

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT

This is to certify that MICHAEL & CLEMANCE MERTAUGH Located At 118 BEACON STREET

Job ID: 2011-05-945-ALTR CBL: 124 - - B - 007 - 001 - - - -

has permission to remove an old shed and build a 12' x 16' garden shed provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

N/A

*Mary Schmeckel* 5/4/11

Fire Prevention Officer

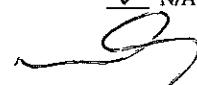
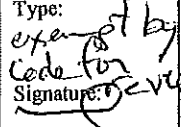
Code Enforcement Officer / Plan Reviewer

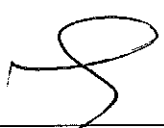
THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

SCANNED

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-05-945-ALTR	Date Applied: 4/29/2011	CBL: 124 - - B - 007 - 001 - - - - -
Location of Construction: 118 BEACON ST	Owner Name: MICHAEL & CLEMENCE MERTAUGH	Owner Address: 118 BEACON ST PORTLAND, ME - MAINE 04103
Business Name:	Contractor Name:  Coastal Landscaping (for the slab)	Contractor Address:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building
Past Use:  Single Family Dwelling	Proposed Use:  Same: Single Family Dwelling - To remove 8' x 14' shed and replace with 12' x 16' shed	Cost of Work: \$6000.00
		Fire Dept:  <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <input type="checkbox"/> N/A
		Signature: 
		Zone:  R-3
		CEO District:
		Inspection: Use Group: Type: Code for Signature: 
Proposed Project Description: 118 Beacon St.- replace existing shed with 12' x 16'	Pedestrian Activities District (P.A.D.) <i>N/A</i>	
Permit Taken By: Gayle	<b>Zoning Approval</b>	

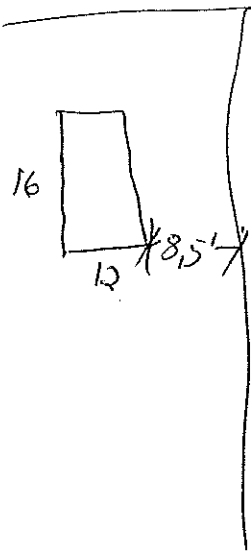
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland <i>using 14-428 for the rear setback</i></p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan <i>N/A</i></p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK with conditions</i> <i>S 5/4/11</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input checked="" type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: </p>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHON

7-1-11 DWM Michael 774-3732 sooback ok



## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
  - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
  - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Pre-Construction Meeting is not needed for this shed.
  2. \*You must call prior to pouring the slab for setback verification measurements.\*

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-05-945-ALTR

Located At: 118 BEACON ST

CBL: 124 - - B - 007 - 001 - - - -

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. This shed is being approved under 14-428, the corner lot allowance for reducing a rear yard.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. Separate permits shall be required for future decks, sheds, pools, and/or garages.
4. Section R105.2 of the International Residential Code states that states that structures 200 square foot or under is exempt from building code review. This structure has not been reviewed for codes or safety under the Building Codes. The owner takes full responsibility for structural integrity.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>118 Beacon Street, Portland Maine</u>		
Total Square Footage of Proposed Structure/Area <u>192</u>	Square Footage of Lot <u>19,204</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>124      B      7</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Michael Mentaugh</u> Address <u>118 Beacon Street</u> City, State & Zip <u>Portland, Me. 04103</u>	Telephone: <u>774-3732</u>
Lessee/DBA (if Applicable) <b>RECEIVED</b>  <u>APR 29 2011</u>  <b>Dept. of Building Inspections</b> <b>City of Portland Maine</b>	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>6,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>90.00</u>
Current legal use (i.e. single family) _____ Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Garden shed      12' X 16'</u>		
Contractor's name: <u>self (Coastal Landscaping for slab)</u> Address: <u>118 Beacon Street</u> City, State & Zip: <u>Portland Me. 04103</u> Telephone: <u>774-3732</u> Who should we contact when the permit is ready: <u>self</u> Telephone: <u>774-3732</u> Mailing address: <u>118 Beacon Street, Portland Me. 04103</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Michael Mentaugh Date: April 29, 2011

This is not a permit; you may not commence ANY work until the permit is issued

**Proposal for Garden Shed at 118 Beacon Street  
Explanatory Note**

We propose to build a 12'x16', one story garden shed on the site of a smaller (8'x14') garden shed at our home at 118 Beacon Street, Portland, at the corner of Beacon and Fairmount Streets. As shown in the plot plan submitted with this application, the shed is planned to be sited at the Southwest corner of our property, with the West wall of the shed on a line which is set back 8'6" from the Western property line. The corners of the proposed shed have been staked by our surveyor, James Nadeau, LLC.

I met with Marge Schmuckal on April 19 to confirm that the proposed site is consistent with Portland setback requirements. After calculating the size and location of the proposed shed in relation to our overall plot size, she confirmed that the provision for corner lots allows this siting. I was also informed by Jeanie Bourke that since the footprint of the proposed structure is less than 200 square feet, it is exempt from the permit requirement as specified in Section R105.2 of the International Residential Code.

The shed is to be built on and bolted down to a reinforced concrete slab. Walls are to be framed in 8' length 2"x4"s or 2"x6" studs on 16" centers on an 8" cement block perimeter, and sheathed in 3/8" fir plywood and bevel siding. The roof is to be a stick-built gable roof framed in 2"x6" stock on 16" centers with a 2"x8" ridge and sheathed in 3/8" or 1/2" fir plywood with cedar shake or 30 year asphalt composition shingles laid over 15 lb builders felt. The height of the ridge is to be about 15 feet above grade.

Michael Mertaugh  
May 2, 2011  
774-3722

RECEIVED

MAY 2 2011

Dept. of Building Inspections  
City of Portland Maine

Sec. 14-428. Corner lots.

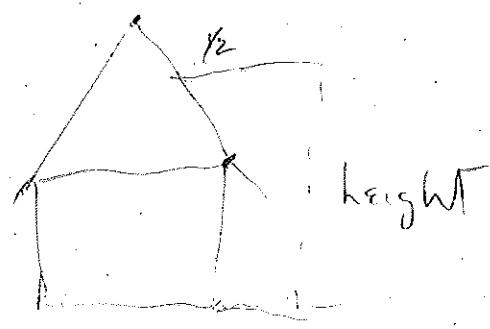
In case a dwelling house has its front yard upon the long side of a corner lot, the rear yard may be reduced to a depth not less than the width required for a side yard on the lot, provided the aggregate of the widths of both sides and depths of front and rear yards is not less than the similar aggregate of required dimensions of all yards required if the front yard were faced on the short side of the lot.

(Code 1968, § 602.19.G)

Existing facing long side- aggregate of yards		Required setbacks if facing on short side	
Front yard	40' feet	Front yard	25 feet
Rear yard	15' feet	Rear yard	25 feet
Side yard -rt	44.5 feet	Side yard -rt	16 feet
Side yard -lft	23 feet	Side yard -lft	20 feet
TOTALS	122.5 feet		86 feet

From SCA...  
 is greater than

yes

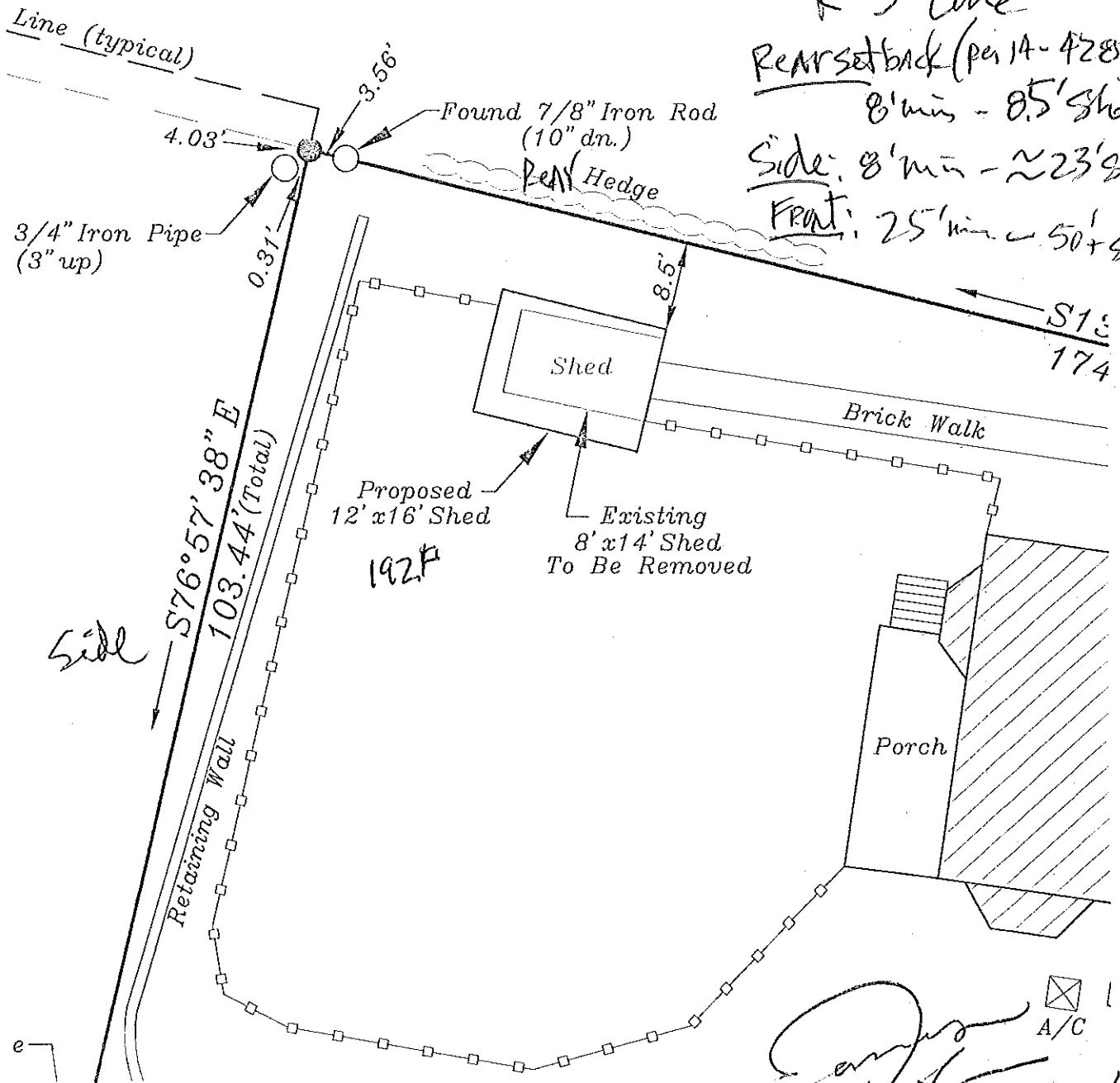




James D. Nadeau, LLC  
Professional / Land Surveyors

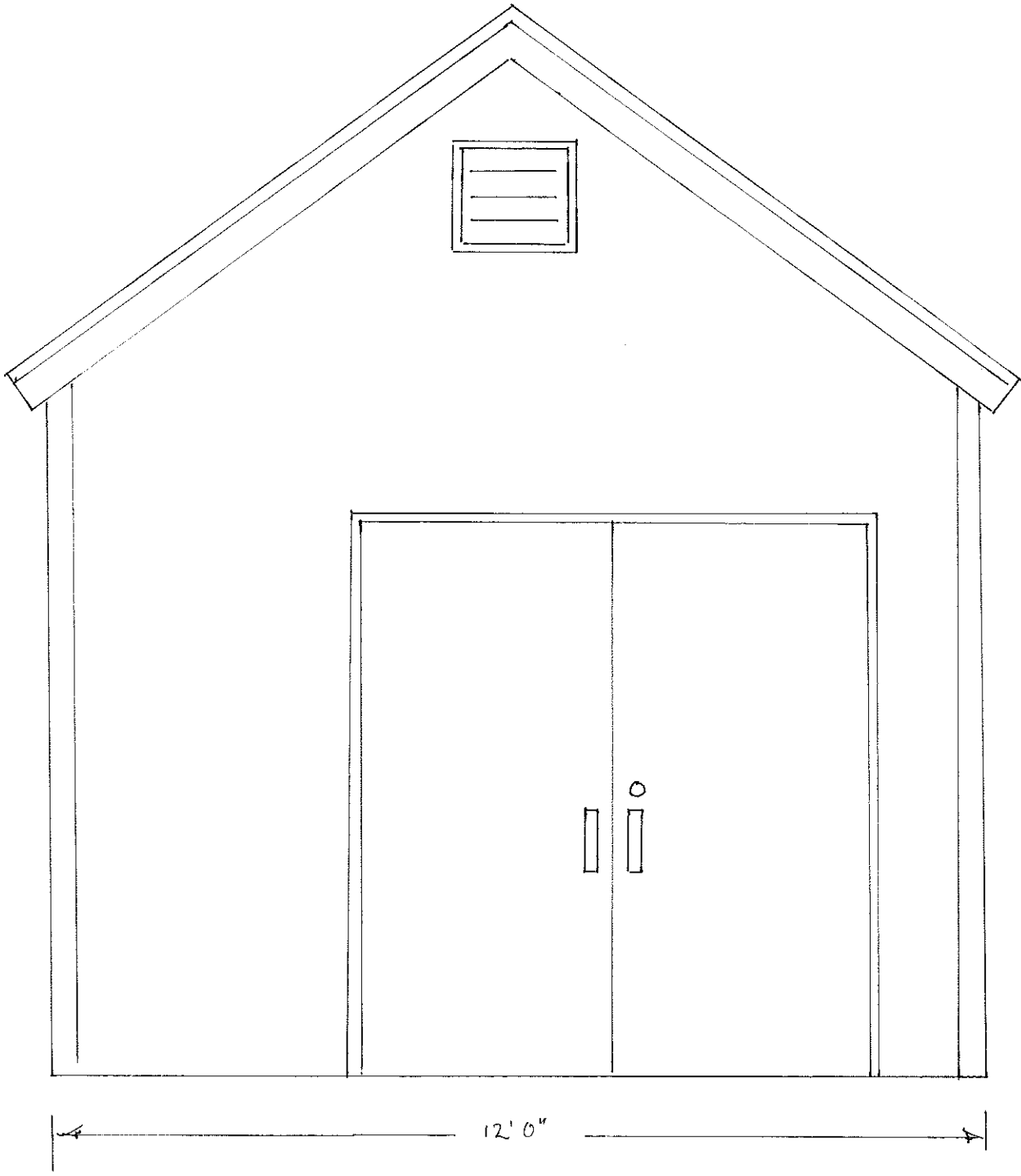
Certified Floodplain Managers  
Certified Underground Utility Locators

R-3 Zone  
Rear setback (per 14-428)  
8' min - 8.5' shown  
Side: 8' min - ~23' shown  
Front: 25' min - 50' + shown

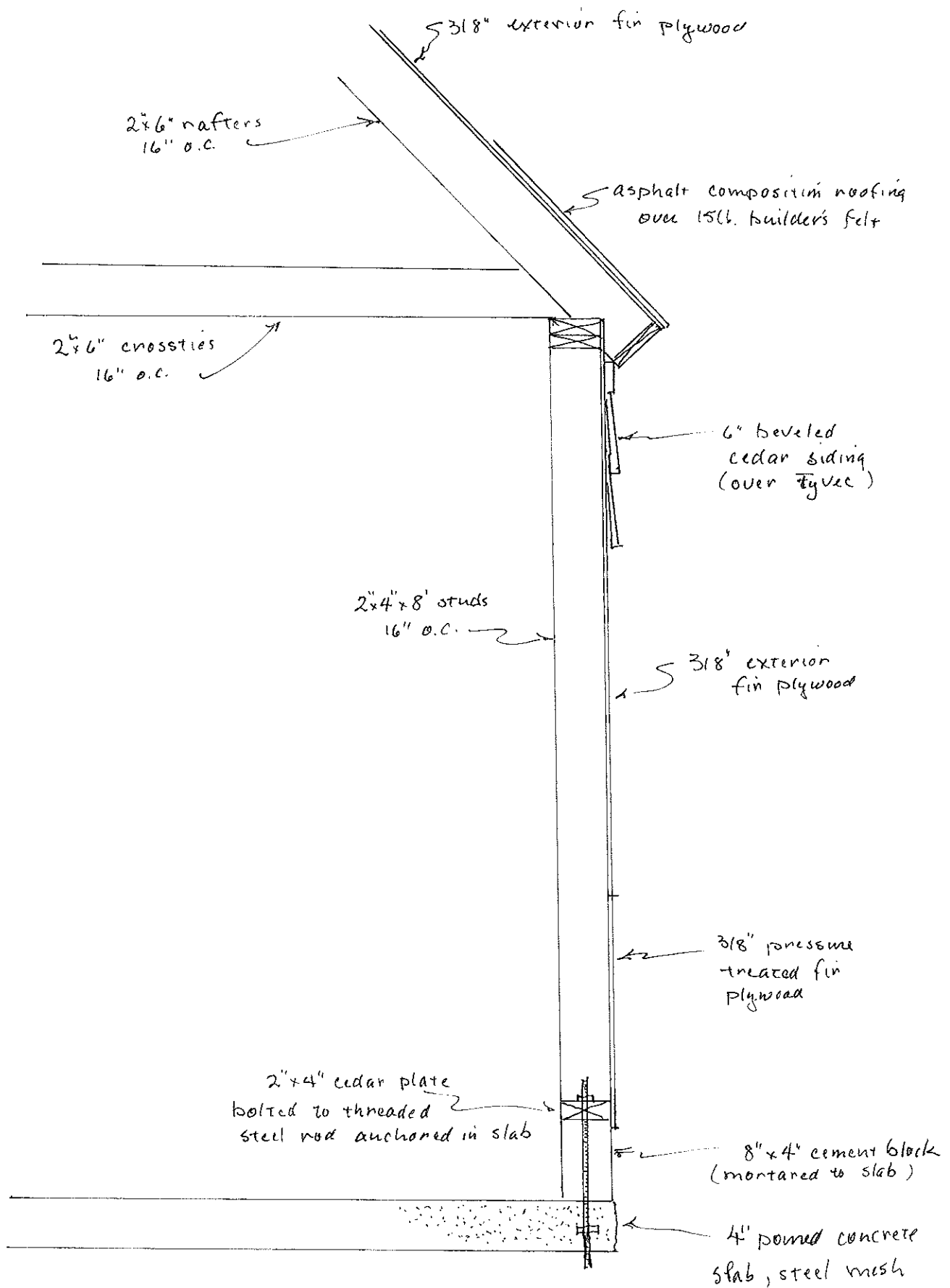


*James D. Nadeau*  
4-20-11  
A/C

overall height = 13'8"



Proposed Garden Shed  
Mertaugh residence  
118 Beacon Street



Proposed Garden Shed  
 Mentough residence  
 118 Beacon Street

Shall be no higher  
 than 18'