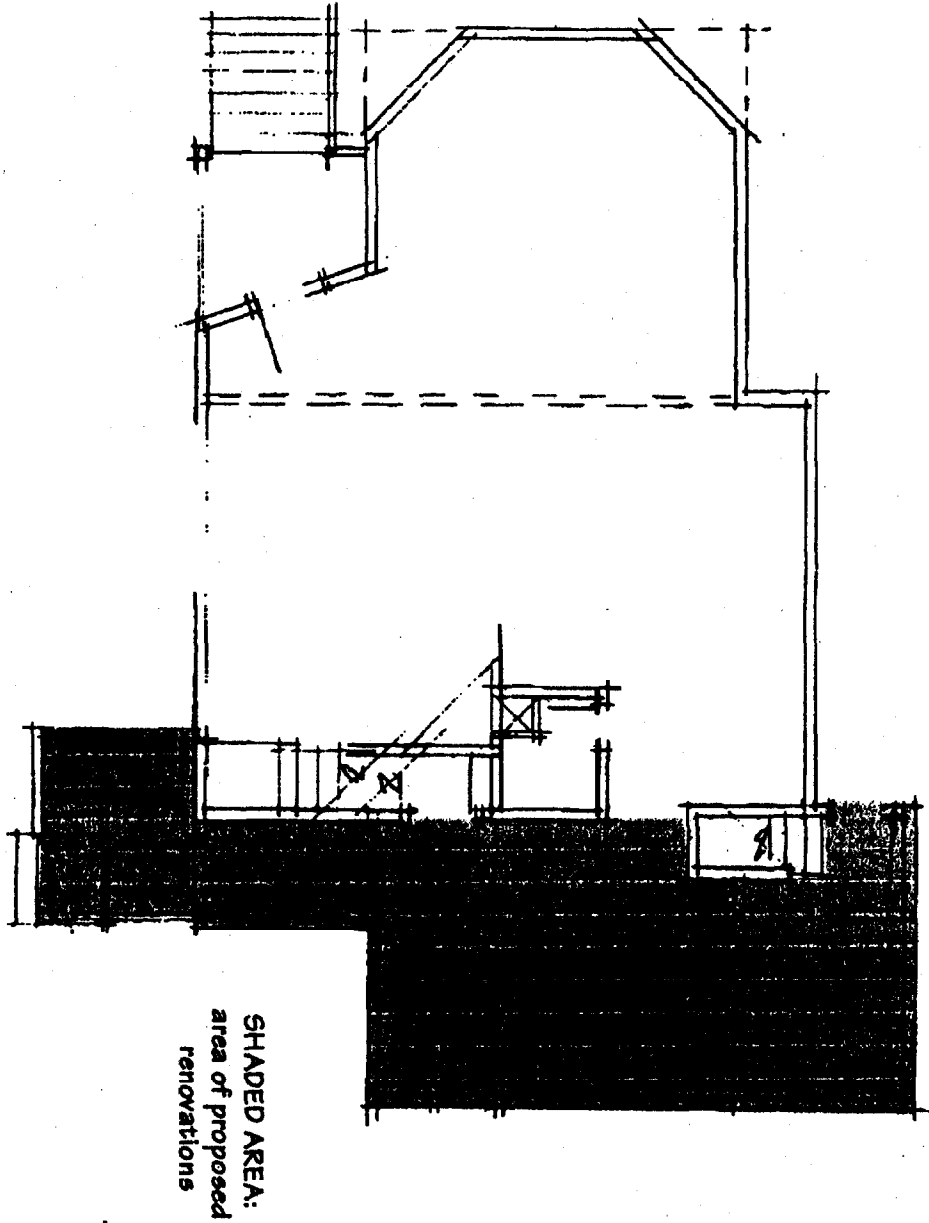
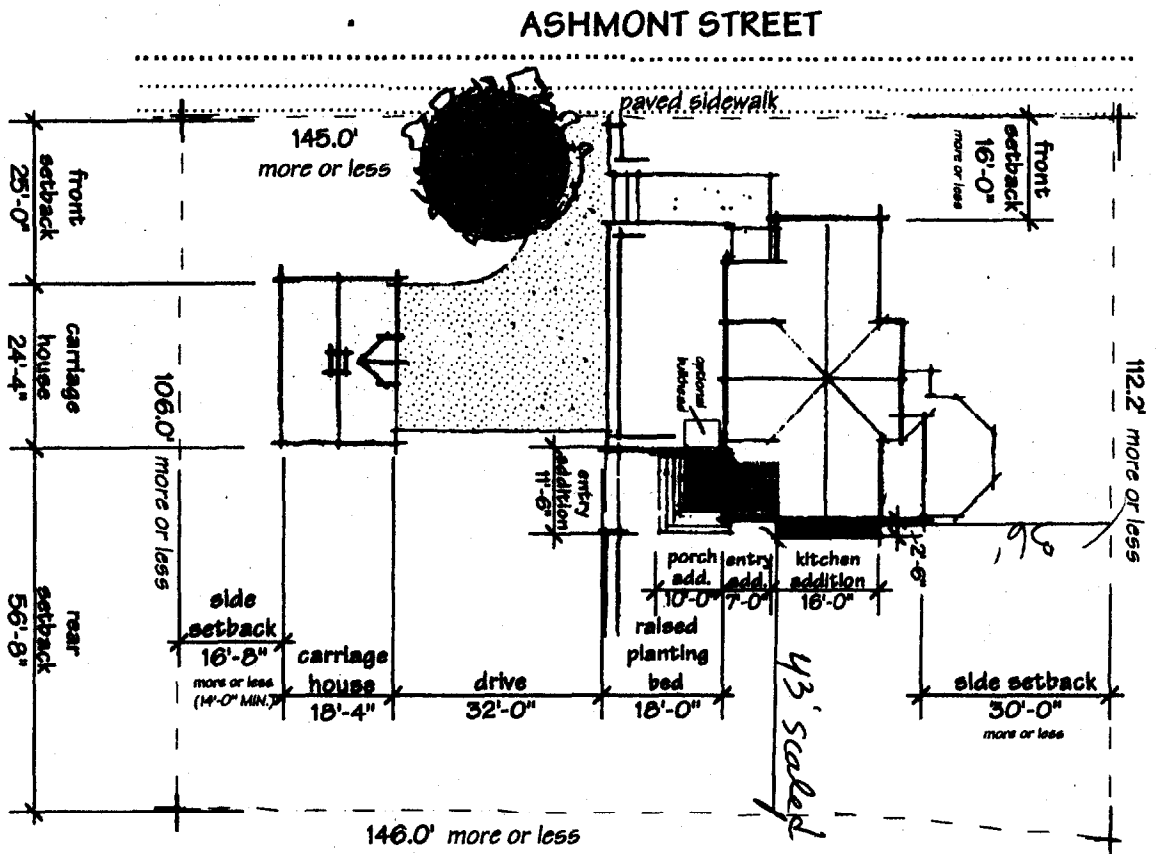


R3 Zone
 Rear 25' Reg 43' shown
 Side 8' 1st story 36' shown
 Side 14' 2 story 100' shown



EXISTING FLOOR PLAN
 1/8" = 1'-0"



SCHEMATIC SITE PLAN
 1" = 30'-0"

The BEVILACQUA RESIDENCE

185 Ashmont Street

Portland • Maine

Schematic Design • Site Plan 1" = 30'-0"
 Existing First Floor Plan 1/8" = 1'-0"

August 14, 2003

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MILA

These drawings are schematic in nature and are for layout information. All existing conditions shall be verified by the contractor. The drawings are the exclusive property of the Architect.

Sheet No. 1 of 5

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MIA

August 14, 2003

Portland • Maine

THE BEVILACQUA RESIDENCE

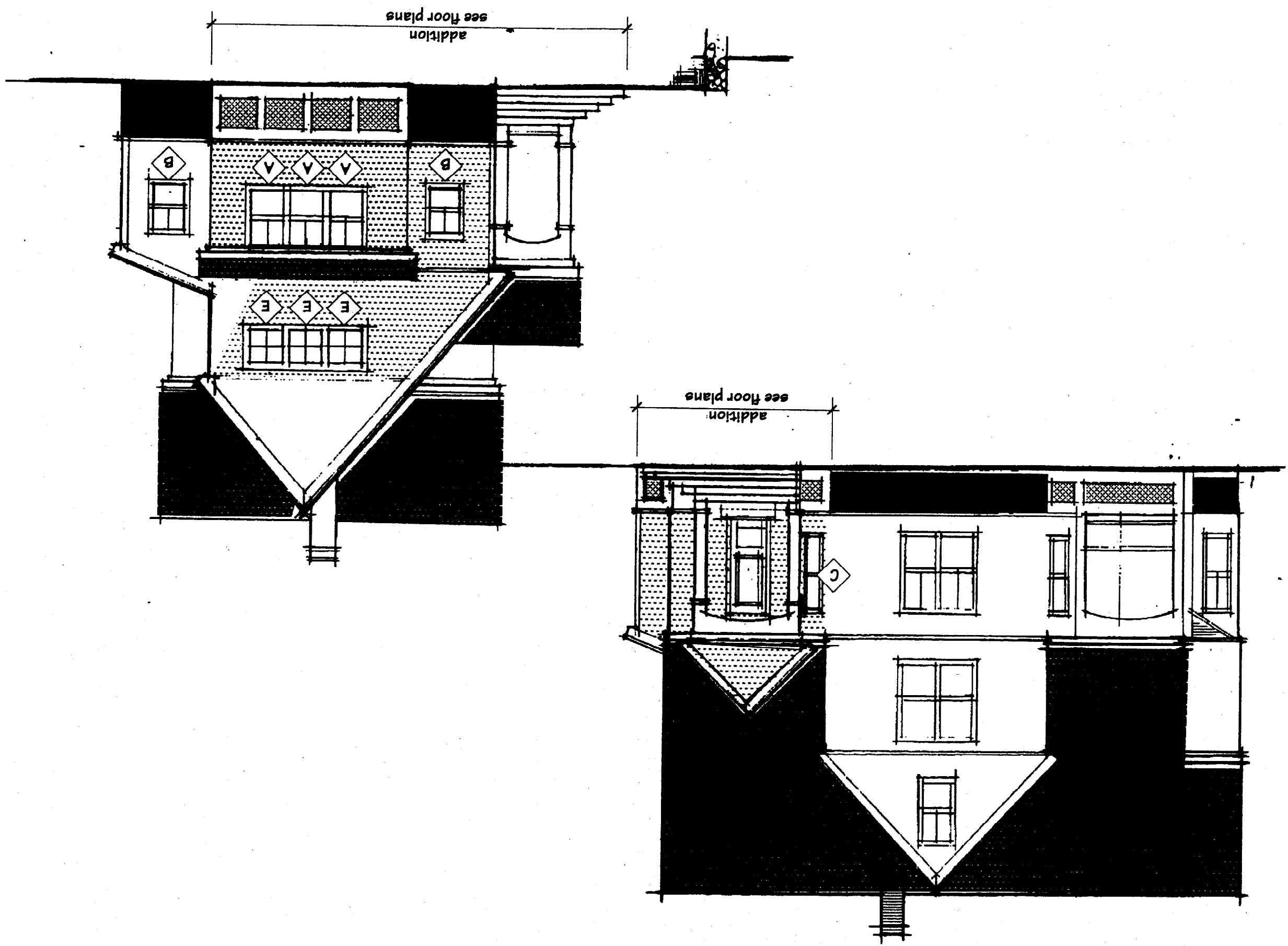
185 Ashmont Street

Schematic Design • Elevations

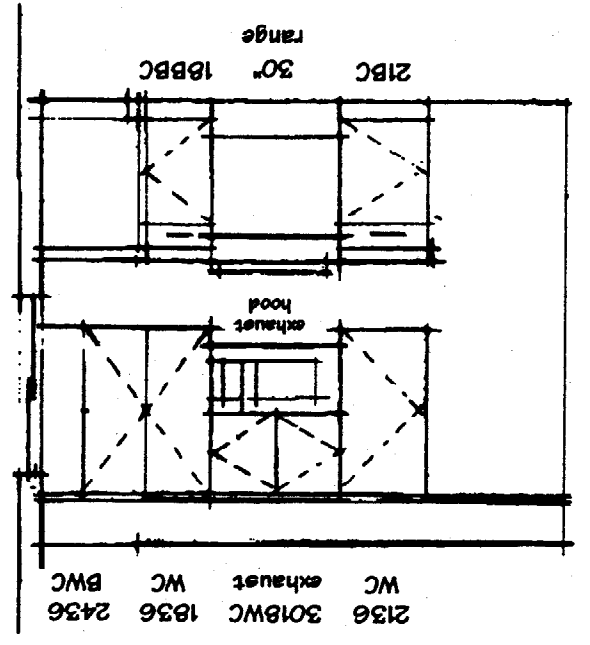
1/8" = 1'-0"

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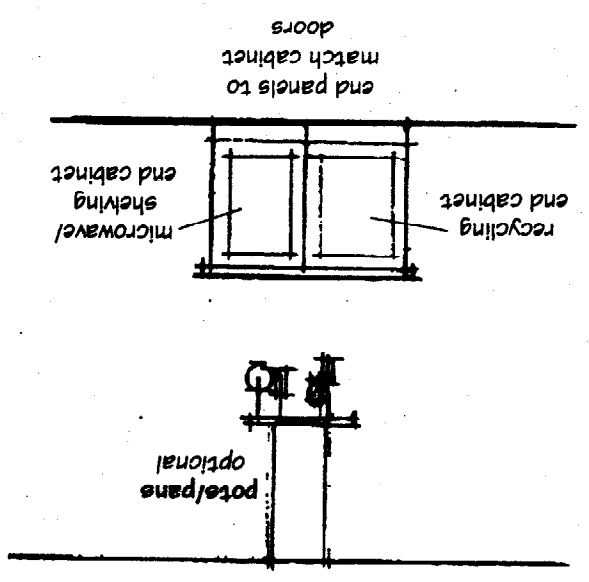
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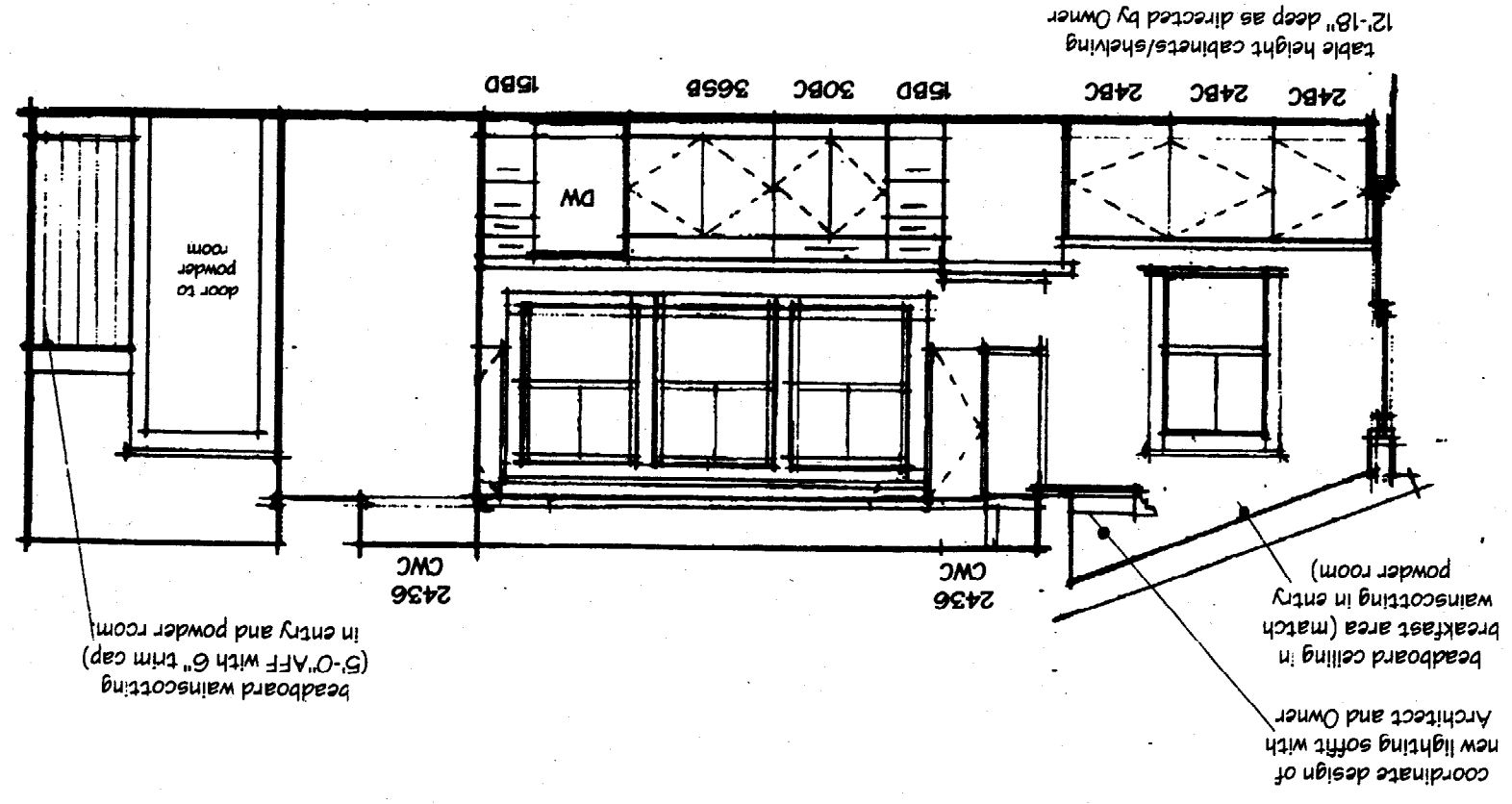
Kitchen Elevation • VIEW 1



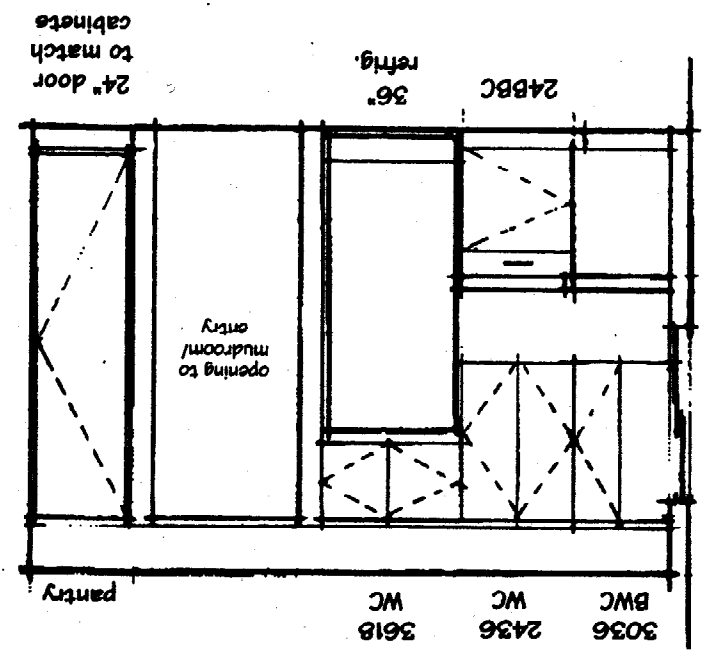
Kitchen Elevation • VIEW 4



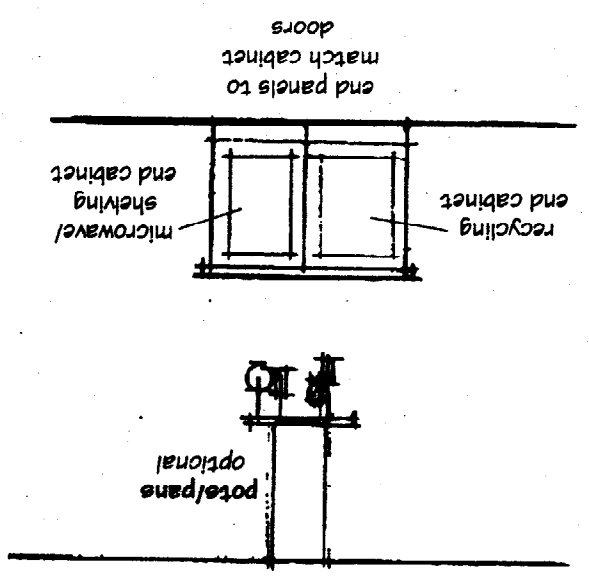
Kitchen Elevation • VIEW 2



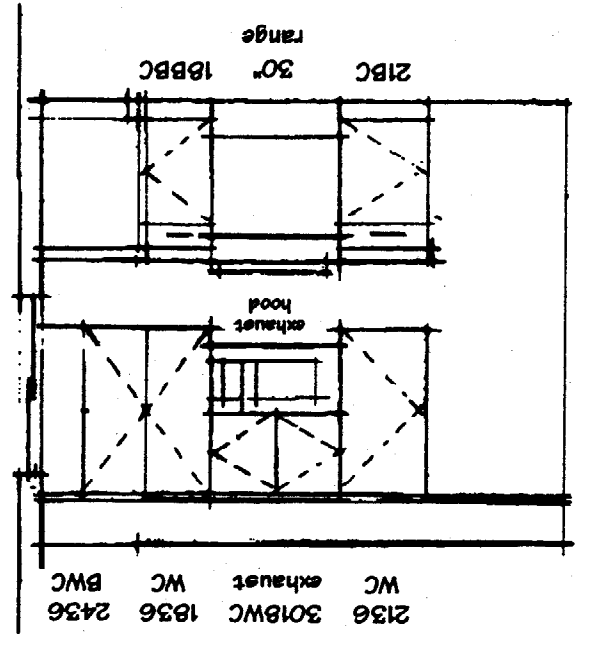
Kitchen Elevation • VIEW 3



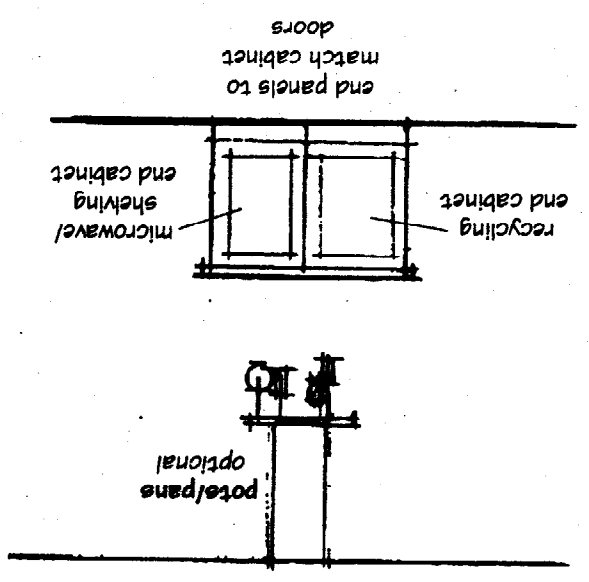
Kitchen Elevation • VIEW 4



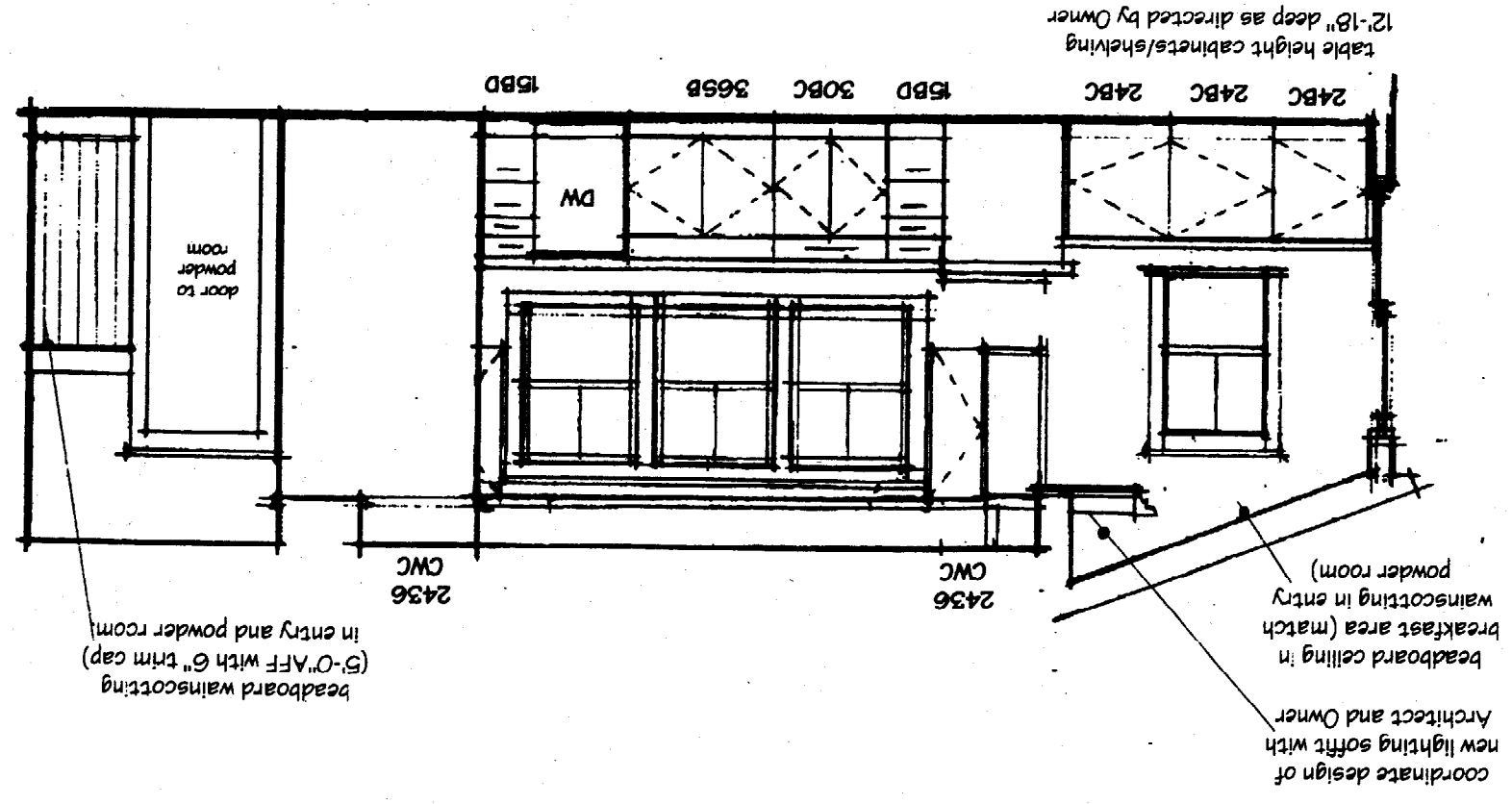
Kitchen Elevation • VIEW 1



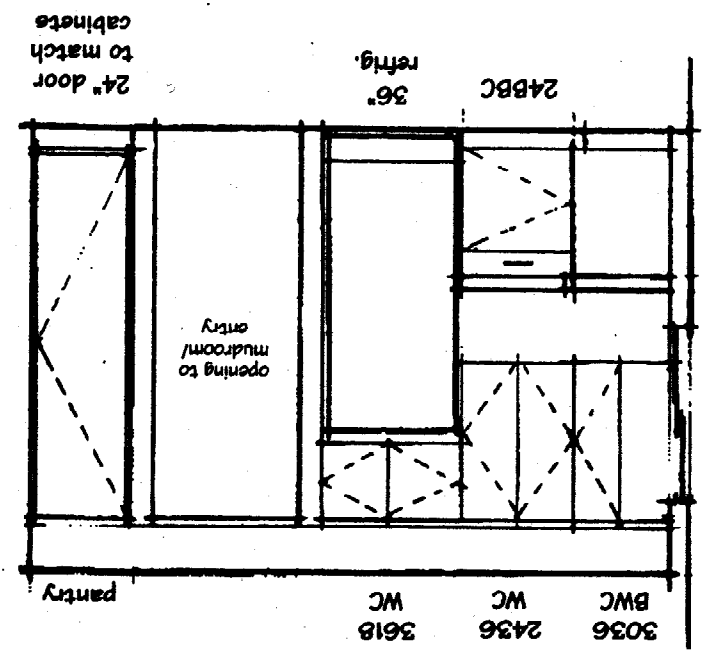
Kitchen Elevation • VIEW 4



Kitchen Elevation • VIEW 2



Kitchen Elevation • VIEW 3



These drawings are schematic in nature and are for layout information. All existing conditions shall be verified by the contractor. The drawings are the exclusive property of the Architect.

The BEVILAQUA RESIDENCE
 185 Ashmont Street
 Schematic Design • Kitchen Elevations
 1/4" = 1'-0"

Portland • Maine
 August 14, 2003

MLA
 Marilyn Leaman Architect
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 mlarch@maine.rr.com

DIVISION 1 • General Requirements
 The project consists of renovations to an existing residence at 185 Ashmont Street in Portland, Maine. First floor modifications include renovating the existing kitchen (with small 2.5' x 11.0' addition) and a small addition to accommodate a new mudroom/entry. A new covered entry deck and stairs will also be included in the scope of this project. Second floor modifications expansion of an existing bedroom, with new windows to match existing. An existing chimney (tied to the existing boiler) will be removed as part of this project.

It is the responsibility of the Contractor to comprehensively familiarize him/herself with existing site conditions. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL EXISTING AND PROPOSED DIMENSIONS PRIOR TO SETTING ANY FOUNDATION. Any potential and/or real conflicts which may have an impact on the proposed addition/renovations shall be brought to attention of the Owner promptly.

It is the responsibility of the Contractor to meet all local building codes and regulations. It is the responsibility of the Contractor to obtain any/all permits required to perform and complete the work.

As required to complete the work. The Contractor shall restore the site to its original condition upon completion of his/her work. The Contractor shall be responsible for coordinating utilities and any required modifications due to construction.

DIVISION 3 • Concrete
 As required to complete the work. Including • but not limited to • foundations, etc. Full frost-wall foundations at new construction.

DIVISION 4 • Masonry
 As required to complete the work. Including • but not limited to • face brick foundation if requested by Owner.

DIVISION 5 • Metals
 As required to complete the work. Including • but not limited to • metal fasteners, flashing, etc.

DIVISION 6 • Wood and Plastics
 As required to complete the work. Including • but not limited to • rough carpentry, finish carpentry, architectural woodwork, etc.

Exterior Studs: 2x6 Interior Studs: 2x4
 • Exterior Siding: Match existing in profile and finish.
 • Exterior Trim: Match existing in profile and finish.
 • Corner Trim: Match existing in profile and finish.
 • Exterior Soffit: Tongue and groove cedar, painted.
 • Exterior Entry Deck/Stair: Pressure-treated 5/4 decking, unless otherwise indicated by the Owner.
 • Interior Wood Trim: Profile and finish to match existing of the original residence.
 • Wainscoting: Beadboard 5'-0" AFF with 6" trim cap in Entry and Powder Room.
 • Wood Ceiling: Beadboard at Breakfast ceiling. (Beadboard to match Entry and Powder Room material).

DIVISION 7 • Thermal and Moisture Protection
 As required to complete the work. Including • but not limited to • waterproofing, dampproofing, foundation drain(s), vapor barrier(s), air barrier(s), insulation, firestopping, roofing, flashing/sheet metal, joint sealers, etc.
 • Sloped Roof: Fiberglass roof shingles: color and style to match existing. Vent roofs as required by manufacturers recommendations and contemporary construction practices.
 • Roof Insulation: Full-thickness batt insulation with air venting panels at roof deck and moisture barrier on interior.

Exterior Wall Insulation: Full-thickness batt insulation with moisture barrier on interior.
 • Interior Wall Insulation: Full-thickness batt insulation at bathroom and utility room walls, and other locations as directed by Owner.
 • Floor Insulation: Where floor is exposed to the exterior (crawl spaces, garage, etc.), provide full-thickness batt insulation.
 • Air Barrier: Exterior walls sheathing shall be covered with air barrier similar to Tyvek.

DIVISION 8 • Doors and Windows
 As required to complete the work. Including • but no limited to • doors, frames, hardware, windows, screens, etc.
 Hardware as selected by Owner (provide hardware allowance).
DOORS: Reuse existing doors where possible. New interior doors to match existing in profile and finish.

- 1 Exterior Door (Mudroom/Entry): As selected by Owner. Provide screen/storm door. 3'-0" x 6'-8"
- 2 Interior Door (Powder): POCKET DOOR: Match existing in profile and finish. 2'-4" x 6'-8"

WINDOWS: Windows similar to FELLA aluminum clad wood windows. Full divided lights with wood grilles on interior. Include all hardware and insect screens. Color and finishes as selected by the Owner.

- A Double Hung (Kitchen) FELLA 2953 2'-5 3/4" x 4'-5 3/4"
- B Double Hung (breakfast & powder) FELLA 2941 2'-5 3/4" x 3'-5 3/4"
- C Double Hung (mudroom/entry) FELLA 2171 1'-9 3/4" x 5'-11 3/4"
- D Double Hung (breakfast) FELLA 3365 2'-9 3/4" x 5'-5 3/4"
- E Awning (second floor bedroom) FELLA 2929 2'-5 3/4" x 2'-5 3/4"

DIVISION 9 • Finishes
 As required to complete the work. Including • but not limited to • gypsum wallboard, floor coverings, painting, etc.
 Selection of finishes shall be by the Owner.
 • Walls/Ceilings: Gypsum wallboard, painted... or as directed by Owner.
 • Interior Wood Trim: Finish to match existing in profile and finish (match trim in the original residence).
 • Floor Finishes: Materials as selected by Owner. Provide allowance.

DIVISION 10 • Specialties
 As required to complete the work. Including • but not limited to • storage/closet shelving (adjustable), etc.
 New kitchen cabinets and appliances as selected by Owner.

DIVISION 11 • Equipment
 As required to complete the work. Including • but not limited to • kitchen cabinets and countertops as selected by Owner.

DIVISION 12 • Furnishings ... not applicable.
DIVISION 13 • Special Construction ... not applicable.
DIVISION 14 • Conveying Systems ... not applicable.

DIVISION 15 • Mechanical Systems
 As required to complete the work. Including • but not limited to • basic mechanical materials and methods for plumbing and heating/ventilation. Plumbing fixtures as selected by Owner (provide fixture allowance).
 Heating/ventilation compatible with existing system or as directed by the Owner. Modify boiler location as directed by the Owner.

DIVISION 16 • Electrical
 As required to complete the work. Including • but not limited to • basic electrical materials and methods, lighting, controls, etc. Coordinate electrical layout with Owner prior to rough-in.

- Light Fixtures: As selected by Owner. Provide allowance.
- Switch/Wall Plates: Color/finish as selected by Owner. Provide allowance.

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THE BEVILACQUA RESIDENCE

185 Ashmont Street

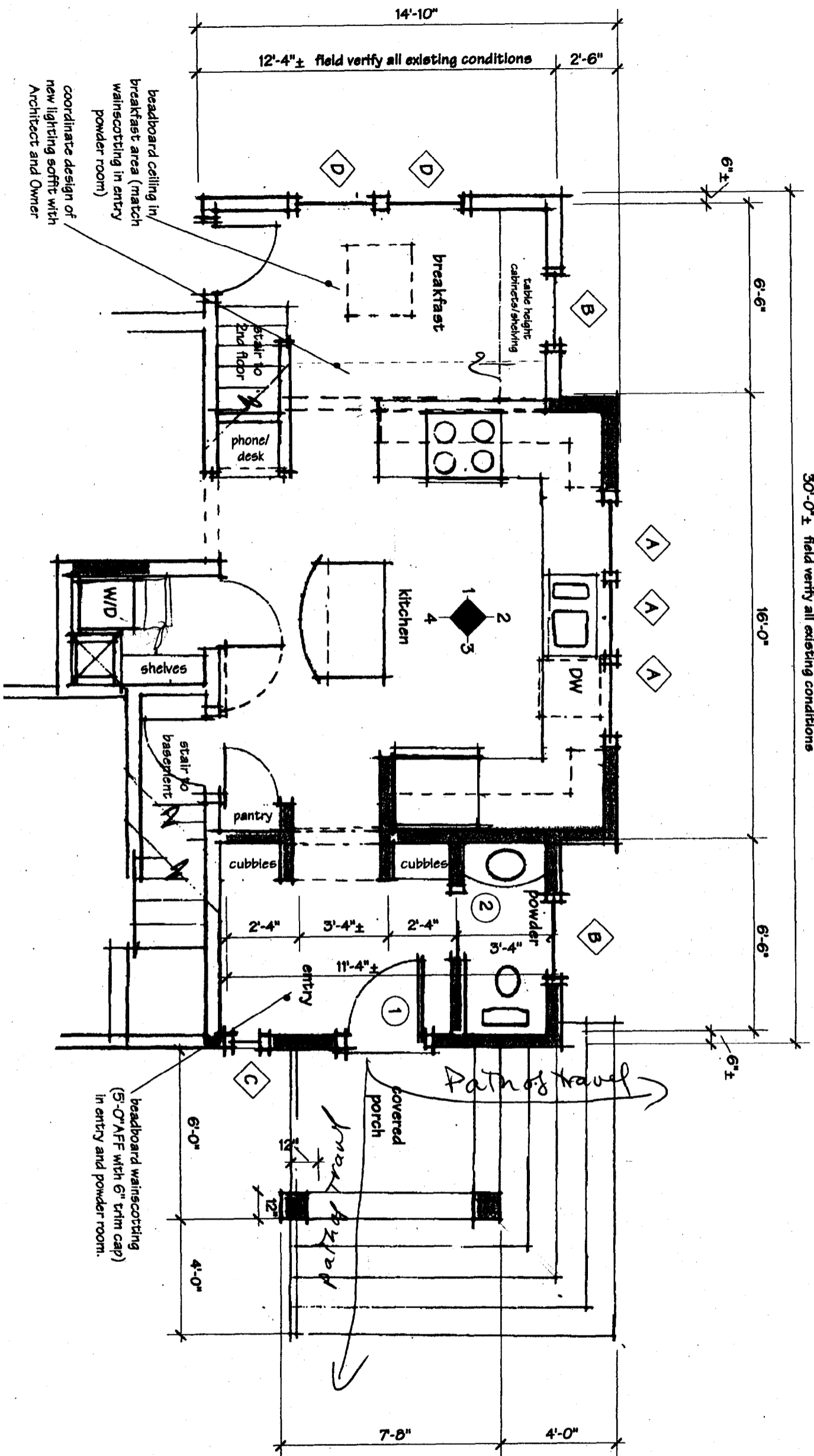
Portland • Maine

Outline Specifications
 NO SCALE

August 14, 2003



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headboard ceiling in
breakfast area (match
wainscoting in entry
powder room)

coordinate design of
new lighting soffit with
Architect and Owner

new partitions

headboard wainscoting
(5'-0" AFF with 6" trim cap)
in entry and powder room.

30'-0" ± field verify all existing conditions

The BEVILACQUA RESIDENCE

185 Ashmont Street

Portland • Maine

Schematic Design • Partial First Floor Plan
1/4" = 1'-0"

August 14, 2003

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