MANNER COMPLYING WITH ALL MANUFACTURERS SPECIFICATIONS.

UNDO ORATORY SITE

ALL TRADERS ARE RESPONSIBLE FOR REVIEWING THE ARCHITECTURAL FOR DETAILS AND COORDINATING RELEVANT CONDITIONS WITH THEIR PARTICULAR TRADE.

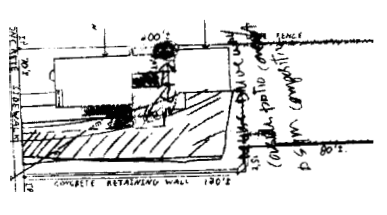
ALL MILLWORK LOCATIONS TO HAVE BLOCKING IN ALL WALLS WHERE FEASIBLE.

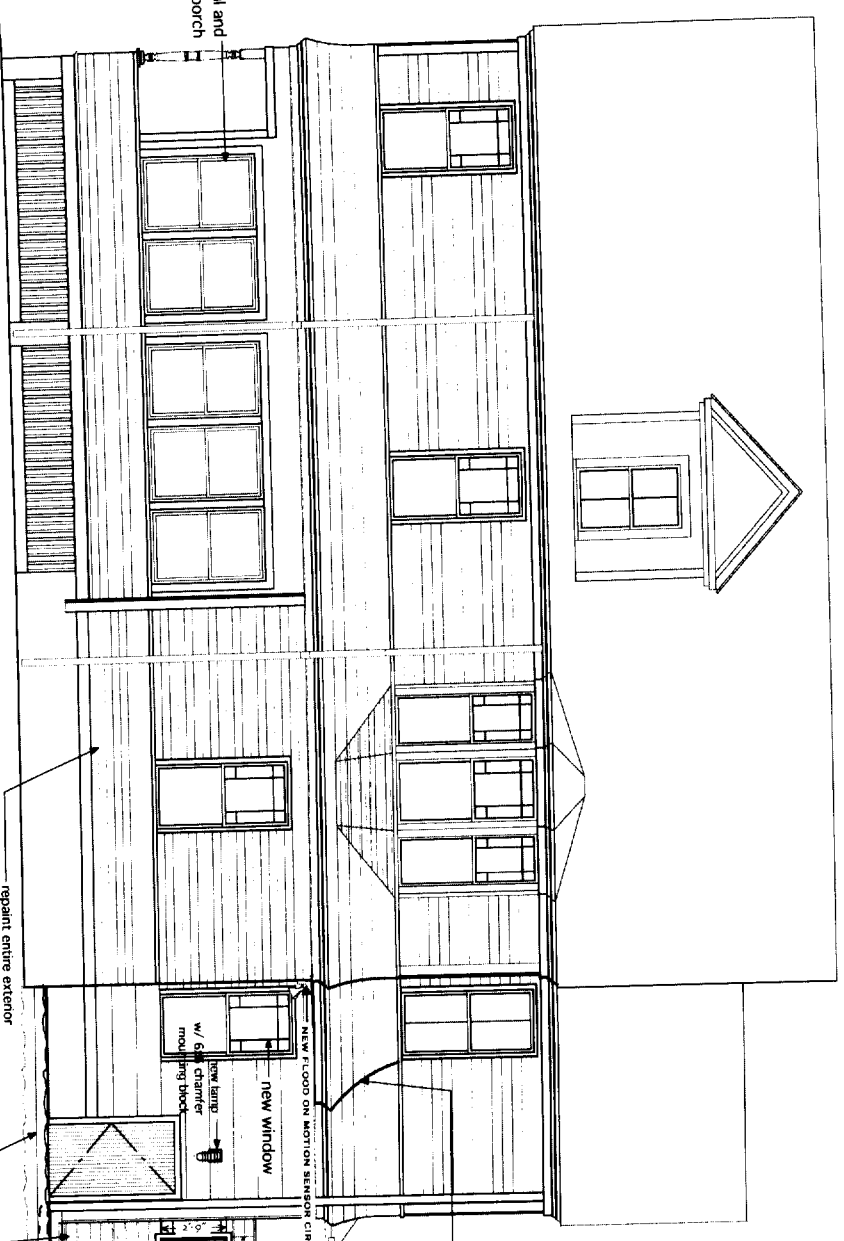
ALL DIMENSIONS, UNLESS OTHERWISE NOTED ARE TO FACE OF STRUCTURE. CONCRETE FOOTINGS, VERTICAL DIMENSIONS ARE TO SUBFLOOR UNLESS OTHERWISE NOTED.

REVISIONS SEPTEMBER:
 CONTRACT DOCC

Richard and Meodi Hackett Residence 13 Fairmont Street, Portland, Maine 04103

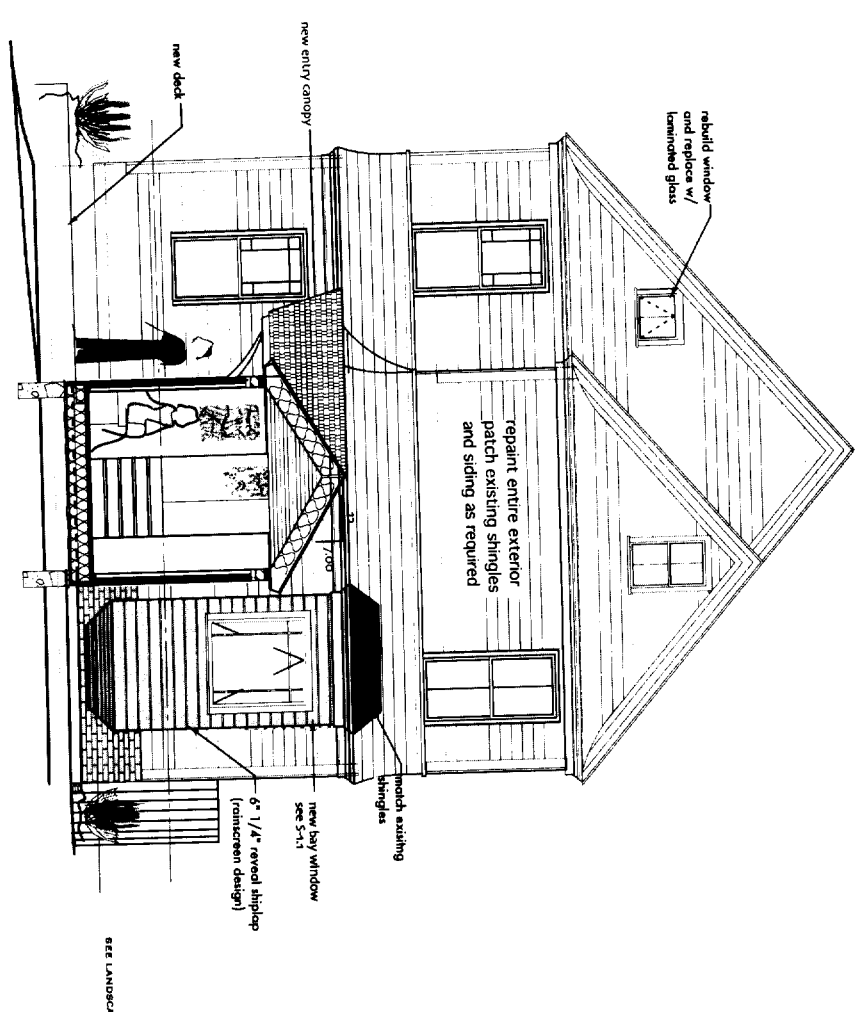
interior renovations and reconstruction of connection between main house and garage
 studio mnemosyne jeremy moser 142 high street suite 612 P.O. box 5360 portland, maine 04101 207-329-6128 fax 773 8545
 L & L structural engineering 6 q street south portland, maine 04106 207-767-483c





1 south elevation

g.c. to provide a breakout #6 for removal and
exteriorization of existing entry porch



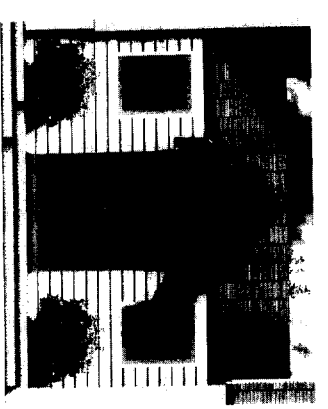
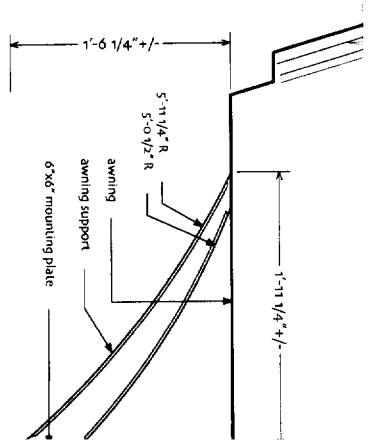
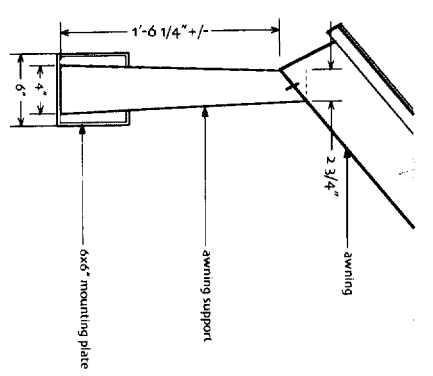
2 east elevation

repair entire exterior
patch existing shingles
and siding as required

NOTE: G.C. WILL REMOVE EXISTING VERMICULITE INSULATION WHERE FEASIBLE AND PROVIDE NEW BLOWN IN PRODUCT.
G.C. WILL REPLACE SHINGLES IN KIND AND PROVIDE PRICING FOR REPAIRING ENTIRE EXTERIOR OF HOUSE

G.C. to inspect and determine
condition of overhang

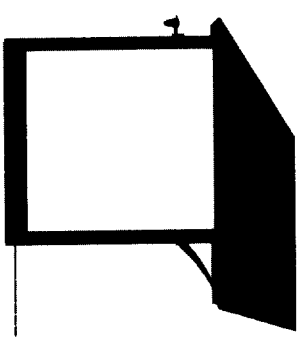
detail of awning support
scale 1/2"=1'-0"



rendered model



rendered perspective



rendered section

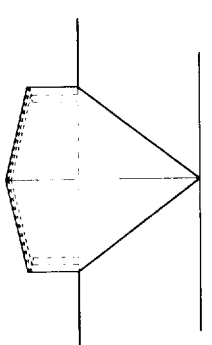
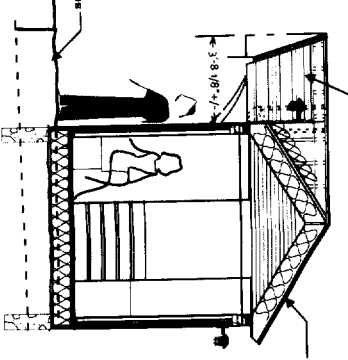
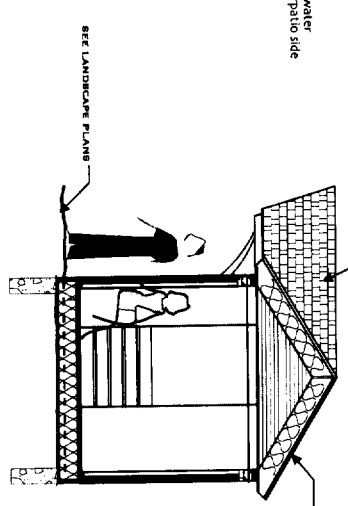


diagram of awning roof



3 section through revised connector



3 section through revised connector

new entry canopy

new deck

rebuild window
and replace w/
laminated glass

repair entire exterior
patch existing shingles
and siding as required

new bay window
see 5-21

6\"/>

new bay window
see 5-21

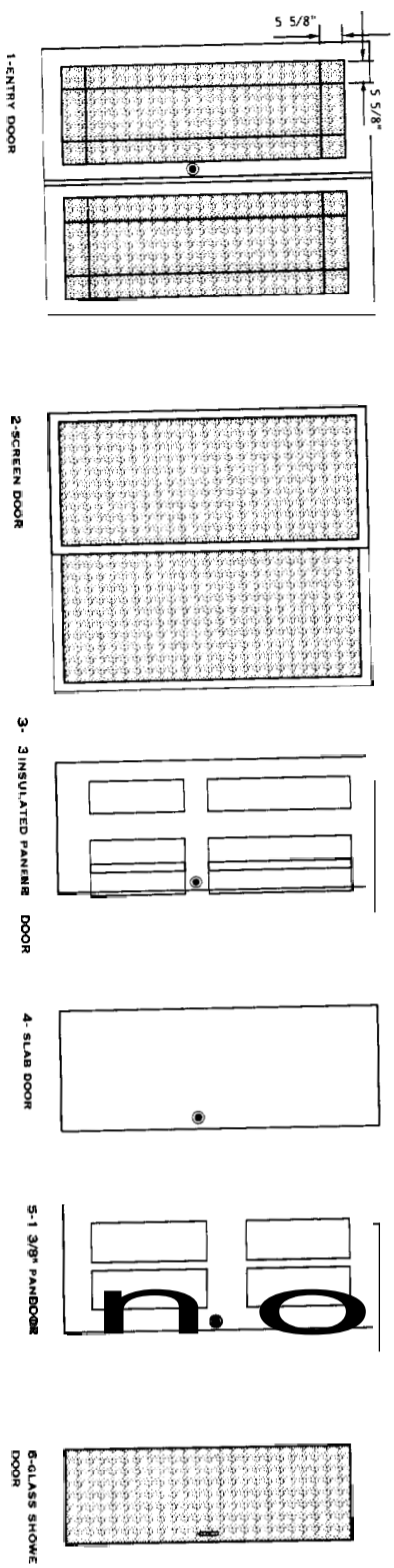
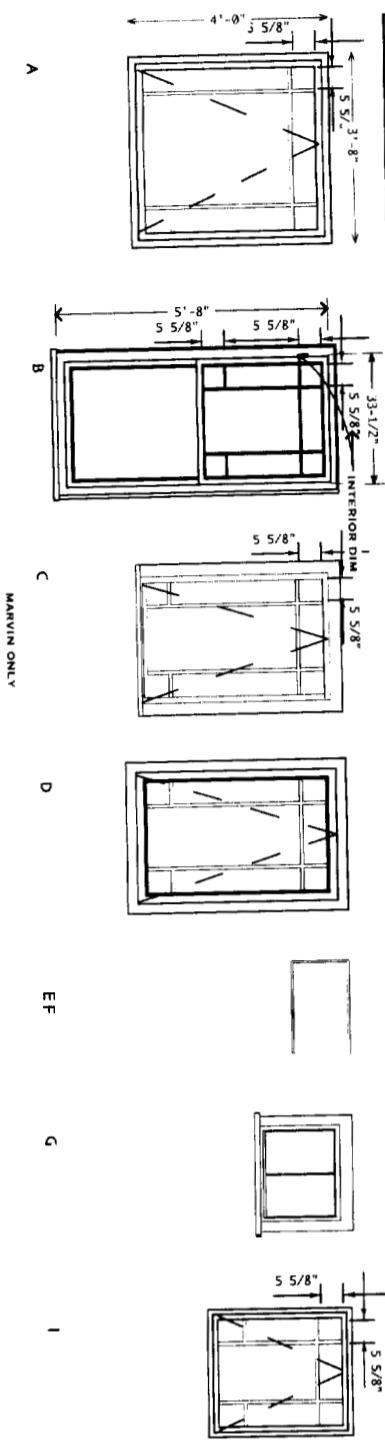
new lamp
w/ 6/6 chamber
mounting box

new lamp
w/ 6/6 chamber
mounting box

provide cricket to divert water
from sliding door interior patio side

provide cricket to divert water
from sliding door interior patio side

location	window type	manufacturer	model number	quantity	window type	description	rough opening	width	notes
month	A	Marvin	WANN 4448	1	awning	giant unit	4' 0" x 6' 5" x 4' 1"		at new bay window
	B	Marvin	WANN 4448	1	double hung		2' 8" x 3' 5" x 5' 2"		@ stair tower
	C	Marvin	WANN 3340	1	awning		3' 0" x 3' 4" x 4"		window replacement
	D	Marvin	WANN 3340	1	awning		3' 0" x 3' 4" x 4"		in existing 2nd floor bath
	E	Marvin	WANN 3340	1	single pane		3' 0" x 3' 4" x 4"		actual opening
	F	Marvin	WANN 3340	1	single pane		3' 0" x 3' 4" x 4"		actual opening
	G	Marvin	WANN 3340	1	awning		3' 0" x 3' 4" x 4"		replacement
	H	Marvin	WANN 3340	1	fixed venting		3' 0" x 3' 4" x 4"		replace existing
	I	Marvin	WANN 3340	2	awning		3' 0" x 3' 4" x 4"		replace existing



door number	door size	thickness	mtl	finish	door elevation	section	hardware	door func.	room name/remarks
100a	(2) 3'0\"/>								

room num	room name	floor	base	ceiling	wall	north	east	south	west	remarks
100	Entry	7	0	tp/4c	tp	tp	tp	tp	tp	
101	Closet	4	0	tp	tp	tp	tp	tp	tp	
102	Entry Stair	4	4	tp	tp	tp	tp	tp	tp	
103	Entry Stair	4	0	tp	tp	tp	tp	tp	tp	
104	Kitchen	4	0	tp	tp	tp	tp	tp	tp	
105	Lounge	4	0	tp	tp	tp	tp	tp	tp	
106	Dining	4	0	tp	tp	tp	tp	tp	tp	
107	Bedroom	4	0	tp	tp	tp	tp	tp	tp	
200	Back Stair	2	0	tp	tp	tp	tp	tp	tp	
201	Landing	2	0	tp	tp	tp	tp	tp	tp	
202	Office	2	0	tp	tp	tp	tp	tp	tp	
203	Linon Closet	2	0	tp	tp	tp	tp	tp	tp	
204	Bedroom	2	0	tp	tp	tp	tp	tp	tp	
205	Master Bed	5/4	0	tp	tp	tp	tp	tp	tp	
206	Hall	5/4	0	tp	tp	tp	tp	tp	tp	
207	Laundry	4	0	tp	tp	tp	tp	tp	tp	
208	Master Bath	4	0	tp	tp	tp	tp	tp	tp	
209	Master Bath	4	0	tp	tp	tp	tp	tp	tp	
210	Stair Tower	6	0	tp	tp	tp	tp	tp	tp	
300	Landing	6	4	tp	tp	tp	tp	tp	tp	
301	Bedroom	6	4	tp	tp	tp	tp	tp	tp	
302	Hall	6	4	tp/2p	tp	tp	tp	tp	tp/2p	
303	Hall	6	4	tp	tp	tp	tp	tp	tp	
304	Landing	6	3	tp	tp	tp	tp	tp	tp	

- KEY**
- FLOOR FINISH**
1. Rolled Vinyl
 2. Carpet w/Pad - (Match Existing as Required)
 3. Cocoa Mat
 4. Wood Floor - Prevero 3 1/4" natural prefinished #1 common maple
 5. March Existing Floor
 6. Existing Floor (refinish)
 7. Bamboo flooring
- BASE FINISH**
0. Match Existing
 1. 1/2" X 6" Poplar
 2. 4" Ceramic Tile Cove Base
 3. 1/2" X 4" Paint Grade Poplar
 4. Match Existing as Required
- CEILING FINISH**
1. 1/2" GWB
 2. Moisture Resistant GWB
 3. 5/8" Fire GWB
 4. TRG 2 1/4" Vgroove fir
- WALL FINISH**
1. 5/8" GWB
 2. Moisture Resistant GWB
 3. 5/8" Fire GWB
 4. Ceramic Tile
- PAINT FINISH**
- P. Latex Eggshell
 - C. Clear Finish
 - o. Alkyd Semi-Gloss
 - ep. Repaint Existing

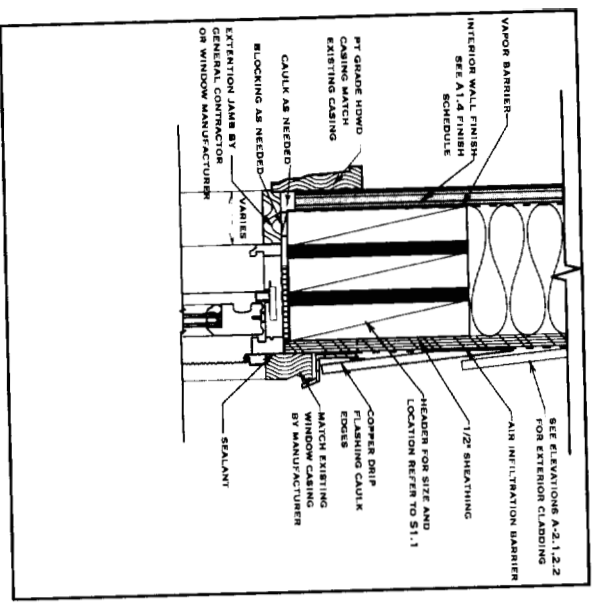
ELECTRICAL LIGHTING DESCRIPTION AND LIGHT COUNT (ESTIMATION) BASED ON E-1.1 (BASED ON ALLOWANCE)

DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
Exterior floods	2	@ 35.00	70.00
Ext sconces	4	@ 80.00	320.00
Post light	1	@ 90.00	90.00
5" recessed so watt halogen	11	@ 45	495.00
6" recessed wide flood	8	@ 60	480.00
pendants	2	@ 206	412.00
2 @ counter sconce good quality	4	@ 40	160.00
score req qual	5	@ 45	225.00
Dining room light	1	@ 406	406.00
Linear recessed	1	@ 45	45.00
Lens floor	3	@ 45	135.00
Fanlights	2	@ 150/200	300.00
Wet area lights	2	@ 80	160.00

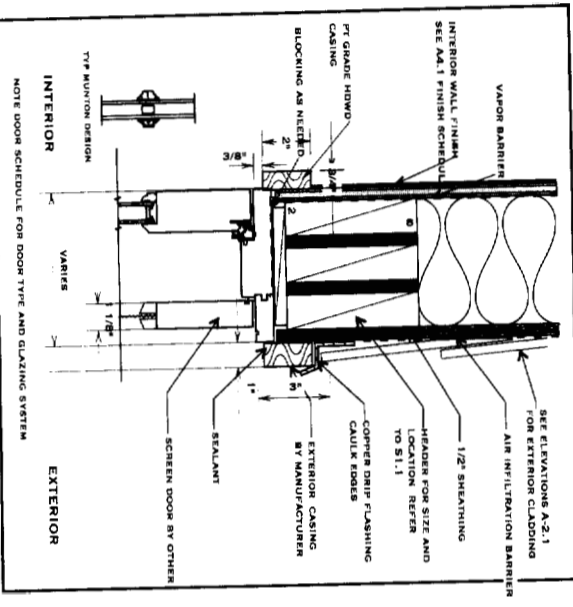
PLUMBING SCHEDULE SEE CONTRACT BETWEEN OWNER AND GENERAL CONTRACTOR 9/28/04

APPENDUM PLUMBING FIXTURE SCHEDULE (BASED ON ALLOWANCE)

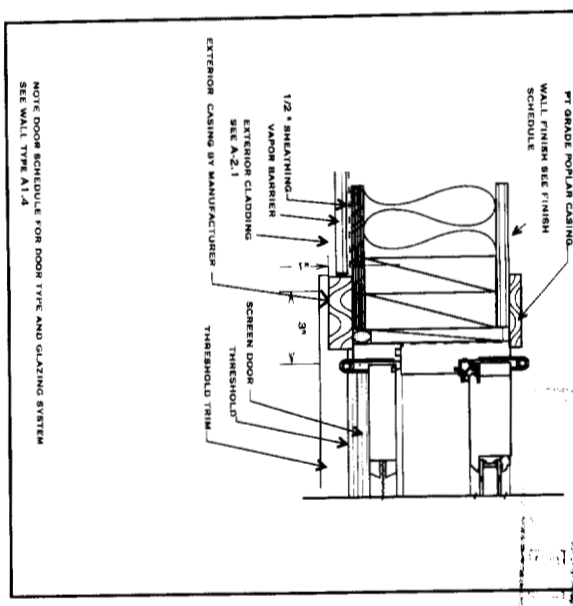
124 C 008



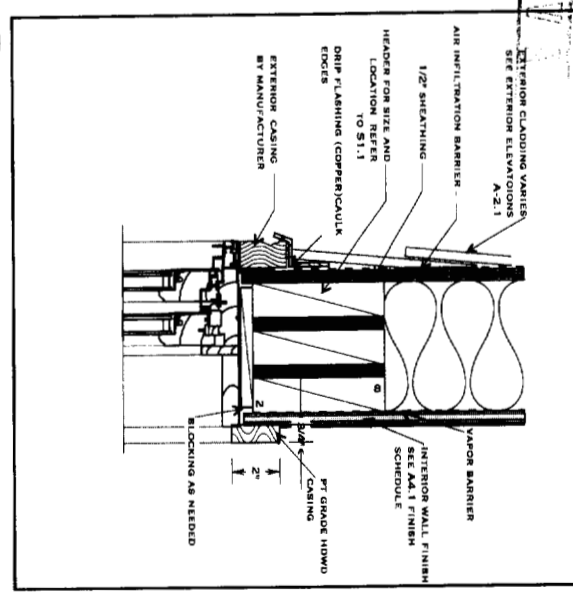
3 DOUBLE HUNG WINDOW HEAD CONDITION (TYP)



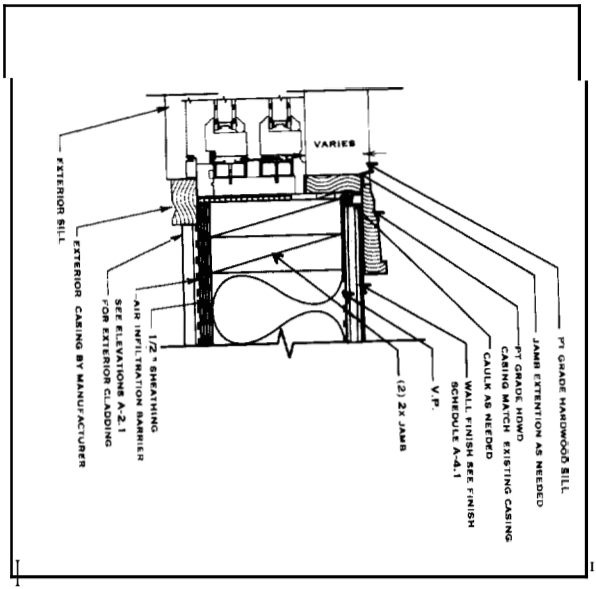
6 EXTERIOR DOOR HEAD CONDITION (TYP)



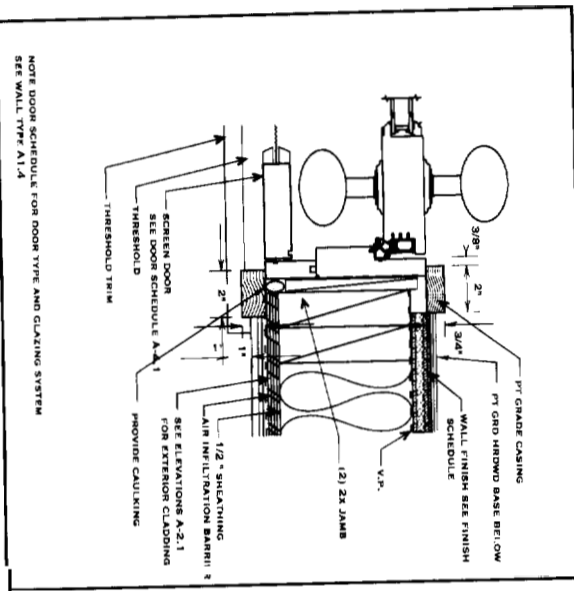
8 EXTERIOR DOOR SILL HINGE CONDITION (TYP)



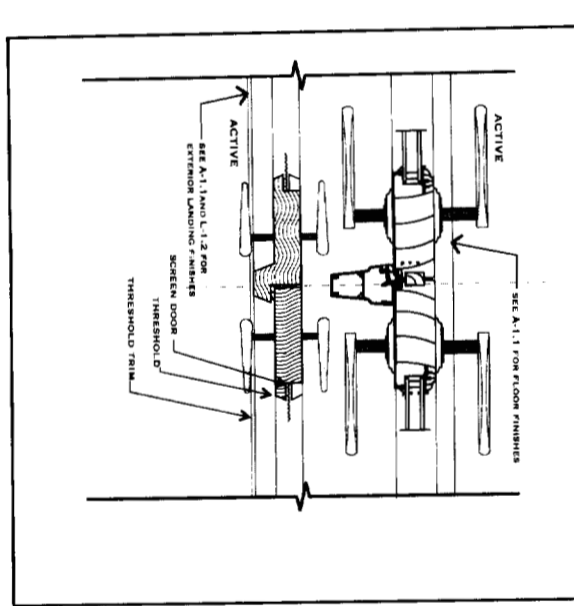
11 EXTERIOR DOOR SILL HINGE CONDITION (TYP)



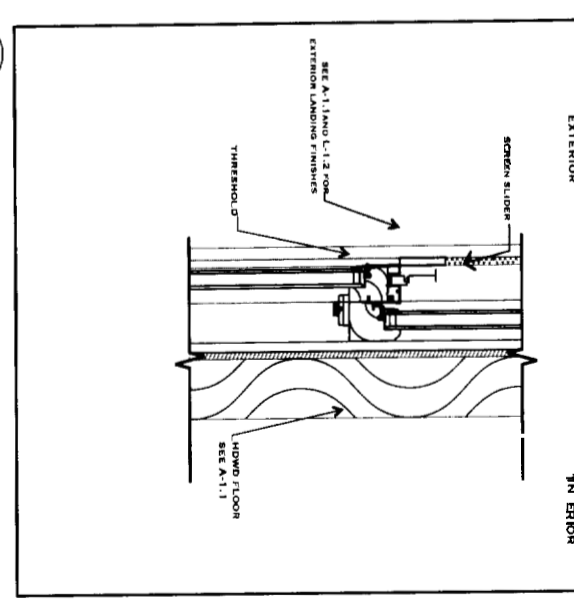
2 DOUBLE HUNG WINDOW JAMB CONDITION (TYP)



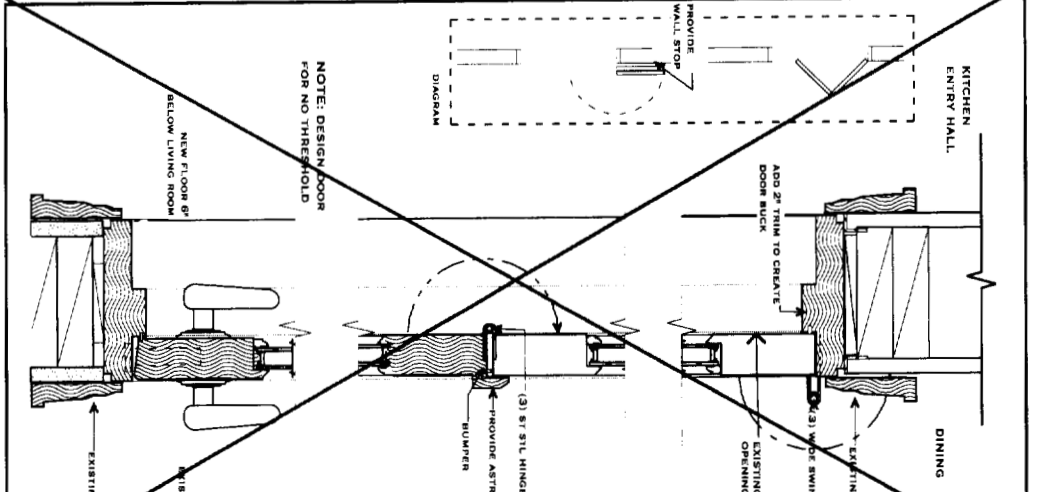
5 EXTERIOR DOOR JAMB LOCKING CONDITION (TYP)



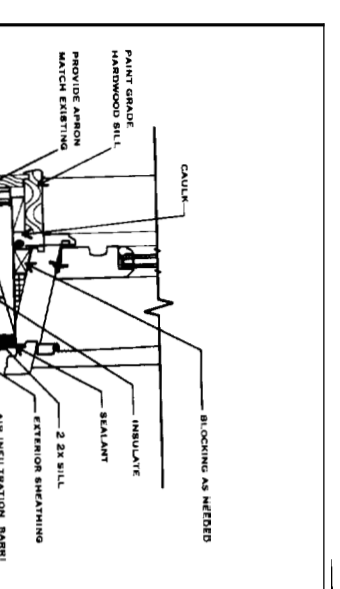
7 EXTERIOR DOOR JAMB FRENCH DOORS (TYP)



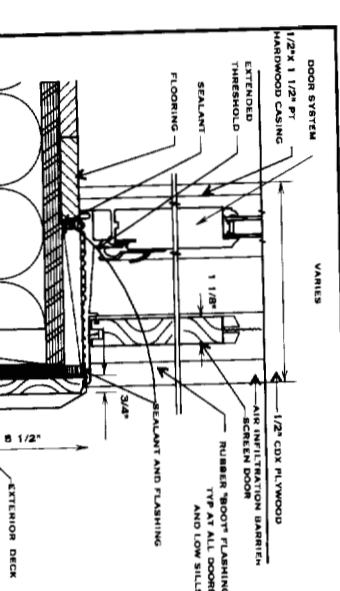
10 EXTERIOR DOOR JAMB LOCKING CONDITION (TYP)



13 DINING ROOM BIFOLD DOOR JAMB NOT IN CONTRACT



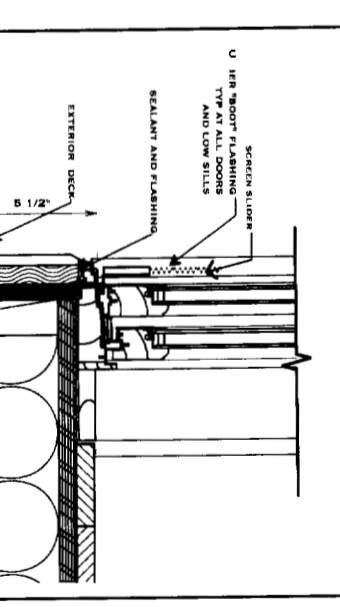
12 DIAGRAM OF WOOD SLIDER



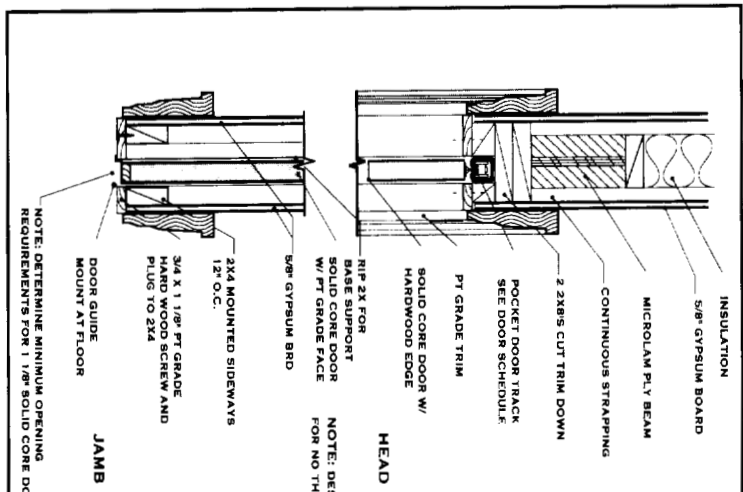
5 EXTERIOR DOOR JAMB LOCKING CONDITION (TYP)



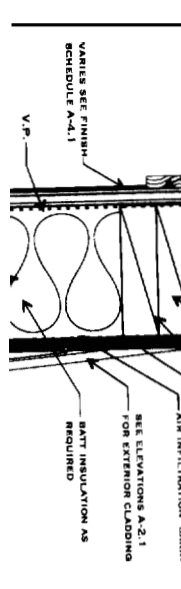
7 EXTERIOR DOOR JAMB FRENCH DOORS (TYP)



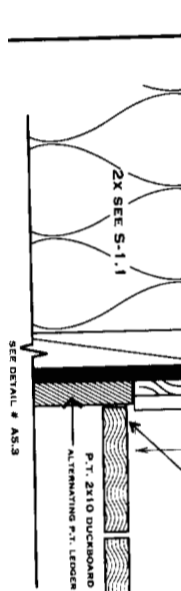
10 EXTERIOR DOOR JAMB LOCKING CONDITION (TYP)



13 DINING ROOM BIFOLD DOOR JAMB NOT IN CONTRACT



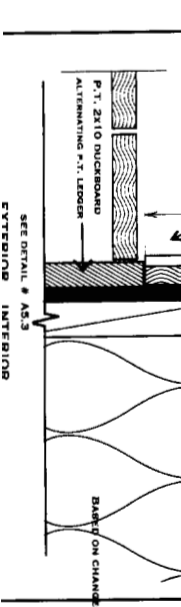
12 DIAGRAM OF WOOD SLIDER



5 EXTERIOR DOOR JAMB LOCKING CONDITION (TYP)



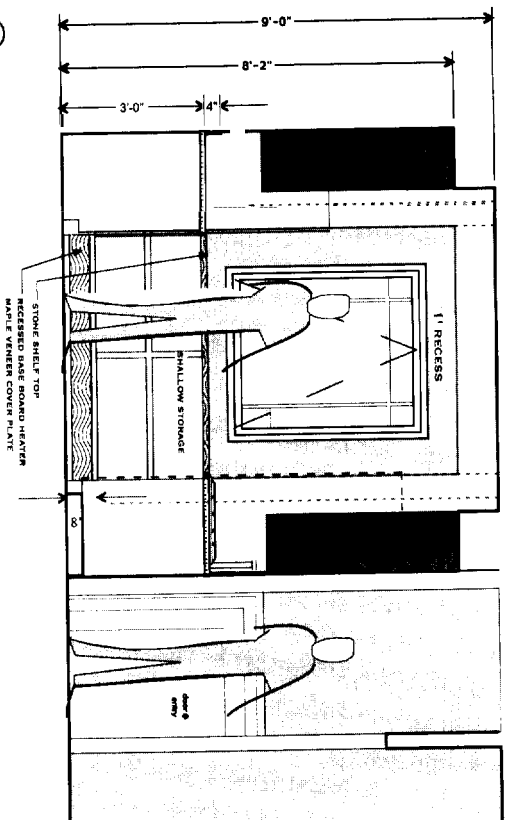
7 EXTERIOR DOOR JAMB FRENCH DOORS (TYP)



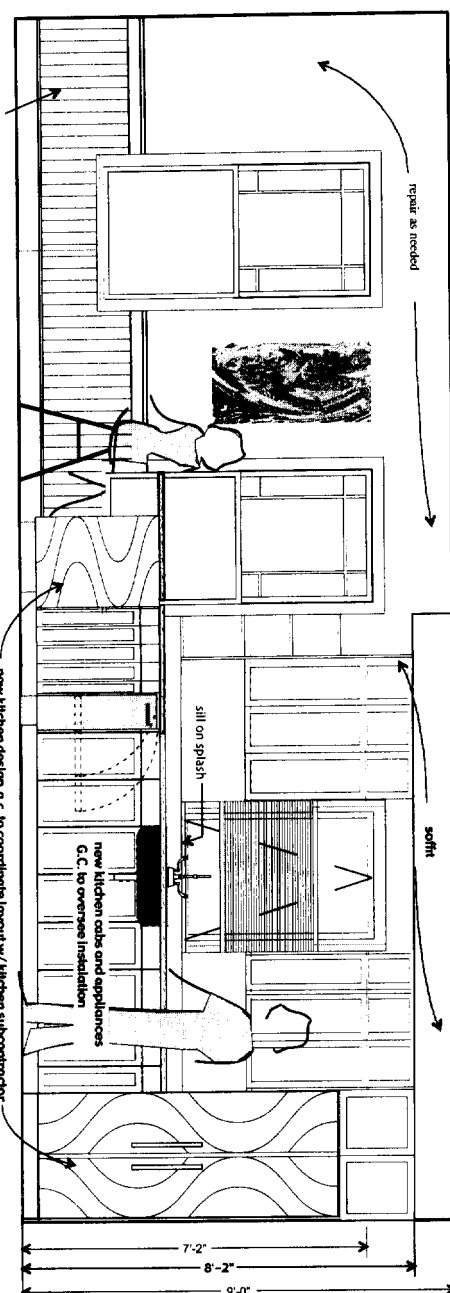
10 EXTERIOR DOOR JAMB LOCKING CONDITION (TYP)



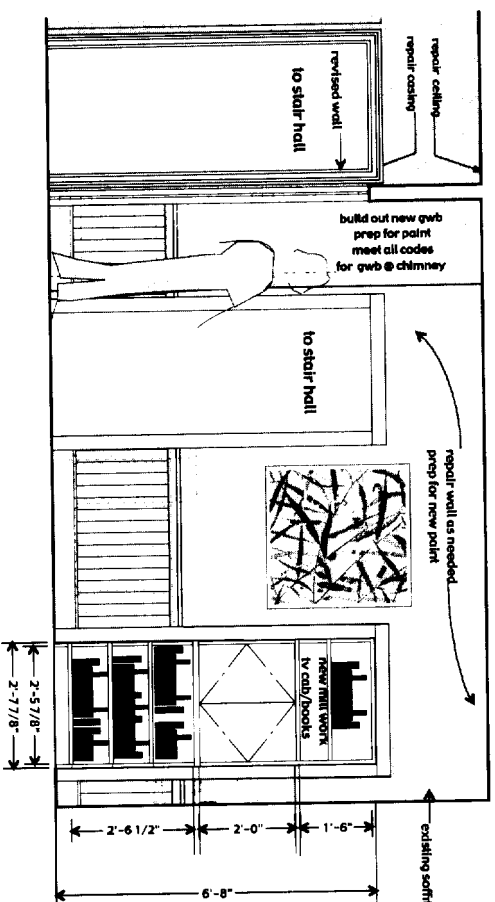
13 DINING ROOM BIFOLD DOOR JAMB NOT IN CONTRACT



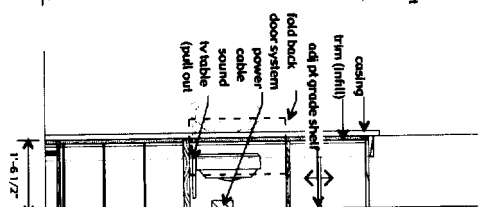
1 Rm 104 east kitchen



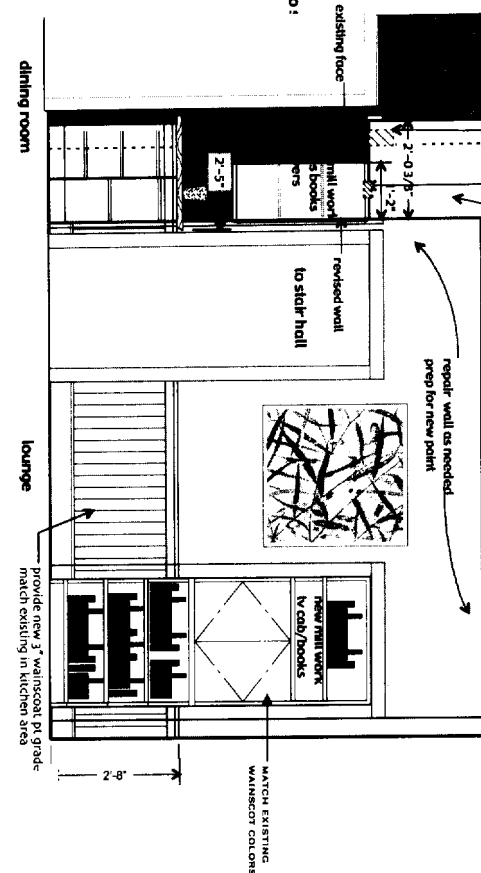
3 Rm 104 105 west kitchen/lounge



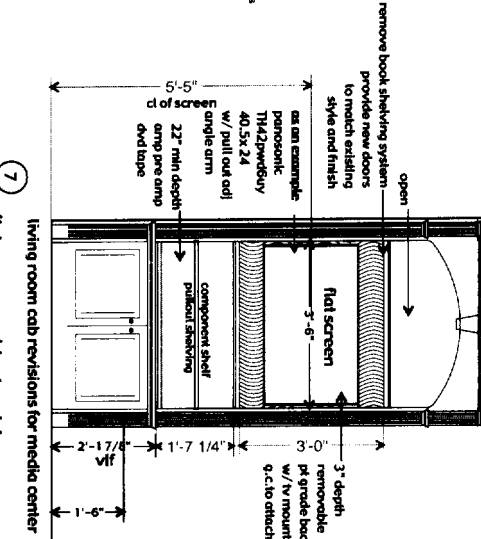
4 Rm 105 west lounge hide-a-way door option



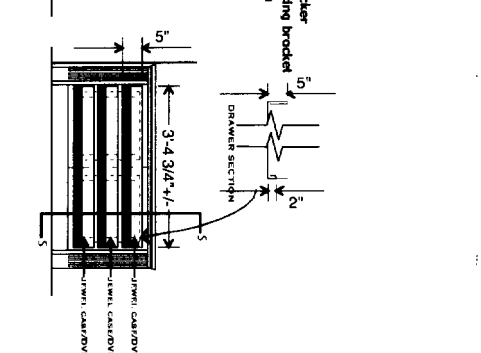
5



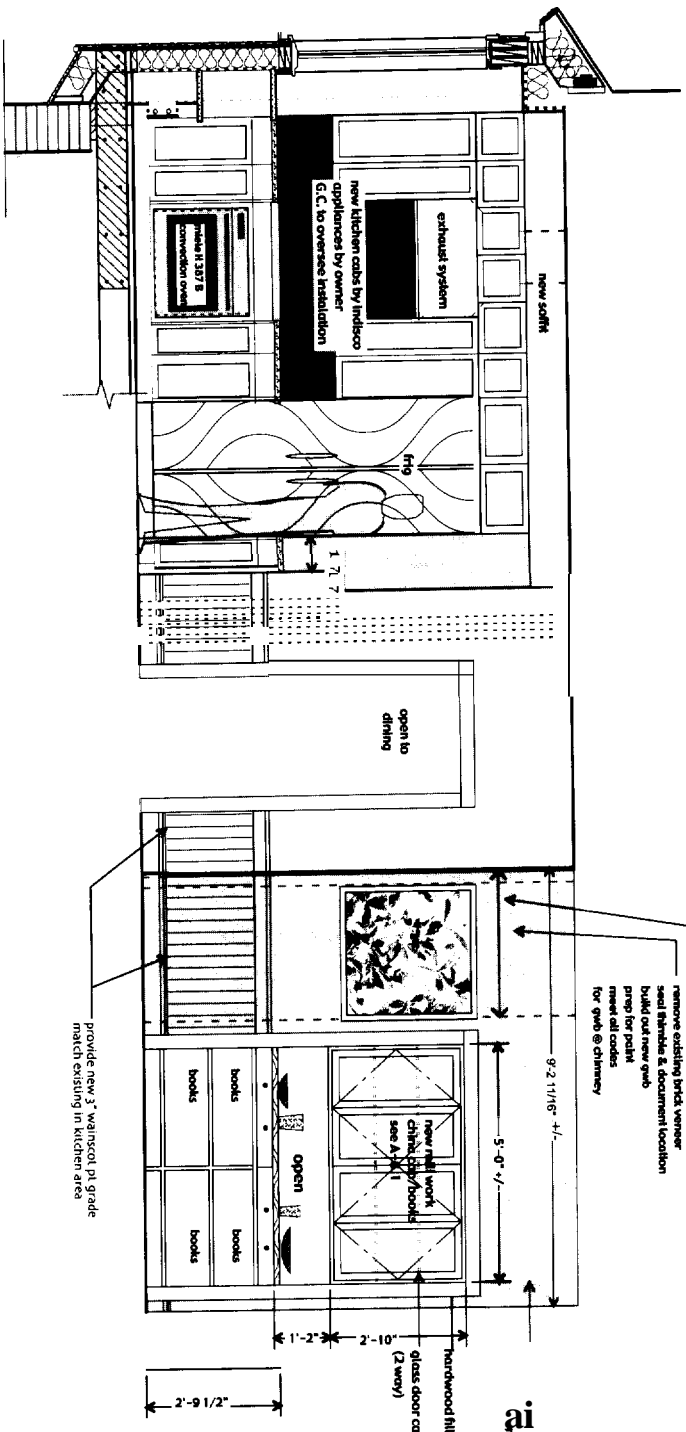
6 Rm 105/106 west section through dining room



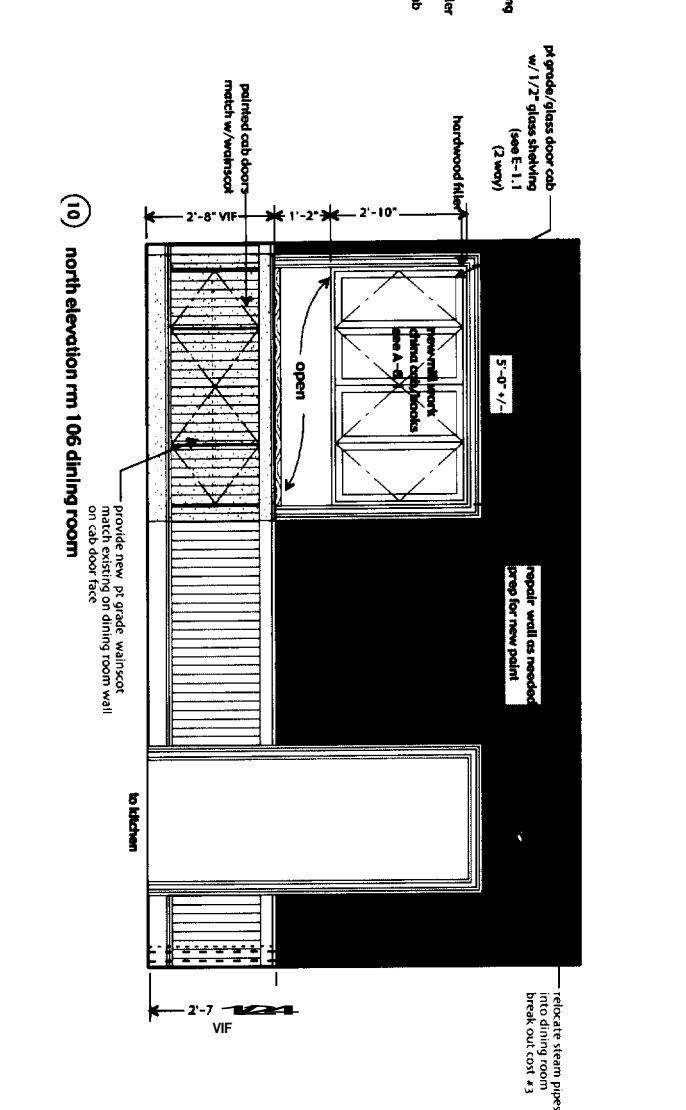
7 living room cabinet revisions



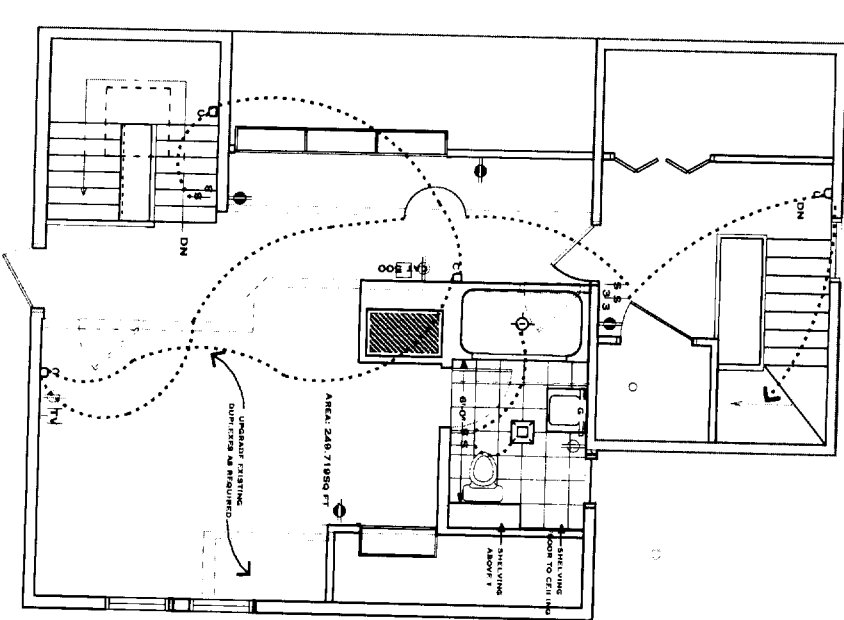
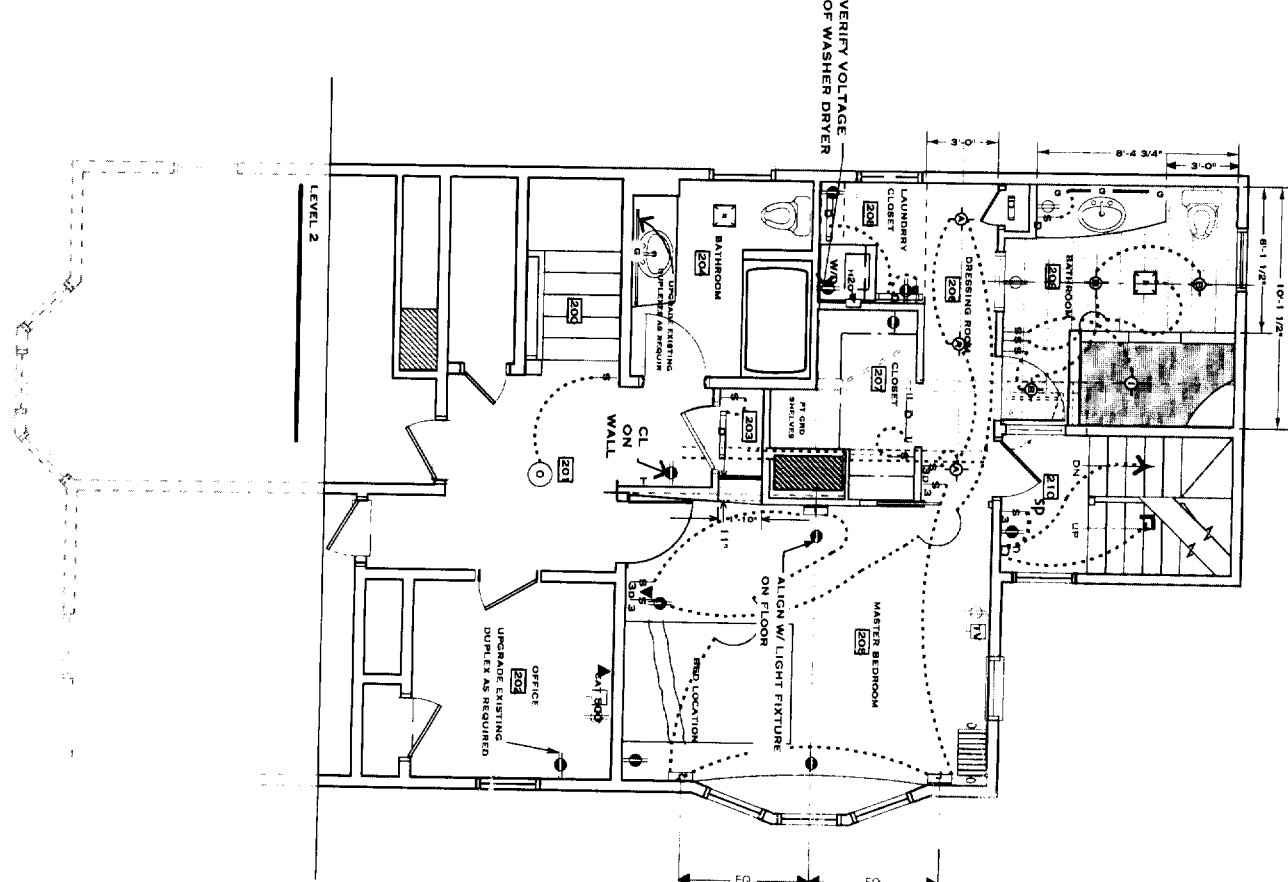
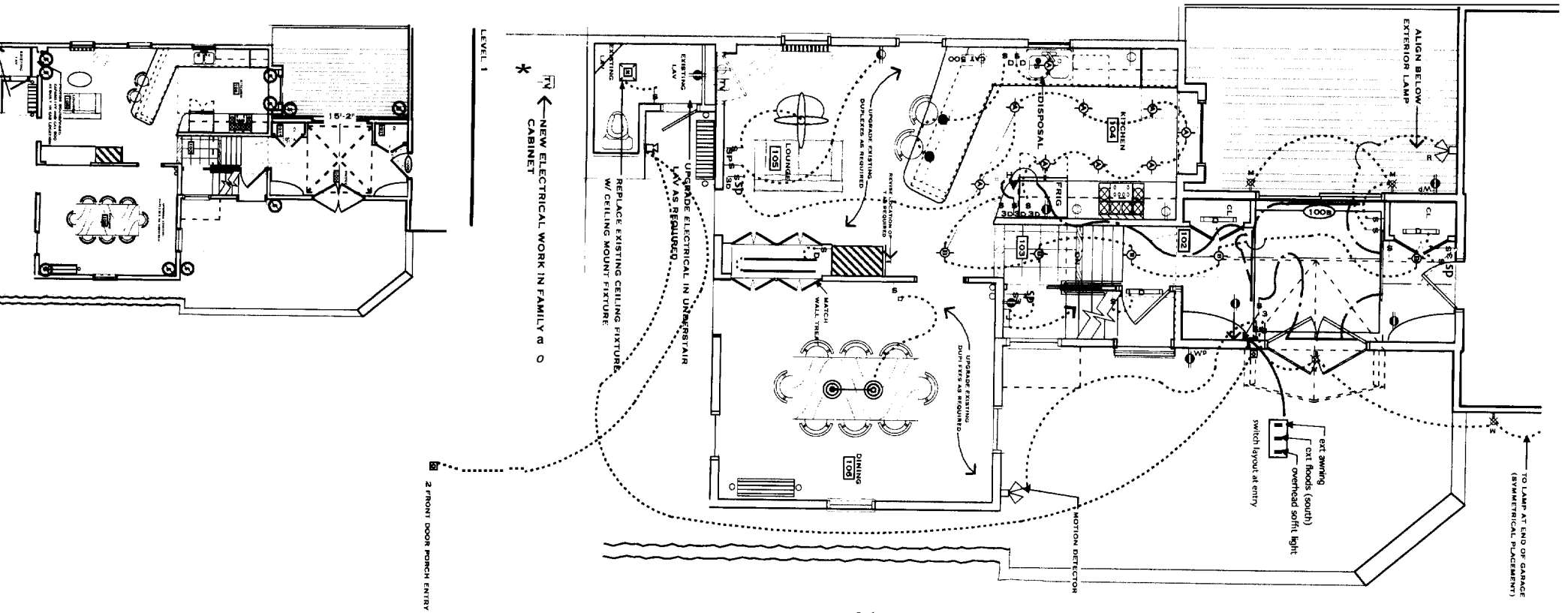
living room cabinet lower drawer system



9 Rm 104 105 south kitchen/lounge REVISED ELEVATION

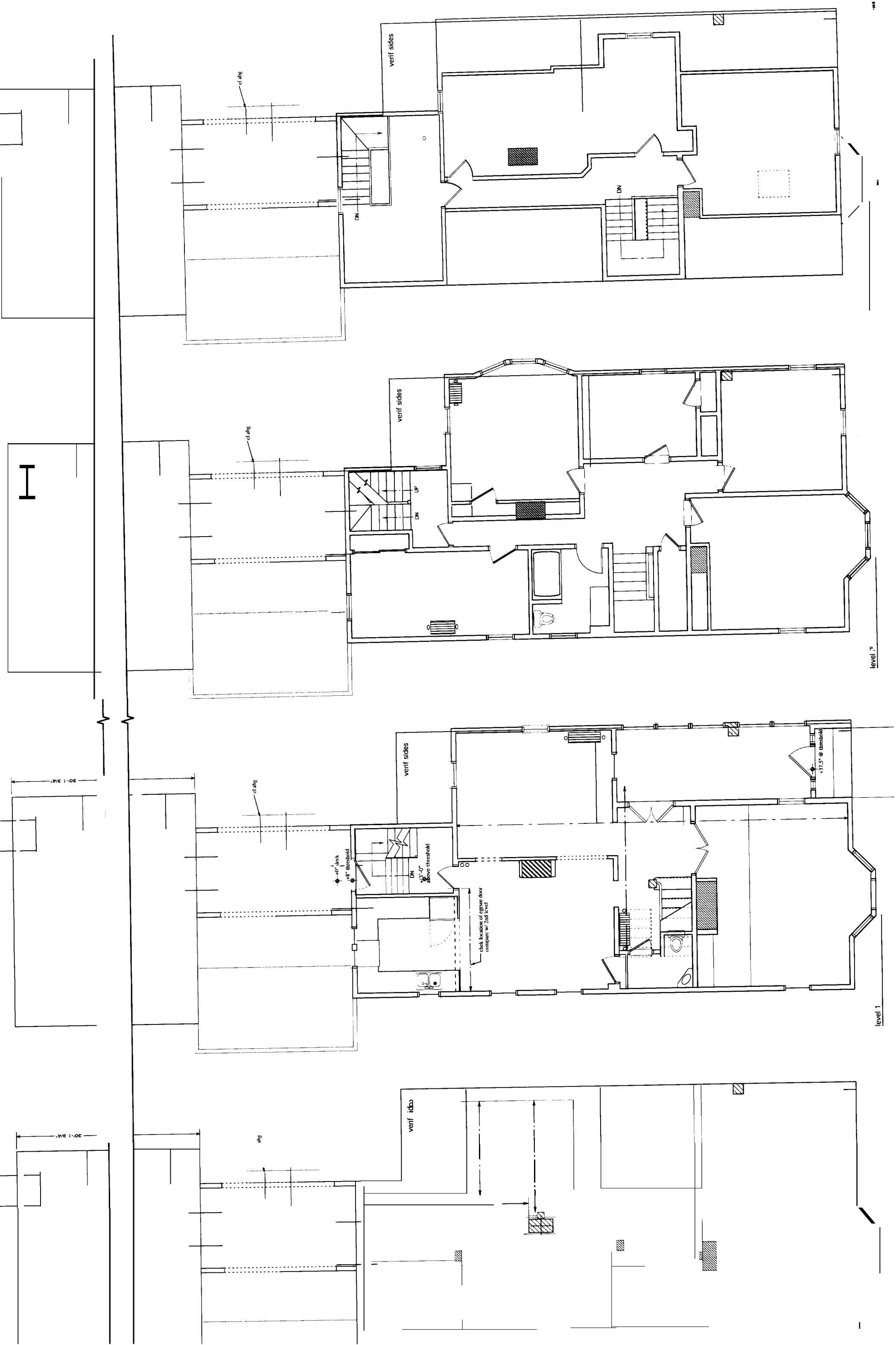


10 north elevation rm 106 dining room



- KEY**
- DUPLEX
 - DEDICATED QUAD
 - GFCI
 - DEDICATED
 - DEDICATED W/CAT SMOKE/STANDARD HI
 - WEATHER PROTECTED DUPLEX
 - TV-CABLE/DUPLEX
 - SWITCH
 - 3-WAY SWITCH
 - 3-WAY SWITCH WITH DIMMER
 - SWITCH WITH DIMMER
 - MULTIPLE TELEPHONE LINES
 - MULTIPLE TELEPHONE LINES @ 48" AFF
 - RECESSED CEILING FIXT
 - RECESSED CEILING FIXT WIDE STRAND FOCUS
 - SCONCE
 - WALL MOUNTED FLOOR FIXTURE W/ LED
 - LARGE CEILING PENDANT FIXTURE
 - SMALL CEILING PENDANT FIXTURE
 - FLUORESCENT COVE LIGHT
 - LINCADESCENT RECESSED FIXTURE
 - UNDERCAB HALOGEN LIGHT
 - LENSED SHOWER FIXTURE
 - WALL OR CEILING MOUNTED INTERIOR F
 - POWER STRIP WALL MOUNTED 32" AFF
 - EXTERIOR LIGHT BOX
 - UTILITY LAMP EXTERIOR GRADE
 - CEILING MNT FIXTURE
 - CEILING MNT INTERIOR FIXTURE
 - FAN
 - FAN/LIGHT
 - THERMOSTAT LOCATION (PROPOSED)
 - DOOR BELL
 - CHINES
- ELECTRICAL NOTES**
- Contractor is responsible for installation acceptable to all city, state and national codes.
 - Contractor is responsible for obtaining all applicable permits.
 - All outlets within 6' of any water tap shall be ground fault protected.
 - Review all appliances schedules, mechanical drawings and specifications for a complete understanding of electrical requirements.
 - Mounting heights:
 - DUPLEX - 15" AFF min., mount horizontally at kitchen counter.
 - G.F.I. DUPLEX OUTLET - At contractor's ground fault protection may be installed at electrical panel.
 - WALL TELEPHONE JACK - Wire to telephone panel, 15" AFF max. (in bedrooms offices and phone areas)
 - SWITCH LOCATION - 48" AFF max.
- In general, all mounting heights shall conform to ADA accessibility guidelines.
- General contractor to upgrade first floor outlets as and re-use switch box locations upon approval and architectural designer.
 - Switches by LUTRON or equal
 - Duplexes to be black or white verify w/ owner arch to match paint colors
 - G.C. to provide infrared sensors switch systems mark rooms 100, 105 and stair tower.

24 C 008



I

verif sides

verif sides

verif sides

verif idca

ahg

ahg

ahg

ahg

DN

DN

UP

DN

DN

44" Jack

48" threshold

13" 0" above threshold

check location of egress door compare w/ 210 level

+37.5' @ threshold

1/8" = 1'-0"

1/8" = 1'-0"