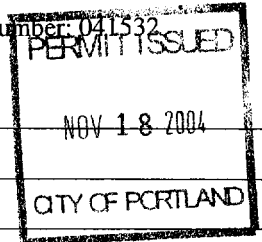


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BUILDING CONSTRUCTION

PERMIT

Permit Number: 041532



Please Read Application And Notes, If Any, Attached

This is to certify that Hackett Richard P & Melodie / North Shore Construction
has permission to Remove breezeway & install new w/ interior alterations.
AT 13 Fairmount St 124 C008001 CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
DepartmentName

[Signature]
11/17/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1532	Issue Date: NOV 18 2004	CBL: 124 C008001
-----------------------	----------------------------	---------------------

Location of Construction: 13 Fairmount St	Owner Name: Hackett Richard P & Melodi Jts	13 Fairmount St CITY OF PORTLAND	Phone:
Business Name:	Contractor Name: North Shore Construction	Contractor Address: P.O. Box 2564 South Portland	Phone: 2077742800
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-3
Past Use: Single family	Proposed Use: Single Family remove breezeway & install new w/ interior alterations.	Permit Fee: \$1,596.00	Cost of Work: \$175,000.00
		CEO District: 3	
		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	INSPECTION: Use Group: R-3 Type: SB IRC 2003
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: dmartin	Date Applied For: 10/12/2004	Zoning Approval
-----------------------------	---------------------------------	------------------------

1. 2. 3.	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 11/17/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 11/17/04
------------------------	--	---	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1532	Date Applied For: 10/12/2004	CBL: 124 C008001
------------------------------	--	----------------------------

Location of Construction: 13 Fairmount St	Owner Name: Hackett Richard P & Melodi Jts	Owner Address: 13 Fairmount St	Phone:
Business Name:	Contractor Name: North Shore Construction	Contractor Address: P.O. Box 2564 South Portland	Phone: (207) 774-2800
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family remove breezeway & install new w/ interior alterations.	Proposed Project Description: Remove breezeway & install new w/ interior alterations.
---	---

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 11/17/2004

Note: **Ok to Issue:**

- 1) Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 11/17/2004

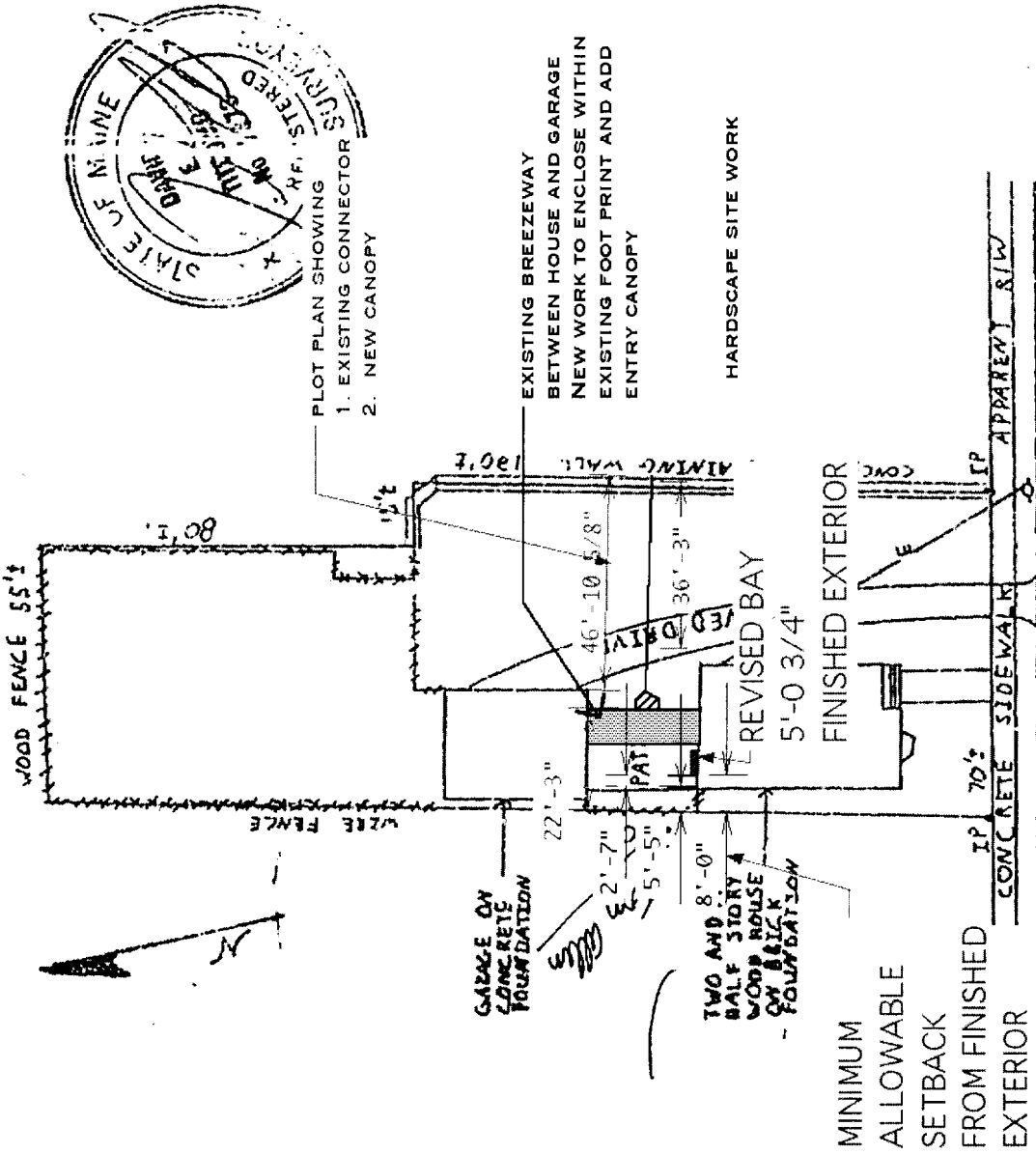
Note: **Ok to Issue:**

- 1) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 2) As discussed, hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, on every level, and in a common area.
- 3) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 4) Separate permits are required for any electrical, plumbing, or heating.

Comments:

11/5/04-tmm: left message w/ designer - need stair detail, handrail heights, framing of skylight, statement regarding the structural analysis done by J. Leisure, interior framing not noted, size/detail on landing to stair, rebuild of stair detail to 2nd floor no detail, statement addressing structural issues on 3rd floor, need plot plan.

11/9/04-tmm: Returned message from designer - left message to call.



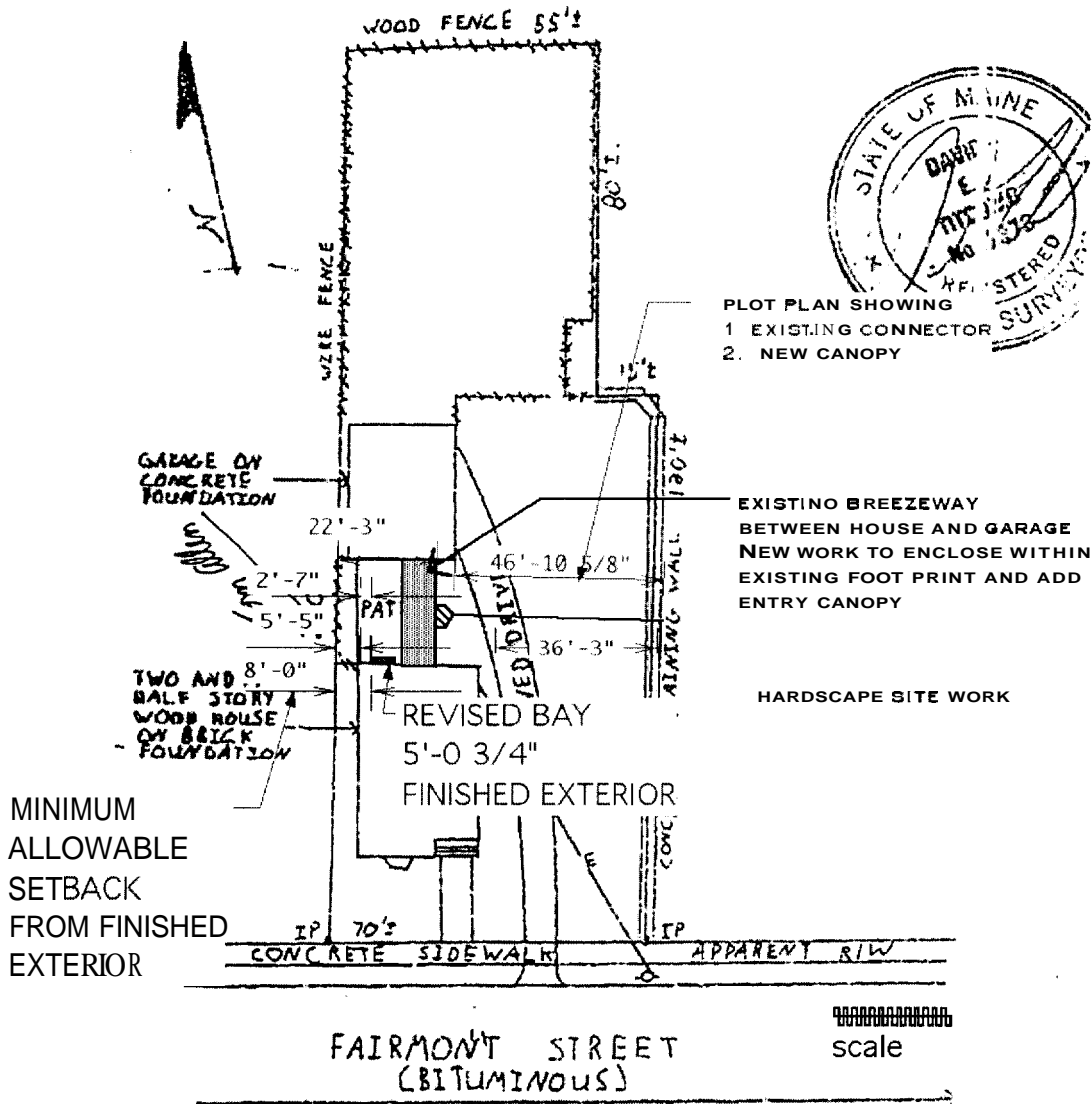
FAIRMONT STREET (BILUMINOUS)

scale

TD B ACON STREET

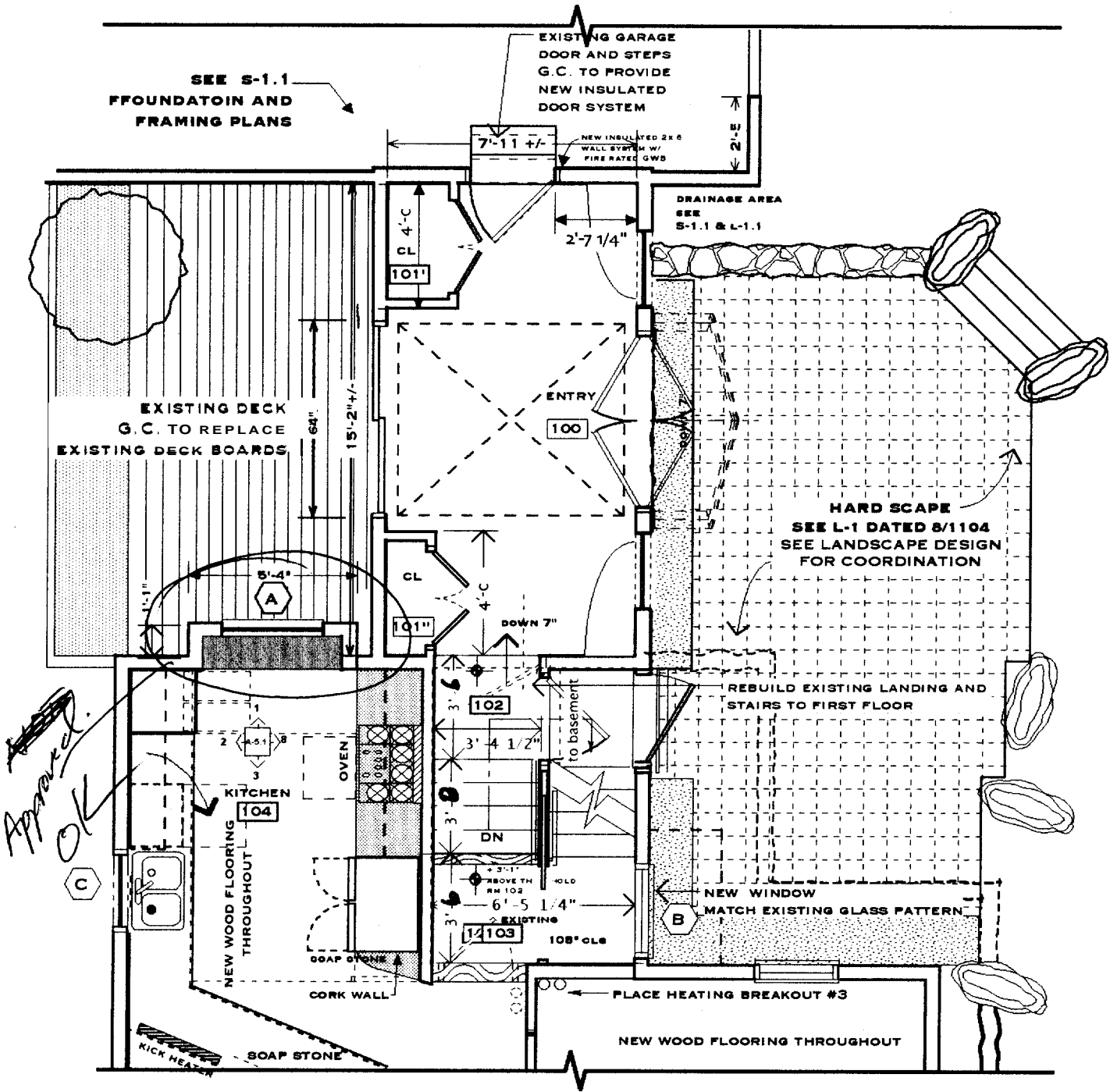
6. plot plan w/ set back dimensions for canopy and connector

addendum SK 4-11/16/04



6. plot plan w/ set back dimensions for canopy and connector

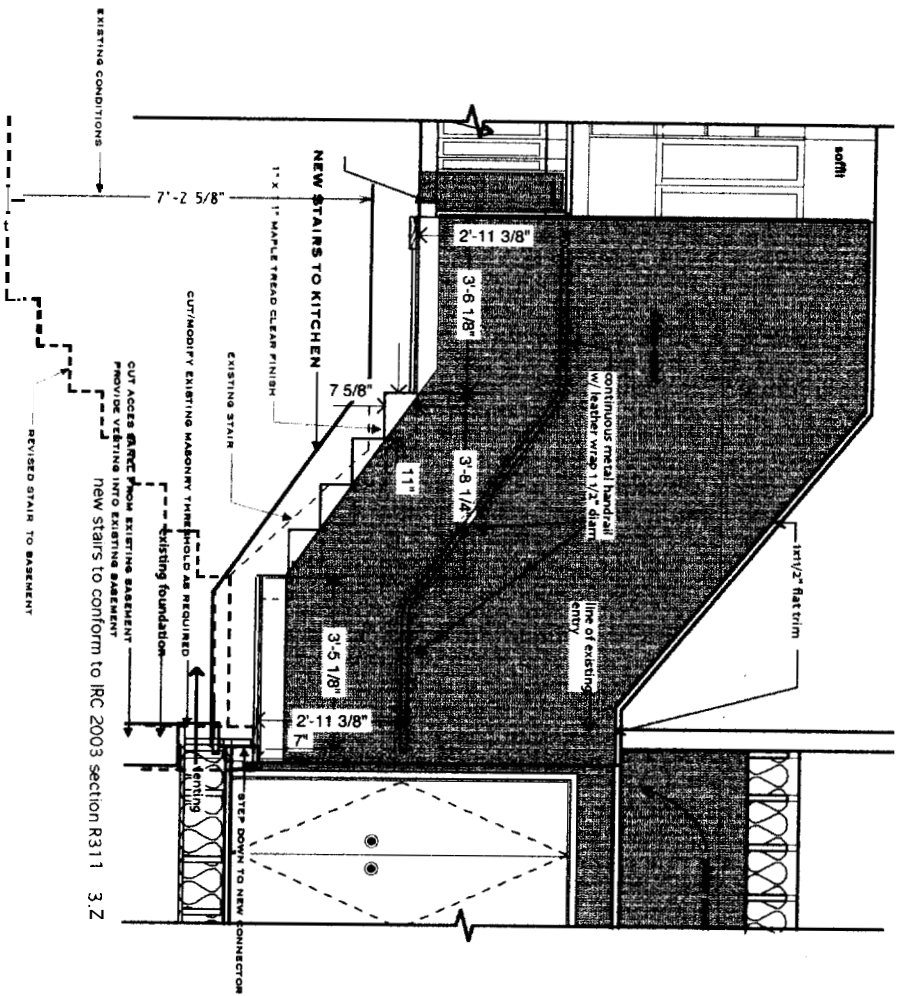
addendum SK 4- 1/16/04



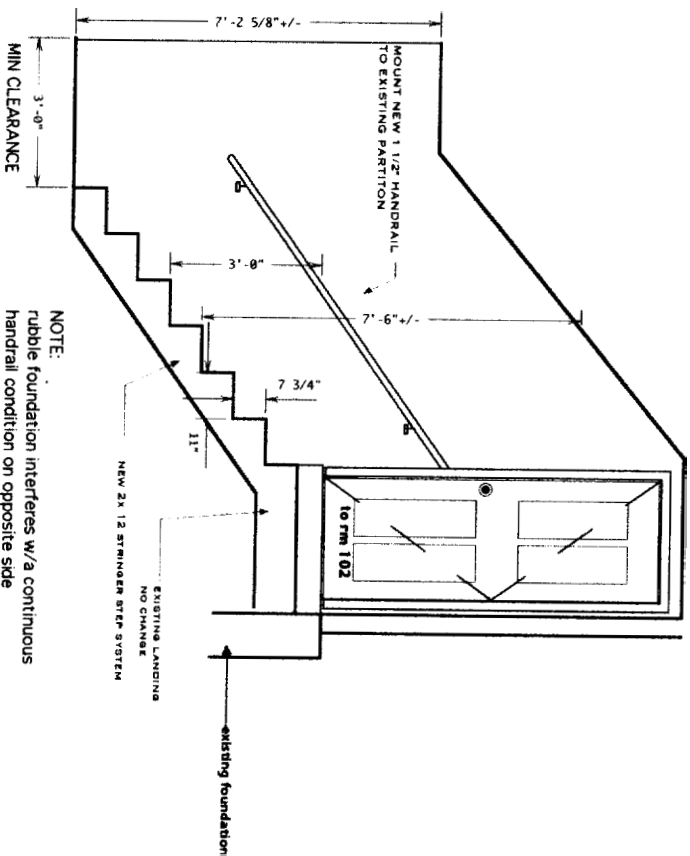
3. clarified stair plan from connector up to first floor

addendum SK 2-11/15/04

jeremy moser designer - studio mnemosyne 142 high street suite 612 p.o. box 5360 portland maine 04101 207 329-6128 fax 773 8545
 Richard and Melodi Hackett Residence 13 Fairmont Street Portland, Maine 04103 207 774 1381



4. Rm 00/104/103/102/100 partial section



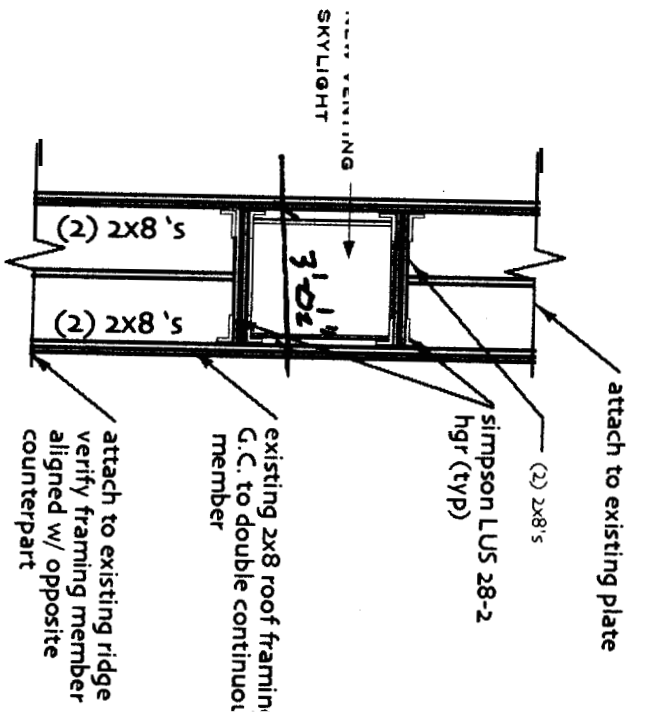
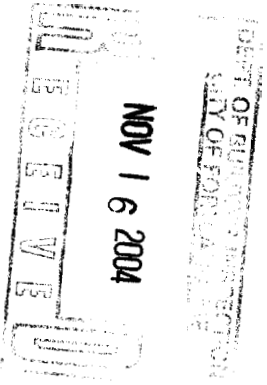
5. basement stair partial section

addendum SK 3-11/15/04
 Jeremy moser designer - studio architecture 142 high street suite 612 p.o. box 6390 portland maine 04107 326-6128 fax 773 8545
 Richard and Melodi Hackett Residence 13 Fairmont Street Portland, Maine 04103 207 774-1981

GENERAL NOTES

1. These drawings provide guidelines for Structural drawings job specifications and architectural, mechanical, electrical, plumbing, an site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, ledges, sleeves, depressions and other details not shown in structural drawings
2. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work. Do not scale plans
3. The structure is designed to be self-supporting and stable after the building is complete. It is the contractor's sole responsibility to determine its erection procedures and sequencing to ensure the safety of the building and its components during erection
4. Sections and details shown on any structural drawings shall be considered typical for similar conditions
5. All applicable federal, state and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.
6. **AMMENDMENT #1 11-15-04**
 Engineer to inspect existing structural conditions at 13 fairmont street during demolition and determine if any structural upgrades are needed based upon new discoveries.

1. structural note ammendment



4. skylight framing plan
 proposed skylight 3rd floor

To: *Tammy Moser*

addendum SK 1-11/15/04

jeremy moser designer - studio miremosyne 142 high street suite 612 p. o. box 5360 portland maine 04101 207 329-6128 fax 773 8545
 Richard and Melodi Hackett Residence 13 Fairmont Street Portland, Maine 04103 207 774 1381

- ① Stair detail
- ② Handrails height.
- ③ Framing of skylights
- ④ Joist - structural verify loading

⑤ Interior framing - not noted

⑥ Landing to cellar

⑦ Stair on 2nd floor - no detail

⑧ Structural issues on 3rd floor

⑨ Plot Plan - Rebuild + bump out - deck -

329-6128

329-6128
874-4077

646-2935 Fax #
Zoning review sheet
for Schebeck (Gayle)
J Adams @ wellstown.org

OCT 12 2004

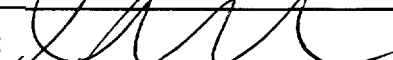
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>13 FAIRMONT ST.</u>		
Total Square Footage of Proposed Structure <u>Addition 160 sq ft</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>124</u> Block# <u>C</u> Lot# <u>008</u>	Owner: <u>Richard + Melani Hackett</u>	Telephone: <u>NA</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Herb Robinson North Shore Const. P.O. Box 2564 South Portland ME 04116</u>	Cost Of Work: \$ <u>175,000.00</u> Fee: \$ <u>1,569.00</u>
Current use: <u>S.F.R.</u>		
If the location is currently vacant, what was prior use: <u>NA</u>		
Approximately how long has it been vacant: <u>NA</u>		
Proposed use: <u>S.F.R.</u>		
Project description: <u>Remove Breezeway, install NEW INTERIOR RENOVATION PER PLANS</u>		
Contractor's name, address & telephone: <u>North Shore Construction Inc P.O. Box 2564 South Portland, ME 04116</u>		
Who should we contact when the permit is ready: <u>HERB ROBINSON</u>		
Mailing address: <u>PO Box 2564 South Portland, ME 04116</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

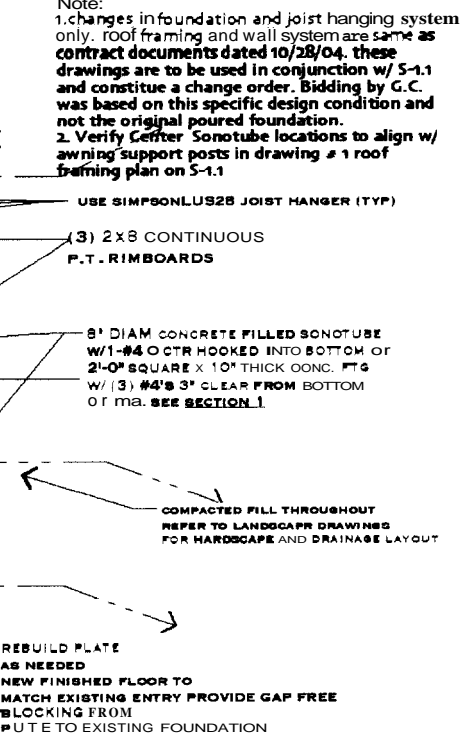
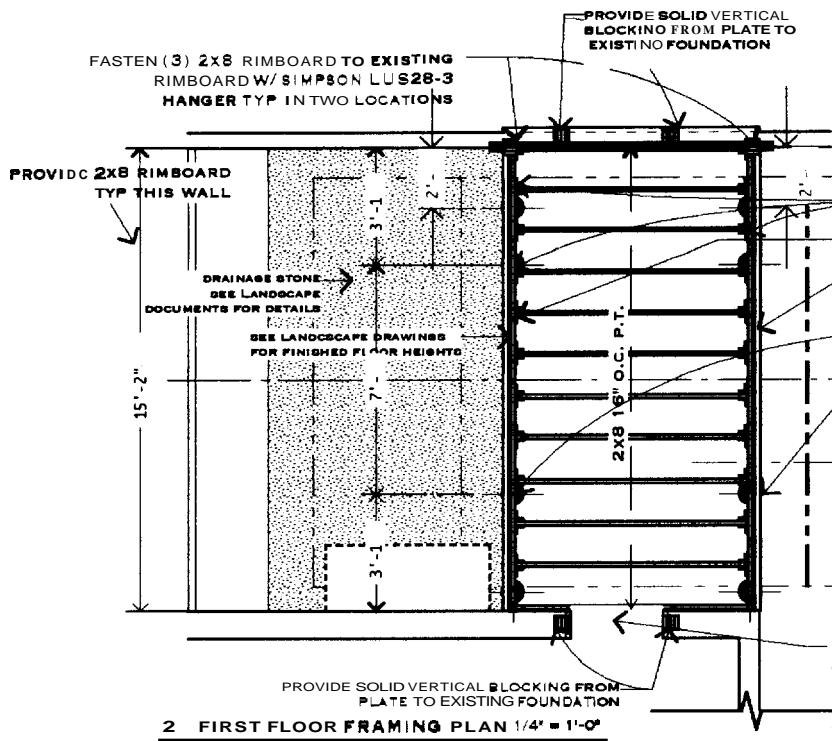
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>10/12/04</u>
---	-----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

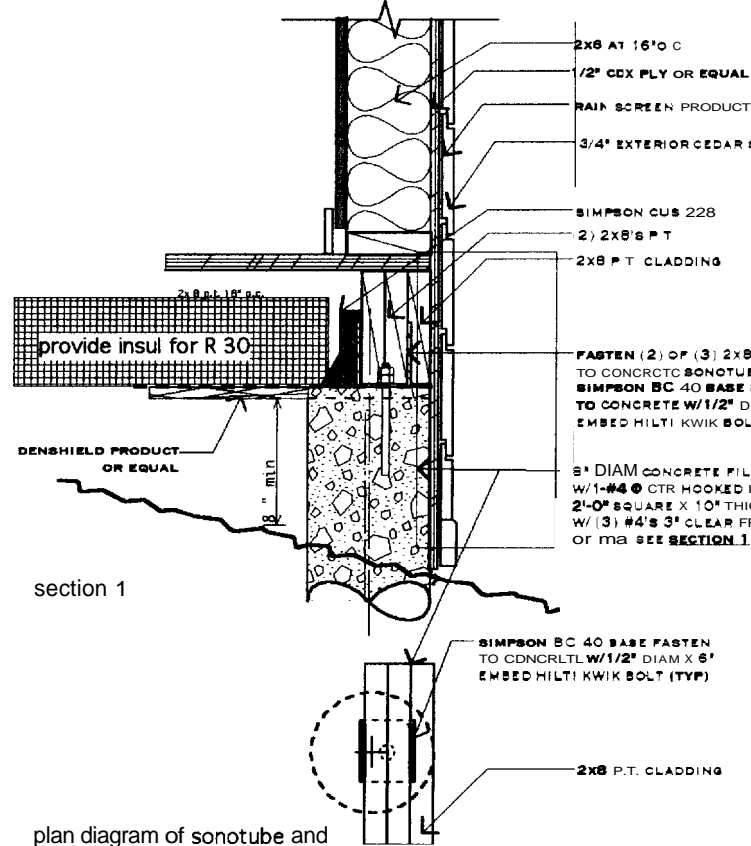
Note:
 1. changes in foundation and joist hanging system only. roof framing and wall system are same as contract documents dated 10/28/04. these drawings are to be used in conjunction w/ S-1.1 and constitute a change order. Bidding by G.C. was based on this specific design condition and not the original poured foundation.
 2. Verify Center Sonotube locations to align w/ awning support posts in drawing # 1 roof framing plan on S-1.1



8'-4 1/2" ± -
 Match existing footprint of connector

connector foundation system structural revisions contract documents sk-1.0-10/6/04

scale 1/4" = 1'-0"
 jeremy moser designer - studio mnemosyne 142 high street suite 612 p.o. box 5380 portland maine 04101 207 326-6128 fax 773 8545
 Richard and Melodi Hackett Residence 13 Fairmont Street Portland, Maine 04103 207 774-1381
 documents reviewed and revised by Land L engineering



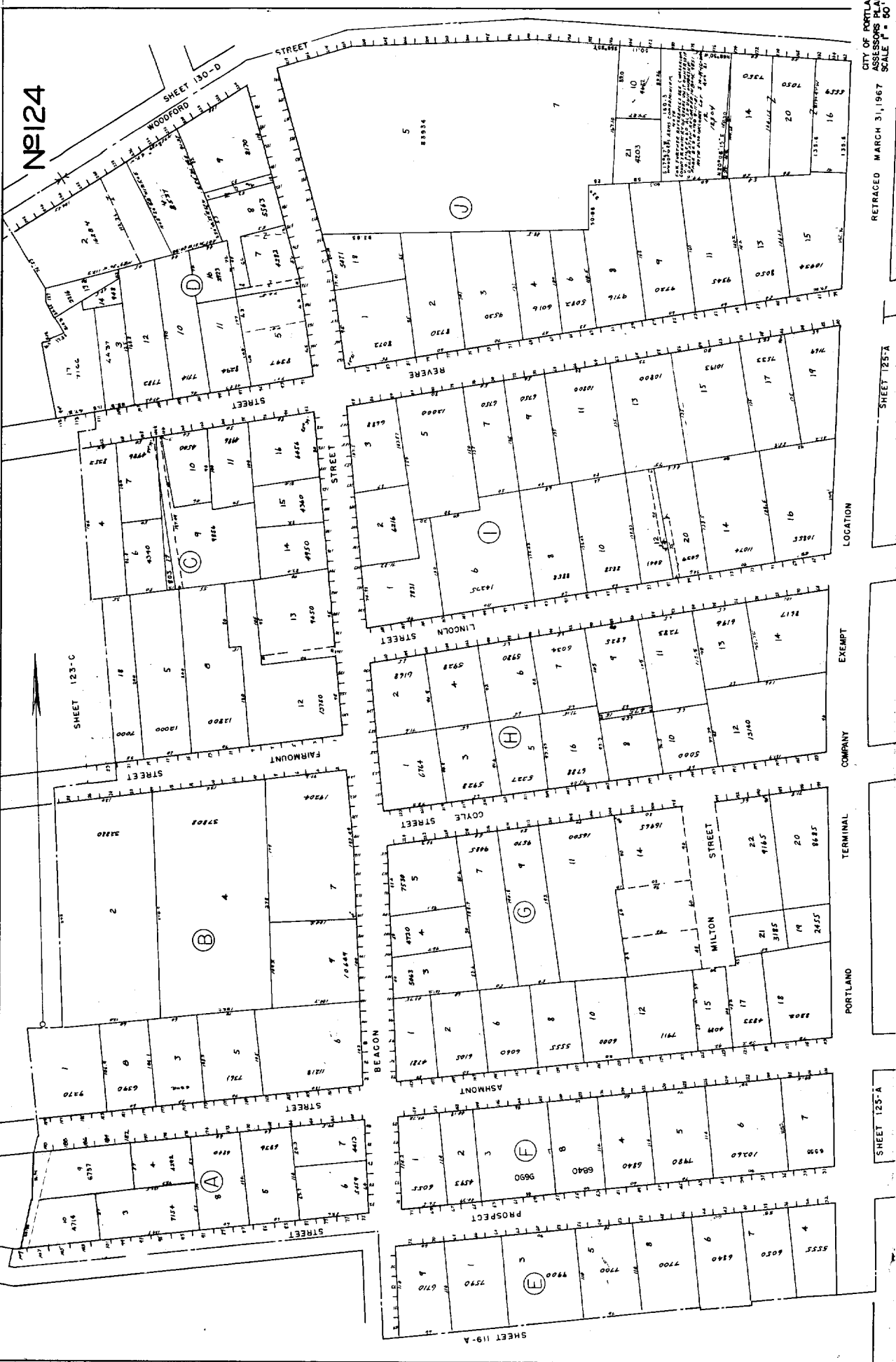
Note
 1. changes in foundation and joist hanging system only. roof framing and wall system are same as contract documents dated 10/28/04. these drawings are to be used in conjunction w/ S-1.1 and constitute a change order. Bidding by G.C. was based on this specific design condition and not the original poured foundation.
 2. Verify Center Sonotube locations to align w/ awning support posts in drawing # 1 roof framing plan on S-1.1

plan diagram of sonotube and triple rim joist connector foundation system structural revisions

contract documents sk-1.1-10/6/04

scale 1/2" = 1'-0"
 jeremy moser designer - studio mnemosyne 142 high street suite 612 p.o. box 5380 portland maine 04101 207 326-6128 fax 773 8545
 Richard and Melodi Hackett Residence 13 Fairmont Street Portland, Maine 04103 207 774-1381
 documents reviewed and revised by Land L engineering

№124



SHEET 123-C

SHEET 130-D

SHEET 119-A

SHEET 123-A

SHEET 123-A

CITY OF PORTLAND
ASSESSORS PLAN
RETRACTED MARCH 31, 1967
SCALE 1" = 50'

LOCATION

EXEMPT

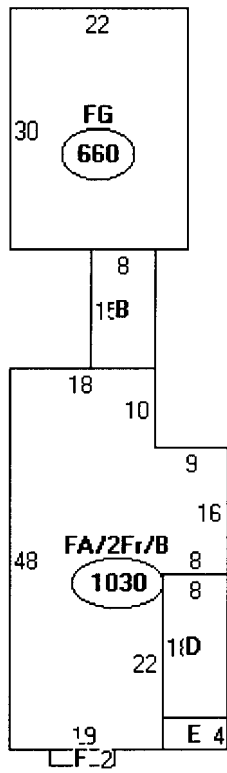
COMPANY

TERMINAL

PORTLAND

SHEET 123-A





Descriptor/Area

A: FA/2Fr/B
1030 sqft

B: OFF
120 sqft

C: FG
660 sqft

D: FA/1Fr/EP
144 sqft

E: FA/1Fr/OP
32 sqft

F: 2FBAY/B
16 sqft

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	124 C008001
Location	13 FAIRMOUNT ST
Land Use	SINGLE FAMILY
Owner Address	HACKETT RICHARD P & MELODI JTS 13 FAIRMOUNT ST PORTLAND NE 04103
Book/Page	7940/263
Legal	12'4-C-8 FAIRMOUNT ST 13 12800 SF

Valuation Information

Land	Building	Total
\$36,860	\$148,470	\$185,330

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1910	Old Style	2	2750	0.294	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
5	1	1	12	Full Finsh	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
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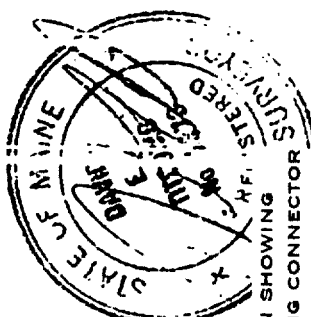
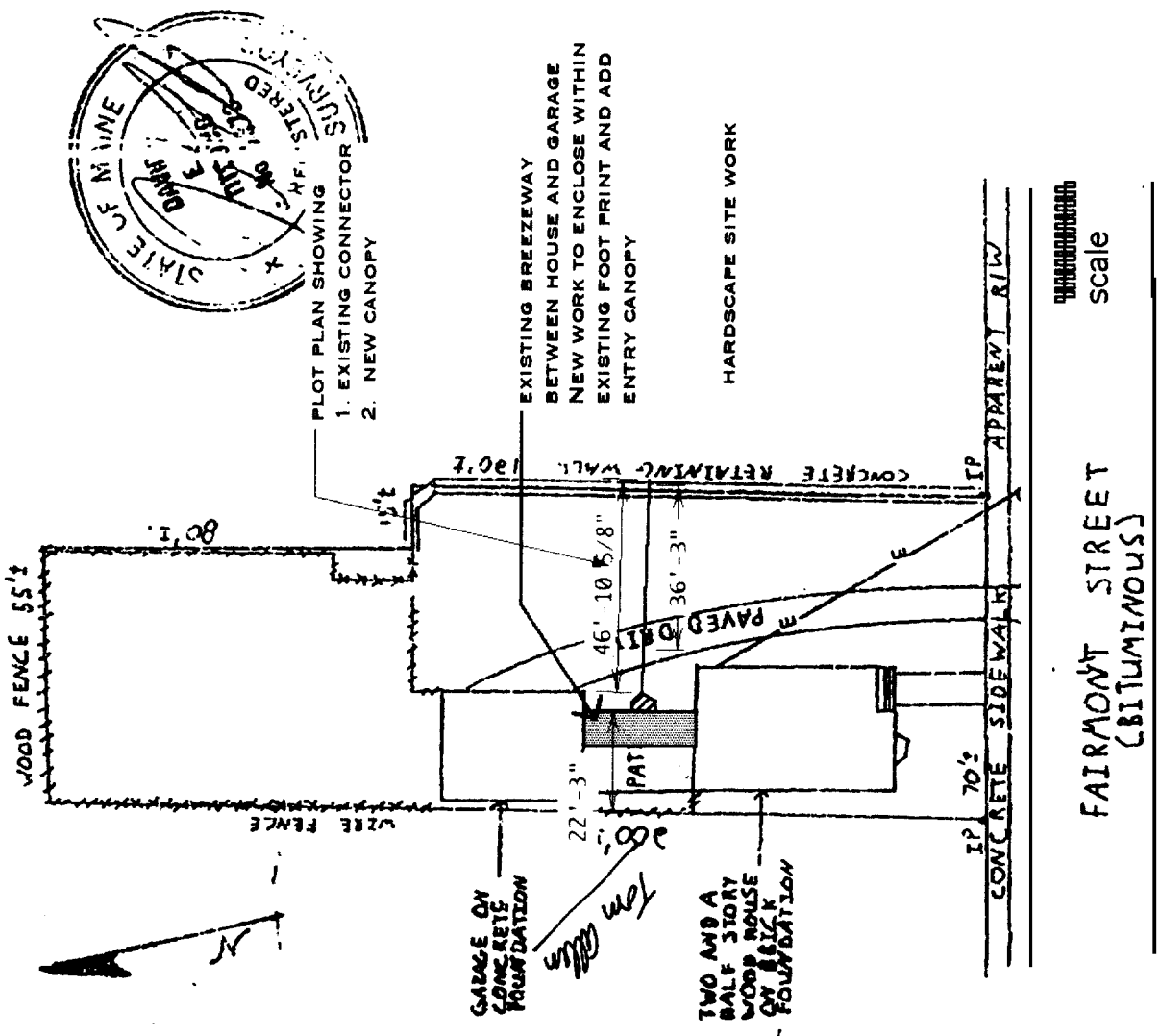
Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!



6. plot plan w/ set back dimensions for canopy and connector

addendum SK 4- 11/15/04