

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1383	Issue Date:	CBL: 123 L005001
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Location of Construction: 251 WOODFORD ST	Owner Name: JAGGER ALLAN D	Owner Address: 40 O'BRION ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	Zone: B-1/R5

Past Use: Two Family	Proposed Use: One Family, One professional Office, change of use application. tenant fit up to be applied for seperately	Permit Fee: \$105.00	Cost of Work: \$0.00	CEO District: 4
Proposed Project Description: Change of use to one family and one professional office.		FIRE DEPT: w/conditions shd/c	<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R/B Type: SB
		Signature: <i>[Signature]</i>	Signature:	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action:	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: Imd	Date Applied For: 11/07/2007	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2007-0210 Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: 3/21/10. <i>ABU</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	EXPIRED		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1383	Date Applied For: 11/07/2007	CBL: 123 L005001
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Location of Construction: 251 WOODFORD ST	Owner Name: JAGGER ALLAN D	Owner Address: 40 O'BRIEN ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	

Proposed Use: One Dwelling Unit & One professional Office - change of use	Proposed Project Description: Change of use to one family and one professional office.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 03/31/2010

Note: Floor area for office is 1936 sf, so needs to show 5 parking spaces and one for existing dwelling unit for a total of 6 parking spaces. **Ok to Issue:**

- 1) With the issuance of this permit and the certificate of occupancy, this property shall remain as one residential dwelling unit and a professional office. Any change of use shall require a separate permit application for review and approval.
- 2) Separate permits shall be required for any new signage.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** 7 **Reviewer:** Jeanine Bourke **Approval Date:**

Note: **Ok to Issue:**

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Ben Wallace Jr. **Approval Date:** 05/10/2010

Note: **Ok to Issue:**

- 1) A fire alarm system shall be required if the business shares egress components with the dwelling unit.
- 2) This permit is for change of use only, any construction shall require additional permits. The occupancy shall meet NFPA 101 code requirements upon inspection, including number of means of egress from each floor.

EXPIRED

Comments:

3/31/2010-amachado: Planning had been working with Allan Jagger to complete an after the fact site plan review for site plan work that he did. Planning approved the after the fact site plan on March 2, 2010. I'm moving the permit forward in the system. Waiting for approved stamped siteplan and sign off from planning.

5/13/2010-jmb: Reviewed as mixed non-separated in IEBC, spoke with Allan J., he verified that there is no longer a residential unit, it is all occupied by Bangor Savings offices, all one tenant. Advised to withdraw this application and apply for the new change of occupancy. He will come in on 5/17 with floor plans, I gave Ann M. A heads up.

3/31/2010-amachado: Barbara sent email. She did not stamp the plans, but it is approved.

5/6/2010-jmb: Routed to fire as this is a mixed use commercial building.

11/15/2007-amachado: A stop work order was issued on 8/22/07. The owner was told to come in and file a site plan application for putting in a paved parking area without a permit. I spoke to Phil DiPierro, and the applicant has yet to submit a siteplan application. Permit is on hold until this is resolved.

11/27/2007-mes: Planning staff seemed confused as to what the past use was, and what was being requested now for a building permit. I did some research and e-mail everyone to make it more clear. See attached memo to Barbara B.

Location of Construction: 251 WOODFORD ST	Owner Name: JAGGER ALLAN D	Owner Address: 40 O'BRION ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Dwellings	

Change of Use

General Building Permit Application



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>247-251 Woodford St</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * must be owner, Lessee or Buyer * Name Address City, State & Zip	Telephone:
<u>123 L 7</u> <u>123 L 5</u>	<u>Allen Jagger</u> <u>40 O'Brien St</u> <u>Portland</u>	<u>939 1730</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>2 Family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>1 Family / 1 Professional Office</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>C of O - 75 - Paid</u> <u>Change of use 3000</u>		
Contractor's name: _____		
Address: _____		
City, State & Zip _____		Telephone: _____
Who should we contact when the permit is ready: <u>Allen Jagger</u>		Telephone: <u>939 1730</u>
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Allen Jagger Date: 11/7/07

This is not a permit you may not commence ANY work until the permit is issue

4435

Ann Machado - Re: 251 Woodford Street

From: Barbara Barhydt
To: Machado, Ann
Date: 3/31/2010 2:34 PM
Subject: Re: 251 Woodford Street

I believe the performance guarantee is a condition of approval . I did not stamp the plans, but I can stamp the one in inspections.

Barbara

>>> Ann Machado Wednesday, March 31, 2010 1:33 PM >>>
Barbara -

Thanks for the letter. Is there a final approved, stamped site plan yet? What about the performance guarantee?

Ann

>>> Barbara Barhydt 3/31/2010 8:38 AM >>>

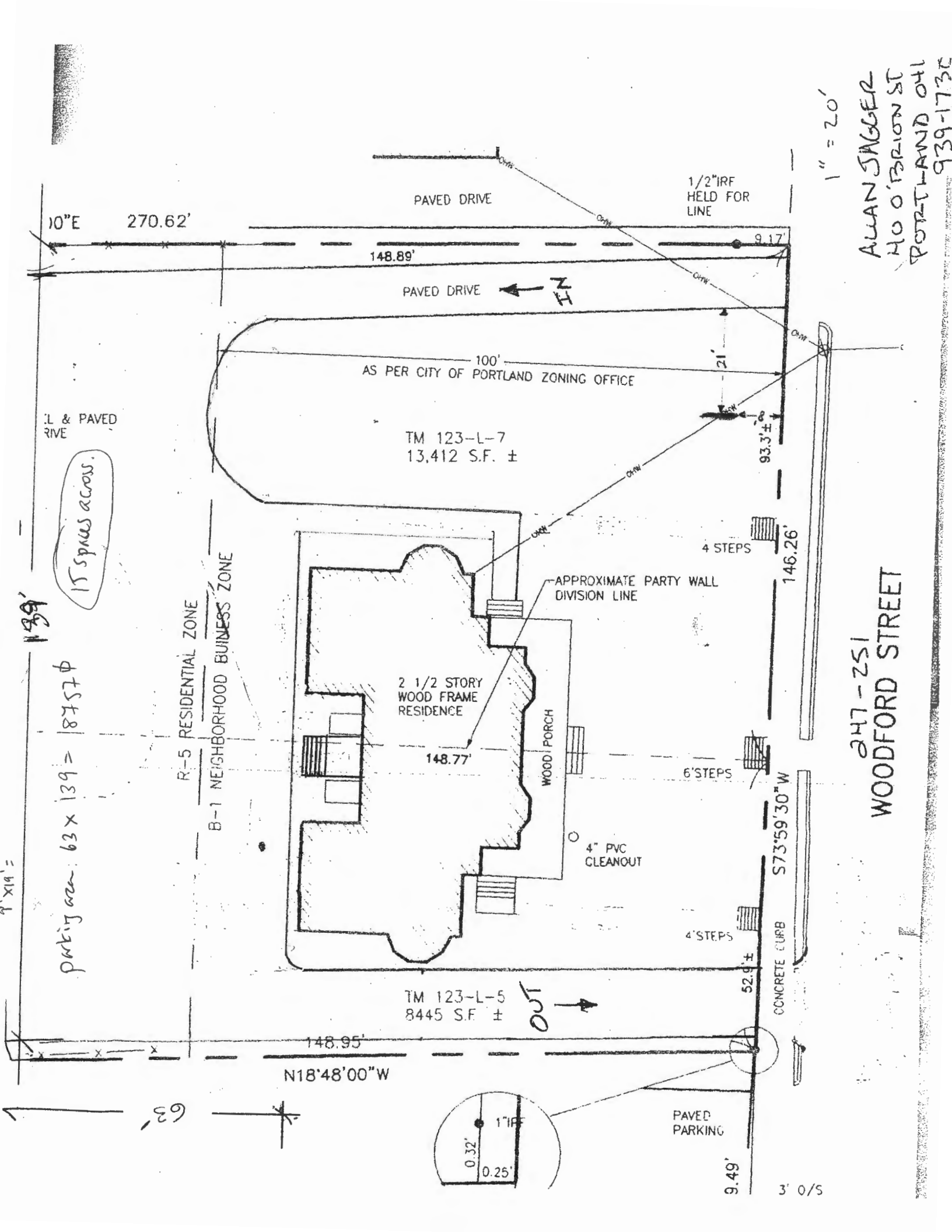
>>> Ann Machado Monday, March 29, 2010 10:16 AM >>>
Barbara -

I saw in Urban Insight that you approved the minor siteplan for the parking lot at this property on March 2, 2010 and the approval letter was written.

I can't find a copy of this letter. Can I get one to put with the siteplan? Also is there a final stamped approved site plan yet? I will move the building permit forward in the system for review, but we need to know when it can be issued.

Thanks.

Ann



COJ OCC

Phil ~~→~~

Atlan
says all

812

Now separated
Chapter 7 & 8

"B" use
Bangor
swing
offices

703 enclosed 603.21

B = $\frac{1}{2}$ m stairs - enclosed
#5 - except \angle 3000 Φ /FL

605 MOE (shared?)
(2) FE ok

605.4.11 + 75' TB needs 2 doors egress
from each room/space

Lighting required MOE



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www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

March 2, 2010

Allan Jagger
40 O'Brien Street
Portland, ME 04101

RECEIVED

MAR 31 2010

Dept. of Building Inspections
City of Portland Maine

Project Name: After the Fact Review
Address: 251 Woodford Street
Applicant: Allan Jagger
Planner: Barbara Barhydt

Project ID: 2007-0210
CBL: 123-L-5-7

Dear Mr. Jagger:

On March 2, 2010, the Portland Planning Authority approved the after-the-fact site plan for 251 Woodford Street. The plan shows the removal of 18.38 feet of the paved from the parking with erosion controls and final loam and seeding of the site. Marge Schmuckal, Zoning Administrator, found the removal of pavement sufficient to bring the site into compliance with the B-1 and R-5 zoning (see review included as Attachment 1). The site plan approval is based upon on the approved plan prepared by Mr. Robert T. Greenlaw and dated 12/12/07 with a revision date of 1-11-09 with the following conditions:

1. The proposed dumpster enclosure must be located on the B-1 portion of the site and not within the R-5 zone. Please confirm the final location of the dumpster prior to the issuance of a building permit.
2. The site mitigation **must be completed by June 30, 2010.**
3. The standard conditions of approval apply to this approval, including but not limited to the submission of a performance guarantee, inspection fee a pre-construction meeting and a building permit for site work prior to starting any site disturbance and work.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development

Alexander Jaegerman, Planning Division Director

Barbara Barhydt, Development Review Services Manager

Philip DiPierro, Development Review Coordinator

Marge Schmuckal, Zoning Administrator

Tammy Munson, Inspections Division

Lannie Dobson, Administrative Assistant

Michael Bobinsky, Public Services Director

Katherine Earley, Public Services

Bill Clark, Public Services

David Margolis-Pineo, Deputy City Engineer

Jane Ward, Public Services

Keith Gautreau, Fire

Jeff Tarling, City Arborist

Tom Errico, Wilbur Smith Consulting Engineers

Dan Goyette, Woodard & Curran

Assessor's Office

Approval Letter File

Hard Copy: Project File

Comments
Submitted

1/20/10



To: Marge Schmuckal, Keith Gautreau, David Margolis-Pineo, Dan Goyette, Tom Errico

From: Barbara Barhydt

Date: January 20, 2010

Additional information submitted for the following project:

Application ID #: Urban Insight 2007-0210

Project Name: Woodford Street parking lot

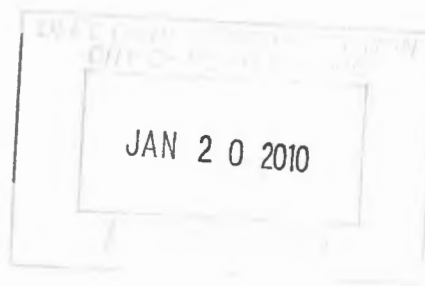
Project Address: 251 Woodford Street

Preliminary Comments needed by: January 27, 2010

Written Comments needed by: February 3, 2010

This project has a long history. Initially he was granted a second curb cut and then enlarged the parking lot in the rear without reviews. The parcel is split between R-5 and B-1. Parking for a B-1 use is not allowed in the R-5 zone. We asked for more information and we have finally received it. He submitted an early plan that I rejected because it was just his hand drawing. The revised plan is now intended to mitigate the site by removing pavement in the R-5 zone. Attached are the letters from 2009 for your reference. Please review.

Thank you.



OCEAN PARK LAND SURVEYING LLC

January 11, 2010

Barbara Barhydt
Development Review Services Manager
City of Portland
389 Congress Street
Portland, ME 04101

Subject: After the fact letter from the City dated June 2, 2009.

JAN 20 2010

Dear Barbara,

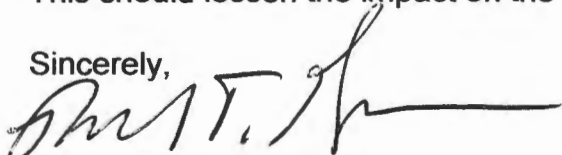
Having reviewed the above noted letter and reviewing the plans I prepared I would like to address the items listed under "**Required Revisions and Remediation**". I have numbered the following to correspond with letter dated June 2, 2009.

1. A revised plan has been prepared. I measured the distance from the edge of pavement in the parking area to the zone line and determined 18 feet +/- of pavement must be removed. I recalculated the change in the impervious ratio of the site and noted it on the plan.
2. I have left the driveway to garage on the plan.
3. There are still 13 parking spaces on site which includes the garage.
5. A detail sheet has been prepared outlining the DEP procedures for Erosion and Sedimentation control.
6. A dumpster enclosure has been placed on the plan and shown on the detail sheet.

I trust these changes should satisfy the City of Portland's requirements for remediation of the site. Mr. Jagger does plan to start this remediation after April of this year and finish the project within a matter of days from the start of the remediation.

This should lessen the impact on the neighborhood and the site.

Sincerely,



Robert T. Greenlaw, PLS

P.O. Box 265
Ocean Park, Maine 04063
Oceanparkllc@qwi.net
207-749-9471

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2007-0210

Date: 2/11/2010

I reviewed the revised plans received on 1/20/10. It is showing that 18' of pavement will be removed. This is approvable under zoning. Section 14-51 allows a 30' extension of the B-1 Zone into the R-5 Zone. My one condition is that the proposed dumpster enclosure be put in the area of the B-1 Zone, not the R-5 Zone. It is noted that the previous submittal did not show a dumpster enclosure anywhere on the lot.

Marge Schmuckal
Zoning Administrator



PORTLAND, MAINE

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Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

December 17, 2009

Allan Jagger
40 O'Brien Street
Portland, ME 04101

RE: 251 Woodford Street, CBL #123-1-5-7

Dear Mr. Jagger:

I received your recent submittal dated December 4, 2009 for 251 Woodford Street. As stated in your letter you are anxious to complete the remediation for the after-the fact review of a parking lot that extends into the R-5 zone.

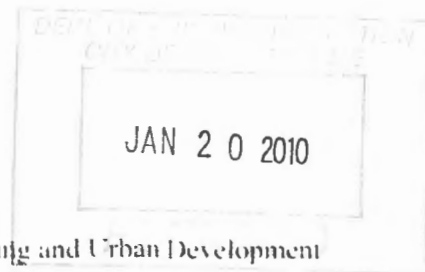
In order to review your remediation plan for the after-the, we need seven sets of the site plan prepared by a competent professional and based upon a stamped survey. The plans must be to scale and address all of the items contained in the letter sent to you on June 2, 2009. A copy of that letter is attached for your reference. Please submit the revised plans to our office by January 15, 2010.

We are seeking your timely cooperation with the City's site plan submission, review and approval requirements. Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. Ss 4452.

Should you have any questions about the content of this letter, please contact me at 874-8699.

Sincerely,


Barbara Barhydt
Development Review Services Manager



cc: Penny St. Louis Littell, Director, Department of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Marge Schmuëkal, Zoning Administrator
Danielle West-Chuhta, Associate Corporation Counsel

Attachment 1

Letter to Allan Jagger from Barbara Barhydt, dated June 2, 2009

June 2, 2009

Allan D. Jagger
40 O'Brion St.
Portland, ME 04101

JAN 20 2010

Dear Mr. Jagger:

I thank you for meeting with Alexander Jaegerman, Planning Division Director, and I on May 29, 2009. As we discussed, the City of Portland has reviewed the after-the-fact site plan that was submitted for a parking area at 251 Woodford Street. At this meeting we confirmed the following points.

Zoning

1. Section 14-51 of the Zoning Ordinance states:

Where a zone boundary line divides a lot in single or joint ownership of record at the time such line is established, the provisions of this article for the less restricted portion of such lot shall extend not more than thirty (30) feet into the more restricted portion, provided that the lot has at least twenty (20) feet of street frontage in the less zone when taken together with adjacent premises which are under the same or equivalent ownership or control. If such boundary line divides a business or industrial zone from a residence zone, no frontage on a street other than the principal business street in the less restricted zone may be taken into consideration in connection with the right herein granted. This section shall not apply to differing dimensional requirements, including height, within a zoning district.

2. An excerpt of Section 14-344 of Portland Off-Street Parking Requirements states:

In R-3 through R-5 zones, the Board of Appeals may permit off-street parking for passenger cars only accessory to a use located in and conforming with the provisions of a nearby business or industrial zone (except B-1 zones) if the lot on which the use is proposed is located wholly within three hundred (300) feet.....

3. The property at 251 Woodfords Street is divided between the B-1 zone for the front portion of the property running parallel to Woodford Street and the R-5 zone for the rear portion of the property as shown on the site plan dated 12/12/07. Marge Schmuckal, Zoning Administrator, has reviewed the after-the-fact site plan for a parking lot at 251 Woodford Street, which is to serve the change of use of the existing building to an office use and one dwelling unit. She has determined that the paved area may extend 30 feet beyond the B-1 zone line into the R-5 District. The paved parking area extends approximately 50 feet beyond the B-1 and R-5 zone line, thus the parking area is located 20 feet into the R-5 Zone.

Ms. Schmuckal has ultimately concluded that you must either show that the extra pavement is removed or some other approvable method for restricting parking is placed in the area.

Site Plan - Stormwater Management

1. Under the City's site plan ordinance and regulations, a stormwater management plan that controls water runoff for a parking lot is required. The site plan as submitted has been reviewed by the City's consulting engineer and the Department of Public Services. In accordance with the Zoning recommendation, the City Staff recommend that the pavement in the R-5 zone be removed and then loamed and seeded. This restoration of this area to a lawn will reduce stormwater runoff and remediate the site.
2. A minimum of six (6) parking spaces are required to serve the change of use as determined by Ann Machado, Zoning Specialist.

Required Revisions and Remediation

The Department of Planning and Urban Development finds that the submitted site plan does not meet zoning or the City's site plan ordinance. As a result, the Department requires that the site plan be revised to reflect the improvements needed to meet the City's zoning ordinance and site plan ordinance as follows:

1. A revised site plan must be submitted that shows the removal of twenty feet of pavement within the R-5 zone and the stabilization of the site with loam and seed.
2. The driveway leading to the existing garage may remain.
3. A minimum of six parking spaces must be shown on the plan.
4. The revised site plan must be reviewed and approved by the Planning Authority.
5. Erosion and sedimentation controls meeting DEP's best management practices will be required during construction.
6. Adequately screen the dumpster with solid fencing.
7. As discussed at our meeting, a performance guarantee based upon an agreed upon amount to cover the cost of excavating the pavement and restoring the area with loam and seed is required prior to the issuance of a permit. Enclosed with this letter is the cost estimate form and sample forms for a letter of credit or an escrow account. The cost estimate form should be submitted for review and approval prior to finalizing a performance guarantee.
8. A 2% inspection fee is required based on the final amount of the performance guarantee.
9. A preconstruction meeting and a building permit for site work are required prior to remediation of the site.
10. Once this site work is complete to the satisfaction of the City of Portland, then a final certificate of occupancy for the site may be granted and any sign permits may be considered.

Should you have any questions about the contents of this letter, please feel free to call me.

Sincerely,

Barbara Barhydt
Development Review Services Manager

cc: Penny St. Louis Littell, Director, Department of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspection Division Director



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Planning and Development Department

Lee D. Urban, Director

Planning Division

Alexander Jaegerman, Director

December 19, 2007

Mr. Allan Jagger
40 O'Brion Street
Portland, ME 04101

Robert T. Greenlaw
General Delivery
Ocean Park, ME 04063

DEC 20

Re: 251 Woodford Street, CBL #123-L-5-7

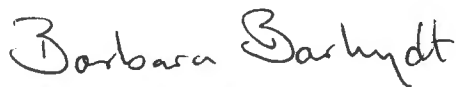
Dear Mr. Jagger and Mr. Greenlaw:

We have received your site plan application on December 14, 2007, for an "after-the-fact" development review for a paved parking lot and second driveway at 251 Woodford Street under the City of Portland's Land Use Code. Marge Schmuckal, Zoning Administrator and I reviewed your submission and find it to be incomplete at this time. The City requests that additional material to be provided in order to determine whether the proposal meets zoning and to address site plan standards. The plans will not be distributed for review until the application is determined to meet zoning. The list of the information needed includes the following:

1. Evidence of Right, Title and Interest for the Site;
2. A written statement addressing the points in Sec. 14-525 (c) of the City's Land Use Code;
3. Zoning information to include:
 - a. Analysis of lot coverage;
 - b. The complete area of the lot must be shown on the plan.
 - c. Explanation of the how the paved area is being used.
 - d. Layout of parking and circulation for the proposed paved area. The number of proposed parking spaces meeting the City's dimensional standards of 9 x 19 feet;
4. The design of ingress and egress of vehicles to and from the site, the number of proposed spaces and screening of the parking should be shown;
5. Information and plans on the how the storm water is to be handled for the site, including any catch basins, storm drain connections or other means of controlling drainage.
6. Exterior lighting needs to have full cut-offs, so the specifications for the exterior lights and a photometric plan for the exterior lights must be submitted;
7. Location and screening of any on-site waste receptacles and screening of the receptacles; and
8. The size, location and type of any proposed landscaping.

Please note that the Planning Authority may request additional information to review the proposal according to applicable laws, ordinances and regulations. Please submit seven revised plans addressing the above items by January 4, 2008, so the review of this "after-the-fact" application may proceed. We will distribute your application for review once the additional information is submitted. If you have any questions, please contact me at 874-8699.

Sincerely,



Barbara Barhydt
Development Review Services Manager

cc: Alexander Jaegerman, Planning Division Director
Marge Schmuckal, Zoning Administrator
Penny Littell, Associate Corporation Counsel

Attachment

1. November 29, 2007 letter to Allan Jagger from Barbara Barhydt, Development Review Services Manager

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

2007-0210

Application I. D. Number

12/14/2007

Application Date

Woodford Street - 251

Project Name/Description

Zoning Copy

1/30/08

Jagger Allan D

Applicant

40 O'brion St , Portland , ME 04101

Applicant's Mailing Address

251 - 251 Woodford St, Portland, Maine

Address of Proposed Site

123 L005001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Applicant Ph: (207) 939-1730 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify)

Proposed Building square Feet or # of Units

Acreage of Site

B1

Zoning

ER-5 w/REX

Check Review Required:

- Site Plan (major/minor)
- Zoning Conditional - PB
- Subdivision # of lots
- Amendment to Plan - Board Review
- Zoning Conditional - ZBA
- Shoreland
- Historic Preservation
- DEP Local Certification
- Amendment to Plan - Staff Review
- Zoning Variance
- Flood Hazard
- Site Location
- After the Fact - Major
- Stormwater
- Traffic Movement
- Other
- After the Fact - Minor
- PAD Review
- 14-403 Streets Review

Fees Paid: Site Plan \$1,400.00 Subdivision _____ Engineer Review _____ Date 12/17/2007

Zoning Approval Status:

Reviewer

Margie S. - Inspection

- Approved
- Approved w/Conditions See Attached
- Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	_____
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____	_____	_____
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	_____	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	_____
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____	_____	_____
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	_____
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	_____
	date	signature	

JAN 30 2008

ROBERT T. GREENLAW, PLS
Land Surveying

December 14, 2007

Barbara Barhydt
Development Review Services Manager
City of Portland
389 Congress Street
Portland, Maine 04101

RE: 251 Woodford Street, CBL 123-L-5-7

Dear Barbara;

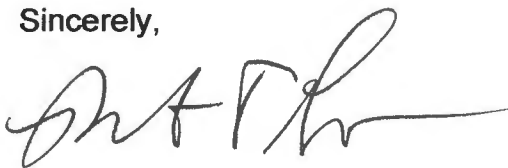
Please find the attached existing conditions plan of the above referenced property for your use.

We have located all the changes that have taken place to the property including the new driveway exit onto Woodford Street to the west side of the property. I hope this plan will assist you in issuing the appropriate permits for this project.

As you stated in your letter dated November 29, 2007 to Mr. Jagger, this is after the fact even though he had letters approving a curb cut.

Please contact me at my number below or new email address should you have any questions concerning this plan or project.

Sincerely,



Robert T. Greenlaw PLS

JAN 3 2008

Cc. Allan Jagger

General Delivery
Ocean Park, Maine 04063

207-749-9471

Oceanparkllc@gwi.net

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2007-0210

Date: 1/30/2008

This is an after-the-fact permit. The pavement and parking spaces have already been installed. Because pavement and a potential parking area is located 20 feet into the R-5 Zone area, the applicant must either show the extra pavement is removed or that full planters or some other approveable method for restricting parking is placed in this area. Currently the plan is unacceptable.

Section 14-344 does not allow a miscellaneous appeal for the B-1 parking use within the R-5 Zone. The applicant could (although it is not advised) attempt a full variance appeal to the Zoning Board of Appeals.

Marge Schmuckal
Zoning Administrator

one-half (1/2) parking spaces (out of the required one and one-half (1-1/2) parking spaces per dwelling unit) per dwelling unit with commercial uses located in the same building; and

2. It is clearly demonstrated that the joint parking arrangement will substantially meet the intent of the parking requirements by reason of a variation in the probable time of maximum use by patrons or employees of the commercial establishment and tenants of the residential dwelling units; and
3. Parties involved in the joint use of parking shall provide evidence of a binding agreement for the joint use of parking. Any subsequent modifications to the structure or change in the tenant occupancy of the commercial use(s) shall require review by the Zoning Administrator for conformance with this section.

Any decision by the Zoning Administrator on shared parking requests may be appealed to the Zoning Board of Appeals as an interpretive appeal pursuant to 14-471(a).
(Code 1968, § 602.14.L; Ord. No. 243-91, § 2, 3-11-91; Ord. No. 94-99, 11-15-99)

Sec. 14-344. Either the Board of appeals or the Planning Board may authorize parking in certain residence zones.

In R-3 through R-5 zones, the Board of Appeals may permit off-street parking for passenger cars only accessory to a use located in and conforming with the provisions of a nearby business or industrial zone (except B-1 zones) if the lot on which the use is proposed is located wholly within three hundred (300) feet, measured along lines of public access, of the principal building of the use to which the proposed use would be accessory and provided further that:

- (a) The lot where the parking use is proposed shall be under the control of the owner of the use to which the parking use would be accessory. Evidence of such control by deed or lease shall be required before the certificate of occupancy is issued. If such control should be abrogated, the parking use thus allowed shall automatically revert to a nonconforming use in violation of this article and

shall be terminated forthwith.

- (b) The Board of Appeals may impose such conditions as deemed necessary to insure development compatible with that of the immediate neighborhood notwithstanding the provisions of any other section of this article and may at its discretion limit the period of such use.
- (c) The Planning Board may be substituted for the Board of Appeals only where an applicant is otherwise before the Planning Board for site plan approval.

Whenever any exception to the parking requirements under this section has been finally denied on its merits by either the Zoning Board of Appeals or the Planning Board, a second request for an exception seeking essentially the same relief, whether or not in the same form or on the same theory, shall not be brought before either body within one (1) year of such denial unless, in the opinion of the board before which it was initially brought, substantial new evidence is available or a mistake of law or fact significantly affected the prior denial.

(Code 1968, § 602.14.M; Ord. No. 541-84, 5-7-84; Ord. No. 94-99, 11-15-99)

Sec. 14-345. Reserved.
Sec. 14-346. Reserved.
Sec. 14-347. Reserved.
Sec. 14-348. Reserved.
Sec. 14-349. Reserved.
Sec. 14-350. Reserved.

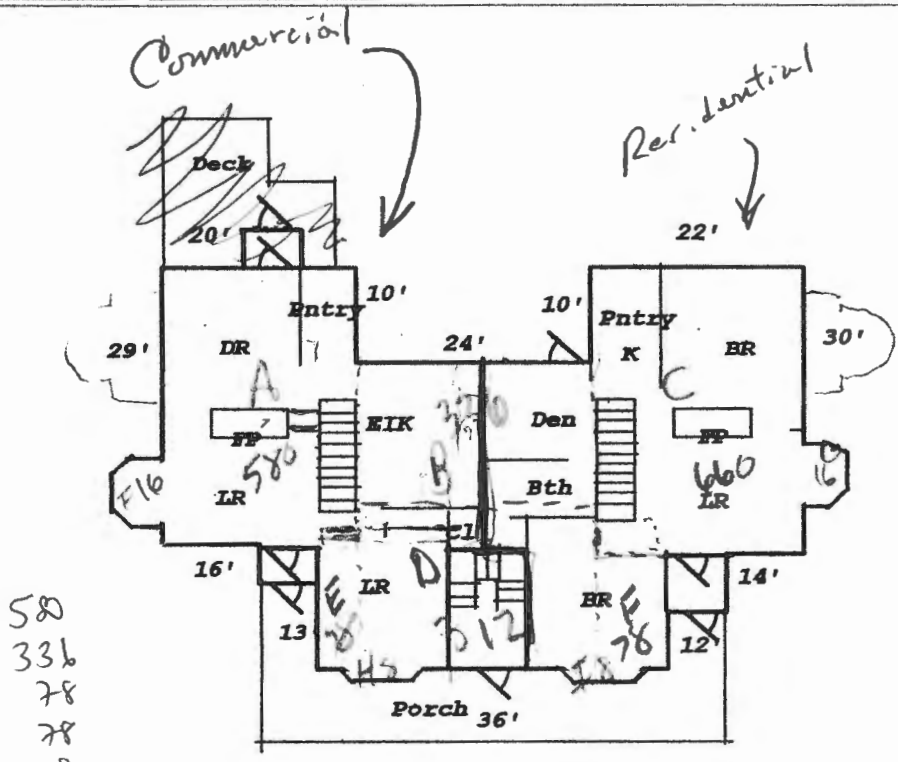
DIVISION 21. OFF-STREET LOADING

Sec. 14-351. Minimum loading bays or loading berths.

In those zones where off-street loading is required, the following minimum off-street loading bays or loading berths shall be provided and maintained in the case of new construction, alterations and change of use:

- (a) Office buildings and hotels with a gross floor area of more than one hundred thousand (100,000) square feet: One (1) bay.

existing Duplex ϕ = 1,720
 w/Attic expansion ϕ = 1,960

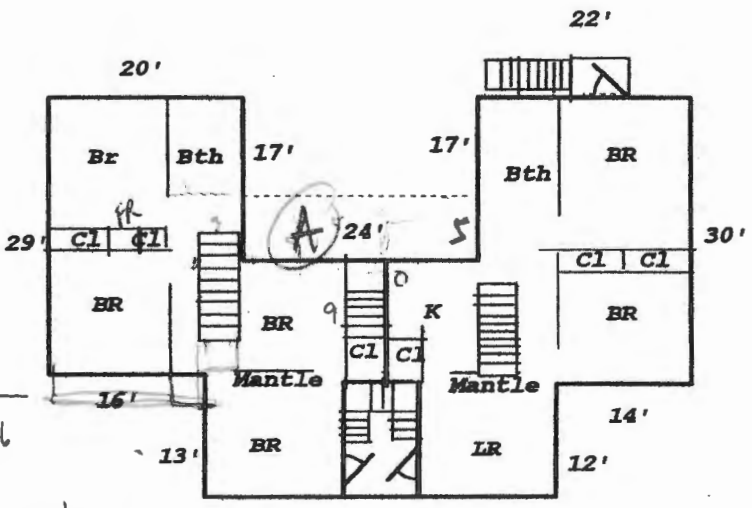


580
 336
 78
 78
 8

 1080

1st Floor ϕ
 A (580)
 B (336)
 C (660)
 D (78)
 E (78) ~~722~~
 F (16)
 G (16)
 H (8)

 (1780) ϕ



20x29 = 580
 23x12 = 276

 856

1628
 2160
 1840

 5628 299
 350
 331

 1,012,000

2nd Floor ϕ
 1780
 A - 120

 1660 ϕ

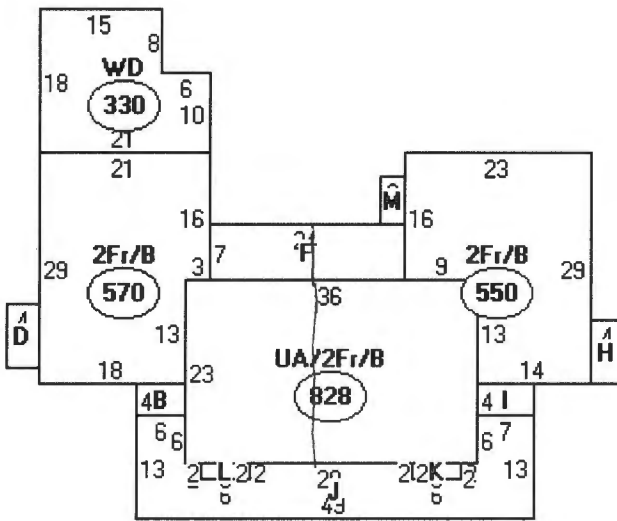
1936 total ϕ = 400
 4.84 = 5 parking spaces

Attic
 24x15 = 360

Summary:
 w/Attic Remo
 3920 ϕ

w/out
 3440

1720 ϕ Per Side



Descriptor/Area

- A: UA/2Fr/B
828 sqft
- B: EP
24 sqft
- C: 2Fr/B
570 sqft
- D: FBAY/B
32 sqft
- E: WD
330 sqft
- F: 1Fr/B
168 sqft
- G: 2Fr/B
550 sqft
- H: FBAY/B
32 sqft
- I: EP
28 sqft
- J: OFF
397 sqft
- K: 2FBAY
12 sqft

$$\begin{array}{r}
 570 \\
 7 \times 12 = 84 \\
 15 \times 23 = 345 \\
 \hline
 32 \\
 12 \\
 \hline
 1043
 \end{array}$$

PK

$$\begin{array}{r}
 20 \times 29 = 580 \\
 12 \times 23 = 276 \\
 \hline
 856
 \end{array}$$

$$\begin{array}{r}
 1043 \\
 856 \\
 \hline
 \end{array}$$





This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	123 L005001
Location	251 WOODFORD ST
Land Use	THREE FAMILY
Owner Address	JAGGER ALLAN D 40 O'BRION ST PORTLAND ME 04101
Book/Page	17194/218
Legal	123-L-5-7 WOODFORD ST 243-253 22161 SF

Current Assessed Valuation

Land	Building	Total
\$101,600	\$298,500	\$400,100

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1850	Old Style	2	4176	0.509	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
6	3	1	14	Unfin	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1900	20X22	C	F
SHED-METAL	1	1970	9X10	C	A

Sales Information

Date	Type	Price	Book/Page
01/11/2002	LAND + BLDING	\$301,500	17194-218
12/09/1997	LAND + BLDING		13488-161
04/02/1996	LAND + BLDING		12429-146
12/07/1994	LAND + BLDING	\$95,000	11741-240

Picture and Sketch

Picture Sketch Tax Map

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Lee Urban - Director of Planning and Development
Jeanie Bourke - Inspection Division Services Director

August 22, 2007

Allan D. Jagger
40 O'Brion Street
Portland, ME 04101

RE: Site Work at 251 Woodford Street, CBL#123-L- 5-7

Dear Mr. Jagger:

Please be advised that site work has been observed taking place on your property at 251 Woodford Street. In particular, a curb cut, driveway and parking area construction, and soil disturbance has occurred without an approved site plan.

This letter is a **STOP WORK ORDER** pursuant to Sections 14-523 and 14-528 of the Land Use Ordinance. All site work must stop immediately.

In order to come into compliance, you must gain site plan approval by the City.

Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code and in Title 30-A M.R.S.A. Ss 4452. Please call Phil Di Piero at 874-8632 to discuss this matter.

Sincerely,

Tammy Munson
Code Enforcement Officer/Plan Reviewer

cc: Lee Urban, Planning and Development Director
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jeanie Bourke, Inspection Services Manager
Penny Littell, Corporation Counsel

9/18/07 Gylant.
- major renovations
put by work order.



PORTLAND MAINE

Marge

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

November 29, 2007

Certified and Regular Mail

Mr. Allan Jagger
40 O'Brien Street
Portland, ME 04101

Re: 251 Woodford Street, CBL #123-L-5-7



Dear Mr. Jagger:

On Tuesday, November 20, 2007 you came to the Planning Office to discuss a stop work order that had been placed on your project on August 22, 2007. At that meeting, I made copies of the June 27, 2007 letter you received from the Department of Public Works and a photograph of the parking area behind the building at 251 Woodford Street. In addition, a second curb cut has been installed off Woodford Street to serve the parking lot. While you do have Mr. Bobinsky's letter stating the department would approve a curb cut, it does state you must apply for the appropriate permits. As you admitted, there is no street opening permit in the Public Works files issued.

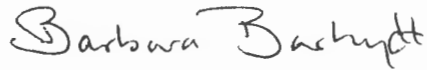
Based upon the review of your material and our records, it appears that you applied for a change of use for the property to include one dwelling unit and one professional office. The change of use permit was not issued due to stop work issued on August 22, 2007 regarding site work and a site plan application has not been submitted for the proposed parking lot and site work. New parking lots or the expansion of an existing parking lot requires site plan review under the City's Site Plan Ordinance. A change of use may also trigger review under the City's Land Use Code.

This letter is to inform you that you must submit an after the fact site plan application for the change of use and site modifications at 251 Woodford Street. The fee for an after the fact site plan review is \$1000 plus all applicable site plan fees, which appears to be an additional \$600 for this application. In addition, there is a surcharge fee for not obtaining a street opening permit, which must be paid to the Department of Public Works which is \$500.00. **All applicable fees and or penalty fees must be paid and the plan submitted by December 14, 2007.** The plan will be reviewed as a new application and all applicable standards of review under the City's Land Use Code shall apply. A copy of the site plan ordinance and an application are

included in this packet for your reference. If you choose not to submit the requisite material, the office will refer the matter to the City of Portland Corporation Counsel for legal action.

Please contact me if you have questions. Thank you for your prompt attention to this matter.

Sincerely,

A handwritten signature in cursive script that reads "Barbara Barhydt".

Barbara Barhydt
Development Review Services Manager

cc: Lee Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Penny Littell, Associate Corporation Counsel
Marge Schmuckal, Zoning Administrator
Michael Bobinsky, Director, Department of Public Works
Katharine A. Earley, P.E., Engineering Service Manager
Todd Merkle, Field Inspections Coordinator

RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

YEAR 19

YEAR 19

40050-605-1100/1000

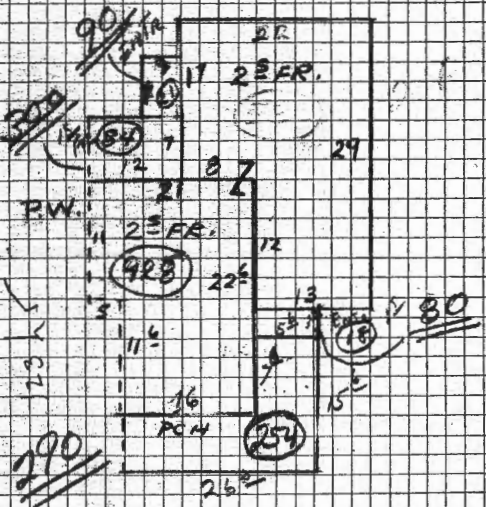
CONSTRUCTION

FOUNDATION		FLOOR CONST.		PLUMBING	
CONCRETE		WOOD JOIST		BATHROOM	2 ✓
CONCRETE BLOCK		STEEL JOIST		TOILET ROOM	✓
BRICK OR STONE	✓	MILL TYPE		WATER CLOSET	
PIERS		REIN. CONCRETE		LAVATORY	
CELLAR AREA FULL	✓	FLOOR FINISH		KITCHEN SINK	✓
1/4 1/2 3/4			B 1 2 3	STD. WAT. HEAT	
NO. CELLAR		CEMENT	✓	AUTO. WAT. HEAT	✓
EXTERIOR WALLS		EARTH		ELECT. WAT. SYST.	
CLAPBOARDS	✓	PINE	✓	LAUNDRY TUBS	✓
WIDE SIDING		HARDWOOD	✓✓	NO PLUMBING	
DROP SIDING		TERRAZZO		TILING	
NO SHEATHING		TILE		BATH FL. & WCOT.	
WOOD SHINGLES		ATTIC FLR. & STAIRS ✓		TOILET FL. & WCOT.	
ASBES. SHINGLES		INTERIOR FINISH		LIGHTING	
STUCCO ON FRAME			B 1 2 3	ELECTRIC	✓
STUCCO ON TILE		PINE	✓✓✓	NO LIGHTING	
BRICK VENEER		HARDWOOD		NO. OF ROOMS	
BRICK ON TILE		PLASTER	✓✓✓	BSMT.	2ND 4
SOLID BRICK		UNFINISHED		1ST	3RD 1
STONE VENEER		METAL CLG.		OCCUPANCY	
CONC. OR CIND. BL.		RECREAT. ROOM		SINGLE FAMILY	✓
TERRA COTTA		FINISHED ATTIC ✓		TWO FAMILY	
VITROLITE		FIREPLACE ✓		APARTMENT	
PLATE GLASS		HEATING		STORE	
INSULATION		PIPELESS FURNACE		THEATRE	
WEATHERSTRIP		HOT AIR FURNACE		HOTEL	
ROOFING		FORCED AIR FURN.		OFFICES	
ASPH. SHINGLES	✓	STEAM		WAREHOUSE	
WOOD SHINGLES		HOT WAT. OR VAPOR ✓		COMM. GARAGE	
ASBES. SHINGLES		NO HEATING		GAS STATION	
SLATE TILE		ECONOMIC CLASS		OVER BUILT	
METAL		GAS BURNER		UNDER BUILT	
COMPOSITION		OIL BURNER ✓		DT.	AR. MM
ROLL ROOFING		STOKER		LD.	PD.
INSULATION				MS.	CK.

*INFO FROM FORMER OWNER -
MAY SMALL*

COMPUTATIONS

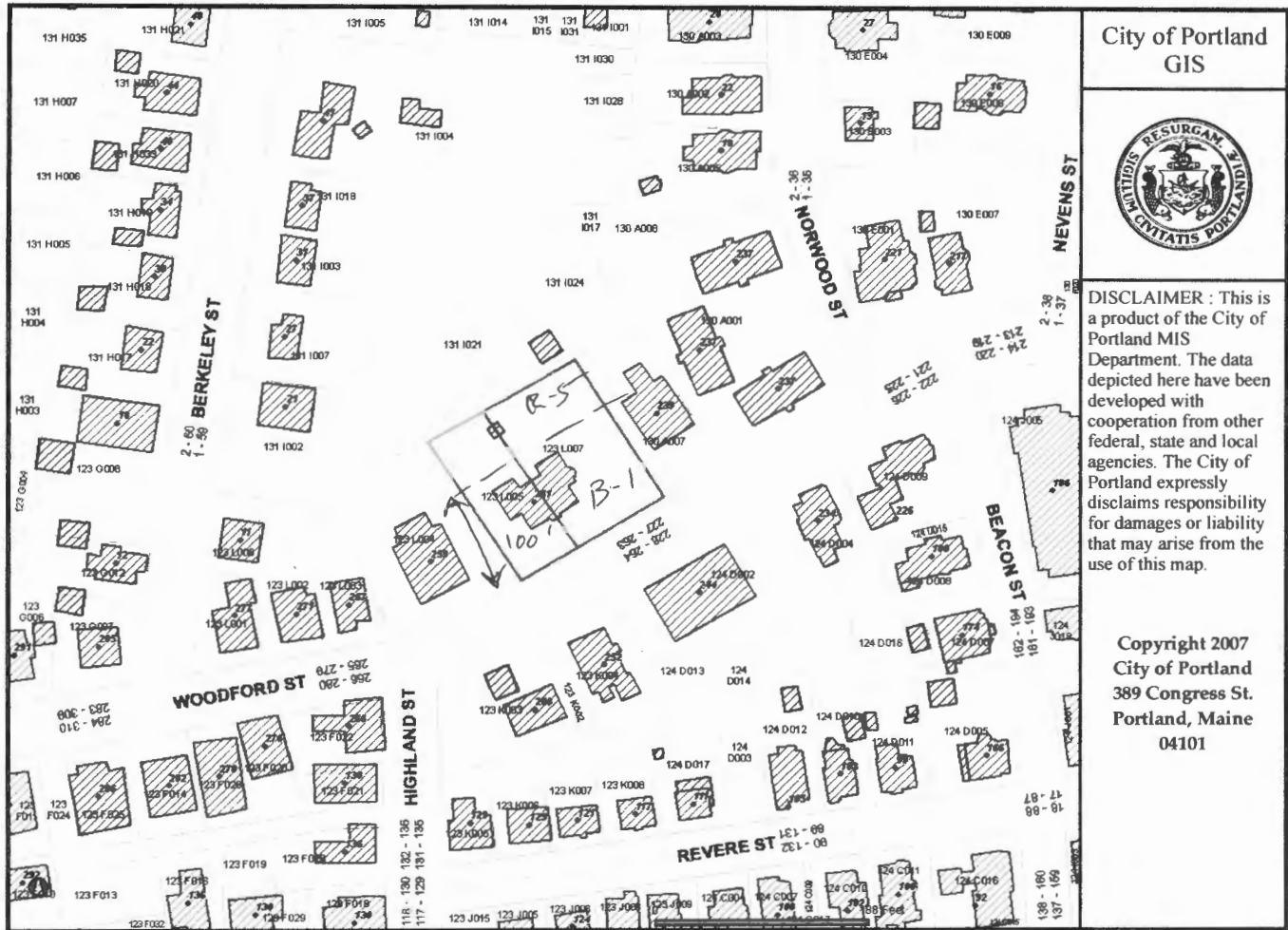
UNIT	1951	1954
928 S. F.	6540	6540
P.W.	-260	-760
ADDITIONS	+760	760
BASEMENT	+200	200
WALLS		
ROOF		
FLOORS		
ATTIC 1/4	+230	230
FINISH		
FIREPLACE	+160	250
HEATING	+345	340
PLUMBING	+330	+150
TILING		+330
TOTAL	8300 ✓	8570
FACT. +/D	670	+670
REP. VAL.	8970	9190



SUMMARY OF BUILDINGS

OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.	Y
DWG.	1 2 ⁵ FR.	B	100+		F-C	8970	50%	4490	11%	4040	2423	5
GAR.	2 CAR FR. 20x22	B	34+		F-C	300	50%	250	B	250	150	5
						9190	50	4600	10c	4140	2471	5
D									D			
E									E			
F									F			
	1954								G.			

YEAR	1951	1954	1951 TOTAL BLDGS.	19
TAX VAL.	2625	4390	1954-2625	19
OLD-VAL.	2575			19
CHANGE	+50			19



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

**BUILDING INSPECTION
PERMIT**

Permit Number: 071383

This is to certify that JAGGER ALLAN D
has permission to Change of use to one family and one professional office.

AT 251 WOODFORD ST CBL 123 L005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]

Health Dept. _____

Appeal Board _____

Other _____
Department Name

EXPIRED

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND, MAINE
Department of Building Inspections

11 7 2007

Received from Allan Jagger

Location of Work 247-251 Woodford

Cost of Construction \$ 090 75⁰⁰

Permit Fee \$ Charge of use 30

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 123 L005

Check #: 4435 Total Collected \$ 105⁰⁰

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

TEMPORARY & PERMANENT EROSION & SEDIMENT CONTROL

General

This plan has been developed to provide a strategy for dealing with soil erosion and sedimentation during and after the removal of the paved area outlined on sheet 2 of 3. This plan is based on the Standards and Specifications for Erosion Prevention as contained in the Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices (dated March 1991)

Construction Phases

In order to protect the soil, water, wetland, and wildlife resources of the area, only those areas necessary to remove the pavement, loam and reseed shall be disturbed.

The following measures shall be mandatory and the responsibility of the Contractor

1. Those areas undergoing actual construction will be left in an untreated or unvegetated condition for a maximum of 14 days from final grading of the loam.
2. Prior to clearing and grubbing the site, hay bales and/or filter fabric will be installed and staked across/ along points of concentration and/or grades in excess of 3 percent and at the inlets of all existing culverts and catch basins.
3. Prior to clearing and grubbing, filter fabric fencing or hay bale barriers will be staked across the slopes, on the contour, at or just below the limits of construction and/or just above any downslope adjacent property or wetland to protect against construction related erosion.
4. Stabilized construction entrances shall be constructed for ingress and egress from the project site prior to construction.
5. Check dams shall be placed in all drainage ditches not otherwise protected from erosion control measures.
6. All hay bale barriers and silt fencing shall be inspected, replaced, and/or repaired weekly, as well as immediately following any significant rainfall, or when sediment reaches 1/3 the barrier height.
7. When work is immediately adjacent to the existing wetland, the construction site must be stabilized prior to the end of the work day.
8. If final seeding of the disturbed areas is not completed by September 15th of the year of construction, then on that date these areas will be graded and smoothed, then seeded to a winter cover crop of Rye at the rate of 112 lbs/acre or 3 lbs/1,000 square feet and mulched at a rate of 70lbs./1000 square feet. The rye seeding will proceed by an application of 3 tons of lime and 1000lbs. of 10-10-10 fertilizer per acre, or its equivalent. If the rye seeding does not make adequate growth to prove at least 75% vegetative cover by November 15th, then on that date, a temporary mulch of hay will be applied to the area at a rate of 150lbs./1000 square feet. Areas stabilized with rye and mulch will be tilled and reseeded using the vegetation plan for permanent seeding the following spring. Final vegetation of the site shall not be considered complete until each disturbed area not to be paved or treated with riprap has a vegetative cover over at least 90% of its surface.
9. During the construction phase, intercepted sediment will be returned to the site and regraded onto open areas. The disposal of post seeding sediment, if any shall, be the responsibility of the Contractor.
11. Temporary mulch will be applied to all exposed soil surfaces within seven (7) days or prior to any storm event.

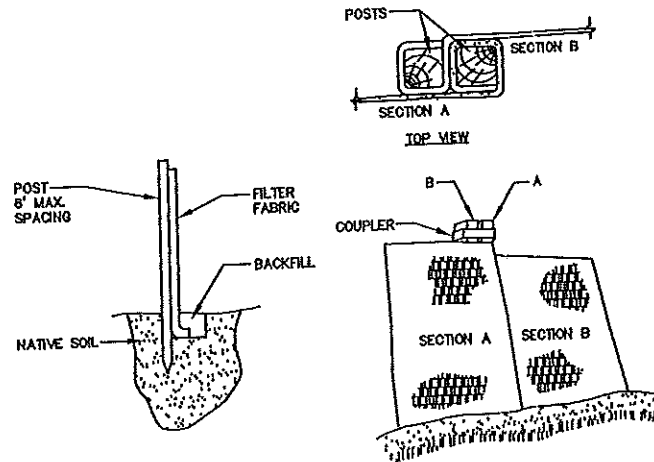
Vegetation Plan

Revegetation measures will commence immediately upon completion of construction except as noted under Paragraph 9 above. All disturbed areas not otherwise stabilized will be graded, smoothed, and prepared for final seeding as follows:

1. Four inches of loam will be spread over disturbed areas and smoothed to a uniform surface.
2. In lieu of soil tests, agricultural limestone will be spread at the rate of three tons per acre. 10-20-20 fertilizer will follow at a rate of 800 lbs per acre. These two soil amendments will be incorporated into the soil prior to installing plantings.
3. Following seed bed preparation, the landscaped areas shall be seeded with a mixture of Kentucky Bluegrass, Creeping Red Fescue and Perennial Ryegrass as specified table 3.2 of the Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices Cumberland County SWCD.
4. All areas designated for seeding (i.e. side slopes, embankments, swales, etc.) shall be covered with a "bonded fiber matrix" such as Weyerhaeuser SOIL GUARD or an approved equivalent. Bonded Fiber Matrix shall be spray-applied at a rate of 3000-4000 lb/acre, utilizing standard hydraulic seeding equipment in successive layers as to achieve 100% coverage of all exposed soil. The Bonded Fiber Matrix shall not be applied immediately before, during or immediately after rainfall, such that the matrix will have opportunity to dry for 24 hours after installation. Agricultural limestone, fertilizer and grass seed (Road-side Mixture Number 2 as specified in MDOT 717.03) can be all be mixed together with the SOIL GUARD and hydraulically applied as part of the same application.
5. All hay bales, filter fabric barriers and stone check dams will remain in place until seedlings have become 75% established and then removed within 10 days.

Monitoring

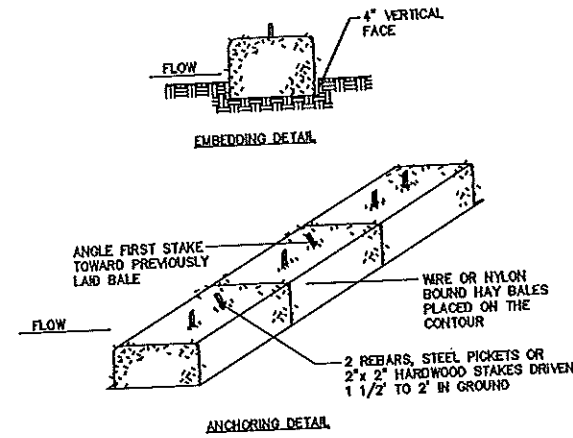
Maintenance measures will be applied as needed during the entire construction cycle. Weekly and after each rainfall, a visual inspection will be made of all installed erosion control measures and repairs will be made as needed to insure their continuing function as designed. Following the final seedings, the site will be inspected every fifteen days until the seedlings have been established. Established means a minimum of 75% of area vegetated with vigorous growth. Reseeding will be carried out, with follow up inspections, in the event of any failures. All erosion control measures will be removed within 10 days when vegetation is adequately established.



INSTALLATION:

1. EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM. JOIN SECTIONS AS SHOWN ABOVE.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
5. BARRIER SHALL BE MIRAFI SILT FENCE OR APPROVED EQUAL.

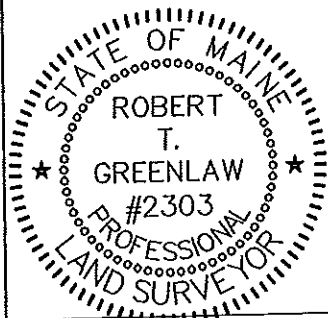
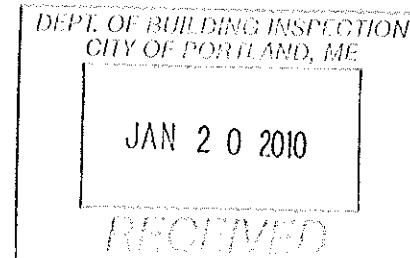
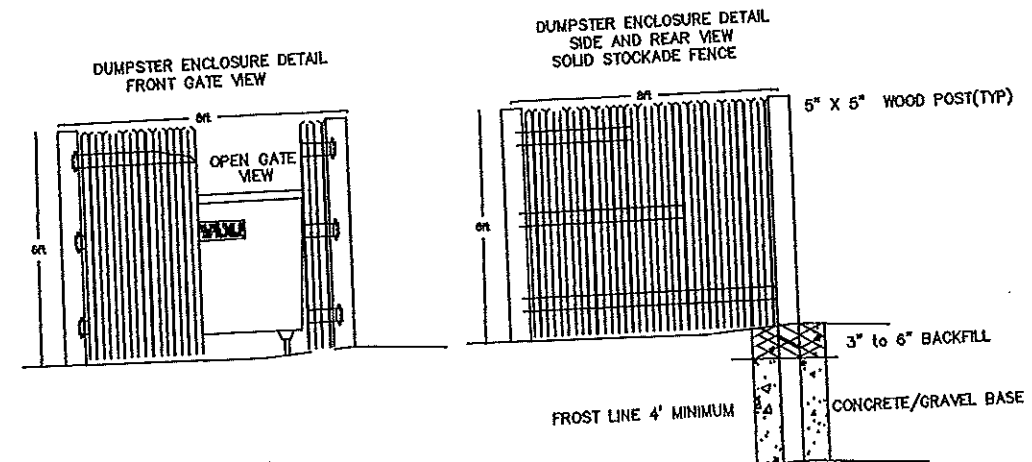
FILTER BARRIER
NOT TO SCALE



NOTES:

1. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR REBARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS DIRECTED BY PROJECT ENGINEER.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

HAY BALE SEDIMENT BARRIER
NOT TO SCALE

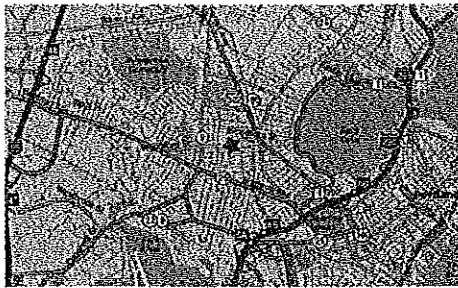


DETAIL SHEET
 247, 249 & 251 WOODFORD STREET, PORTLAND, MAINE
 For: ALLAN JAGGER

07001.DWG

3 OF 3

By:
 OCEAN PARK LAND SURVEYING LLC
 P.O. BOX 7285
 OCEAN PARK MAINE 04063
 207-748-8471
 Oceanparkllc@out.net



N/F
KAREN M. BUCKINGHAM
BOOK 4688, PAGE 177

N/F
MICHAEL F. PRUYN
CHRISTINE S. ANGELL
BOOK 20715, PAGE 211

N/F
259 WOODFORD STREET LLC
BOOK 20663, PAGE 094

N/F
JEANETTE M. DILLIHUNT
RICHARD C. DILLIHUNT
FORMERLY PAUL E. MERRILL

N/F
WOODFORD'S LLC
BOOK 19723, PAGE 294

CERTIFICATE
I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:
a) NO WRITTEN REPORT
b) NO NEW DESCRIPTION
c) NO NEW CORNERS WERE SET
ROBERT T. GREENLAW, P.L.S.
PROFESSIONAL LAND SURVEYOR
DATE: DEC 27, 2007

0' 40' 80' 120'

1. RECORD OWNER OF PARCEL: ALLAN JAGGER, DESCRIBED IN BOOK 17194, PAGE 218 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. a.) BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF SURVEY, REFERENCE 4b BELOW, AND THIS SURVEY INFORMATION OBTAINED UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 3 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR.
2. b.) ELEVATIONS ARE BASED UPON A STANDARD SURVEY DISK FOUND FLUSH WITH THE FACE OF THE ODD FELLOWS BUILDING LOCATED IN WOODFORD CORNER PORTLAND, SAID DISK NAMED RM-28 ON THE BELOW REFERENCED FLOOD MAP IS REPORTED TO HAVE AN ELEVATION VALUE OF 56.00 FT. N.G.V.D. 1929.
3. THIS SURVEY SHOWS THE CURRENT CONDITIONS OF THE SUBJECT PARCEL AS LOCATED ON THE DATE OF THIS SURVEY.
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) CITY OF PORTLAND ASSESSORS PLAN NO. 123, BLOCK L, LOTS 5 & 7 AND PLAN NO. 131, BLOCK I, LOT 21.
b.) STREET LINE SHEETS OF WOODFORD STREET SUPPLIED BY THE PUBLIC WORKS DEPARTMENT.
5. AREA OF SUBJECT PARCEL: 39,670 SQ. FT.
a.) LOT COVERAGE: BUILDINGS, DRIVES AND PARKING = 14901.7 SQUARE FEET OR 38% OF LOT.
6. THERE WERE NO RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY.
ZONE: R-5 RESIDENTIAL ZONE AND B-1 NEIGHBORHOOD BUSINESS
SEE THE CITY OF PORTLAND WEB SITE FOR SPECIFIC ZONING RESTRICTIONS FOR EACH ZONE.

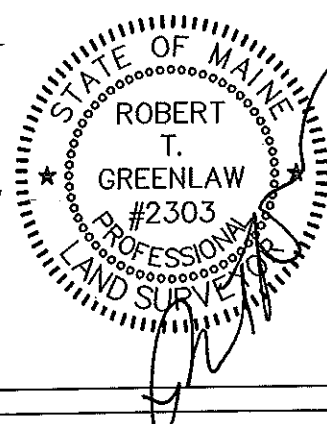
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'C' OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 13B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

PARKING: 13 ONSITE 9-FOOT BY 19-FOOT SPACES

LEGEND

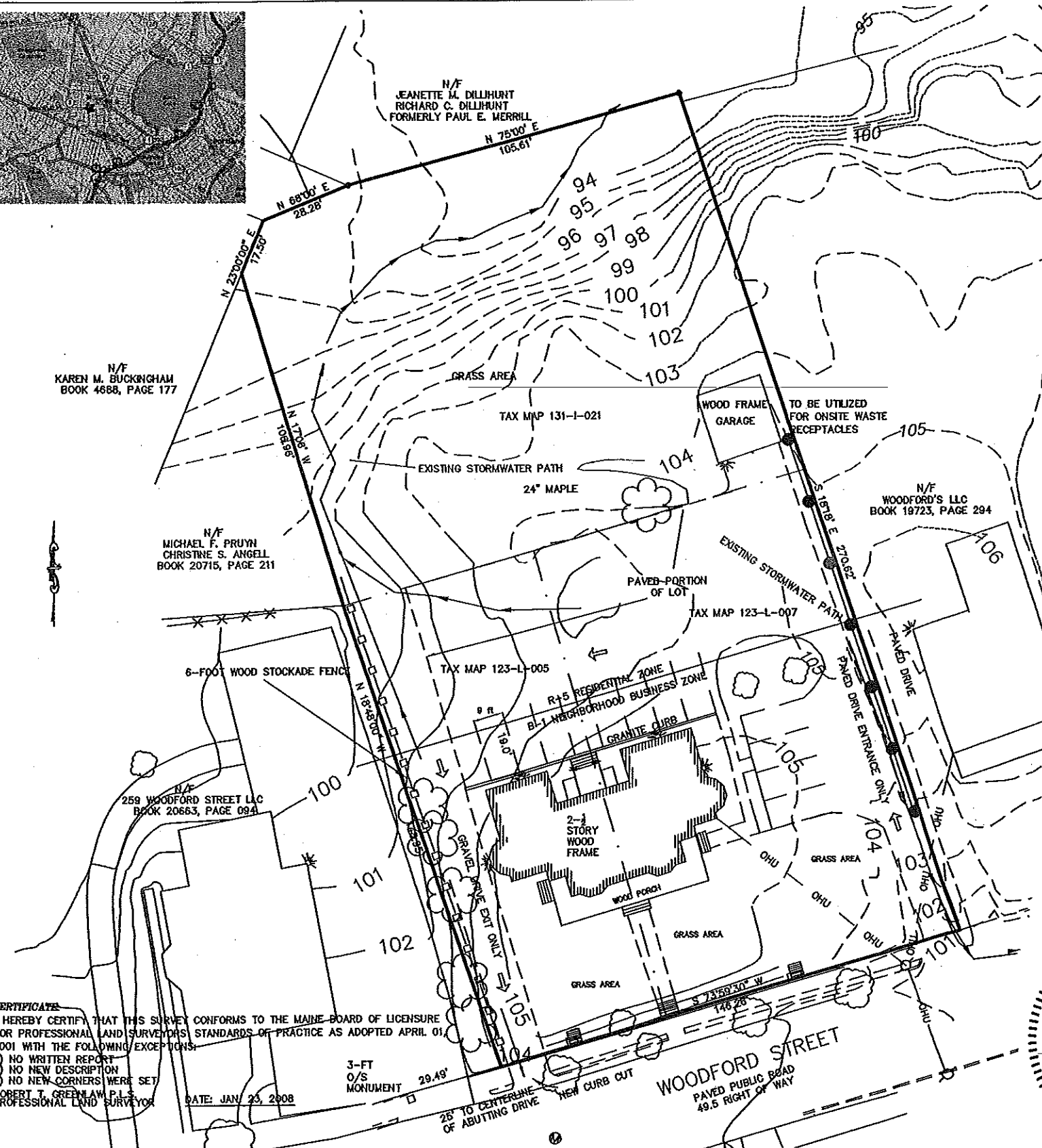
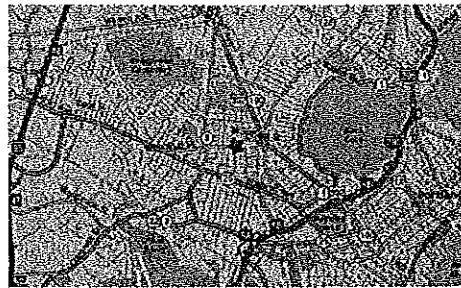
- 3' Offset Monument Found
- ⊙ 5/8" Rebar Found
- 12345/99 Deed Book/Page of Local Registry
- N/F Now Or Formerly
- Z- Indicates Ownership in Common
- Old Lot Line
- Abutter Line
- Property Line
- Street Line
- ⊙ Wall Pack Light Fixture/Porch Light
- 100- Contour Interval
- Direction of Stormwater Runoff
- Existing Chainlink fence with Maple Tree Hedge
- Direction of Traffic

RECEIVED
JAN 30 2008
CITY OF PORTLAND, ME



2ND REVISION 01-25-08: CHANGED PARKING, ADDED LIGHTING PLAN AND STORMWATER PLAN.

SITE PLAN		
247, 249 & 251 WOODFORD STREET, PORTLAND, MAINE		
FOR: ALLAN JAGGER		
DRAWN RTG	DATE 12/12/07	By: ROBERT T. GREENLAW, PLS GENERAL DELIVERY OCEAN PARK, MAINE 04068 207-749-9471 Oceanparkllc@gsur.net
APPROVED MMB	DATE 12/12/07	
SCALE 1" = 40'	SHEET 1 OF 3	PROJECT NO. 07001.DWG



1. RECORD OWNER OF PARCEL: ALLAN JAGGER, DESCRIBED IN BOOK 17194, PAGE 21B AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
 2. NO CHANGES TO THE STORMWATER PATTERNS WERE MADE OR ARE PLANNED TO THE SUBJECT PARCEL. SHEETFLOW METHODS CARRY THE STORMWATER ACROSS THE PARKING LOT TO AN EXISTING DRAINAGE SWALE. THIS REPLICATES THE FLOW THAT EXISTED IN THE GRAVEL PARKING LOT THAT WAS IN PLACE PRIOR TO PAVING. EACH DRIVEWAY CARRIES ITS STORMFLOW VIA SHEETFLOW TO THE SIDE OF WOODFORD STREET WHERE IT IS CARRIED TO THE CITY OF PORTLAND STORMWATER SYSTEM. NO ADDITIONAL STORMWATER IS BEING PRODUCED FROM THIS SITE DO TO THE PAVING OF THE REAR PARKING LOT.
 3. AREA OF SUBJECT PARCEL: 39,670 SQ. FT.
 4. THERE WERE NO RESTRICTIONS BURDENING OR BENEFITTING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY.
- ZONE: R-5 RESIDENTIAL ZONE AND B-1 NEIGHBORHOOD BUSINESS
SEE THE CITY OF PORTLAND WEB SITE FOR SPECIFIC ZONING RESTRICTIONS FOR EACH ZONE.

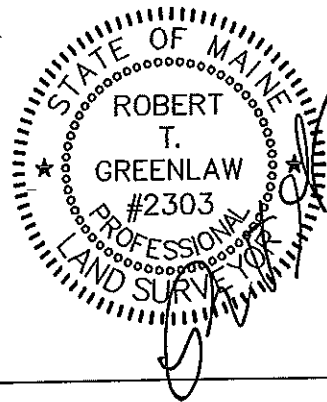
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'C' OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 13B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1988, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

- LEGEND**
- 3' Offset Monument Found
 - ⊙ 5/8" Rebar Found
 - 12345/99 Deed Book/Page of Local Registry
 - N/F Now Or Formerly
 - Z— Indicates Ownership in Common
 - Old Lot Line
 - Abutter Line
 - Property Line
 - Street Line
 - ☀ Wall Pack Light Fixture/Porch Light
 - Contour Interval

DEPT. OF PUBLIC WORKS
CITY OF PORTLAND
JAN 30 2008
RECEIVED



CERTIFICATE
I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE AS ADOPTED APRIL 01 2001 WITH THE FOLLOWING EXCEPTIONS:
a) NO WRITTEN REPORT
b) NO NEW DESCRIPTION
c) NO NEW CORNERS WERE SET
ROBERT T. GREENLAW, P.L.S.
PROFESSIONAL LAND SURVEYOR
DATE: JAN 23, 2008



REVISED 12-27-07: ADDRESSED STORMWATER AND WASTE RECEPTILES.


EXISTING CONDITIONS STORMWATER PLAN		
247, 249 & 251 WOODFORD STREET, PORTLAND, MAINE		
FOR: ALLAN JAGGER		
DRAWN RTG	DATE 12/12/07	By: ROBERT T. GREENLAW, PLS
APPROVED MMB	DATE 01/23/08	GENERAL DELIVERY OCEAN PARK, MAINE 04063 207-748-9471 Oceanparkllc@gwv.net
SCALE 1" = 40'	SHEET 2 OF 3	PROJECT NO. 07001.DWG



1. LUMEN VALUES ARE BASED UPON CUT SHEETS AND "IES" FILES SUPPLIED BY THE MANUFACTURES OF THE SPECIFIC LIGHTING FIXTURES. THE SUBJECT PARCEL IS UTILIZING WALLPACK FULL CUT-OFF FIXTURES MANUFACTURED BY RAB LIGHTING INC. A 100 WATT BULB WAS USED FOR THE PLAN WITH A HEIGHT OF 10-FEET ABOVE THE GROUND. THE NEIGHBORS LIGHTS ARE SHOWN AT A HEIGHT OF 20 FEET ABOVE THE GROUND.

DEPT. OF PUBLIC WORKS
CITY OF PORTLAND, MAINE
JAN 30 2008

LEGEND

-  Wall Pack Light Fixture/Porch Light or Neighbor Street Light
- 0.0 Lumen Value at Ground Level From Subject Parcel
- 0.1 Lumen Value at Ground Level From Neighbor



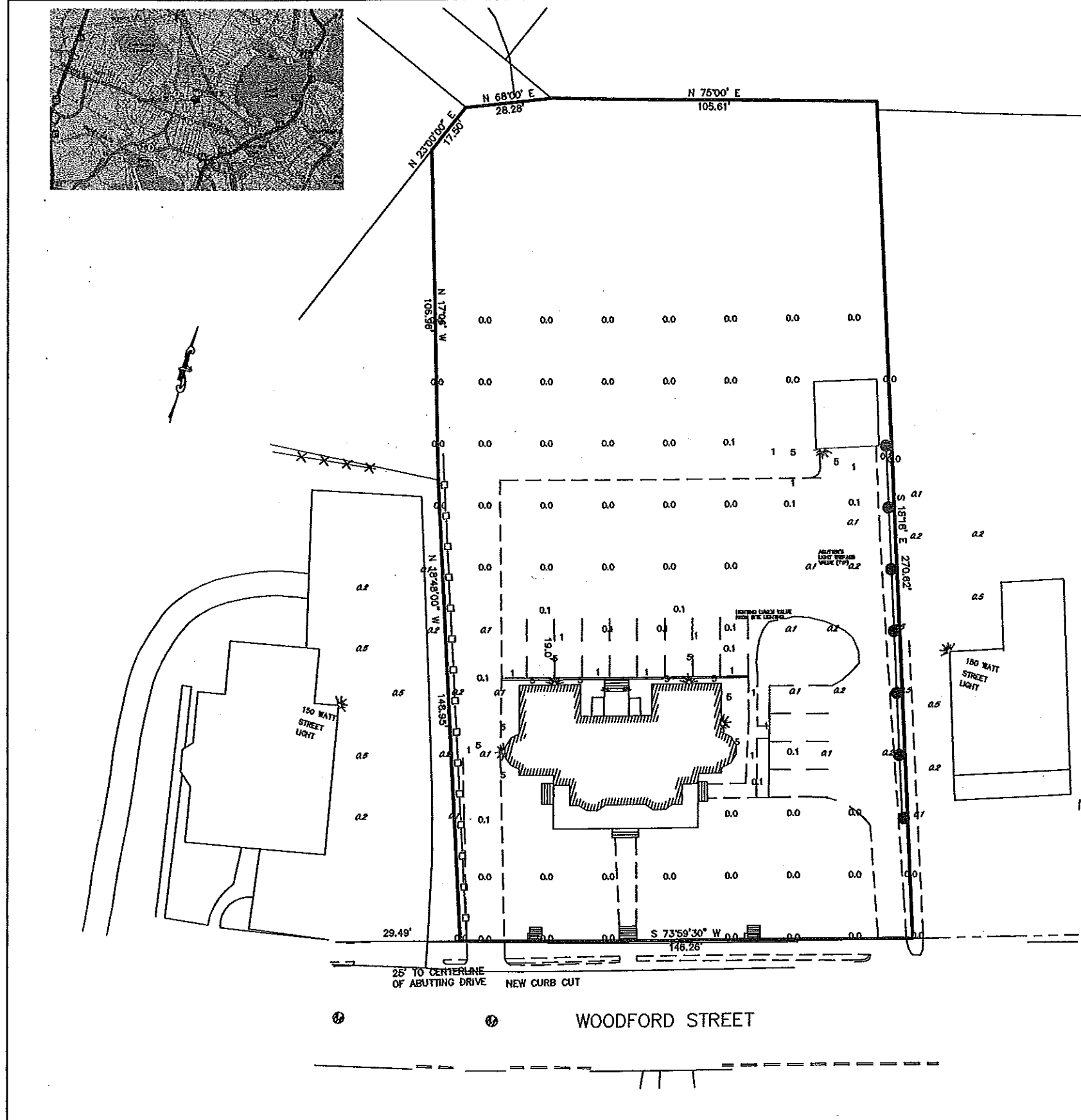
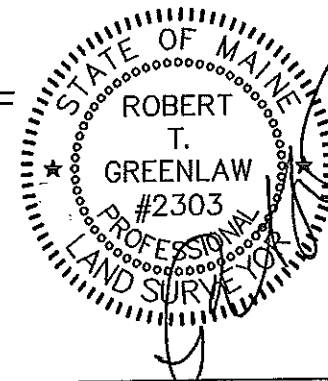
REVISED 12-27-07: ADDRESSED STORMWATER AND WASTE RECEPTACLES.

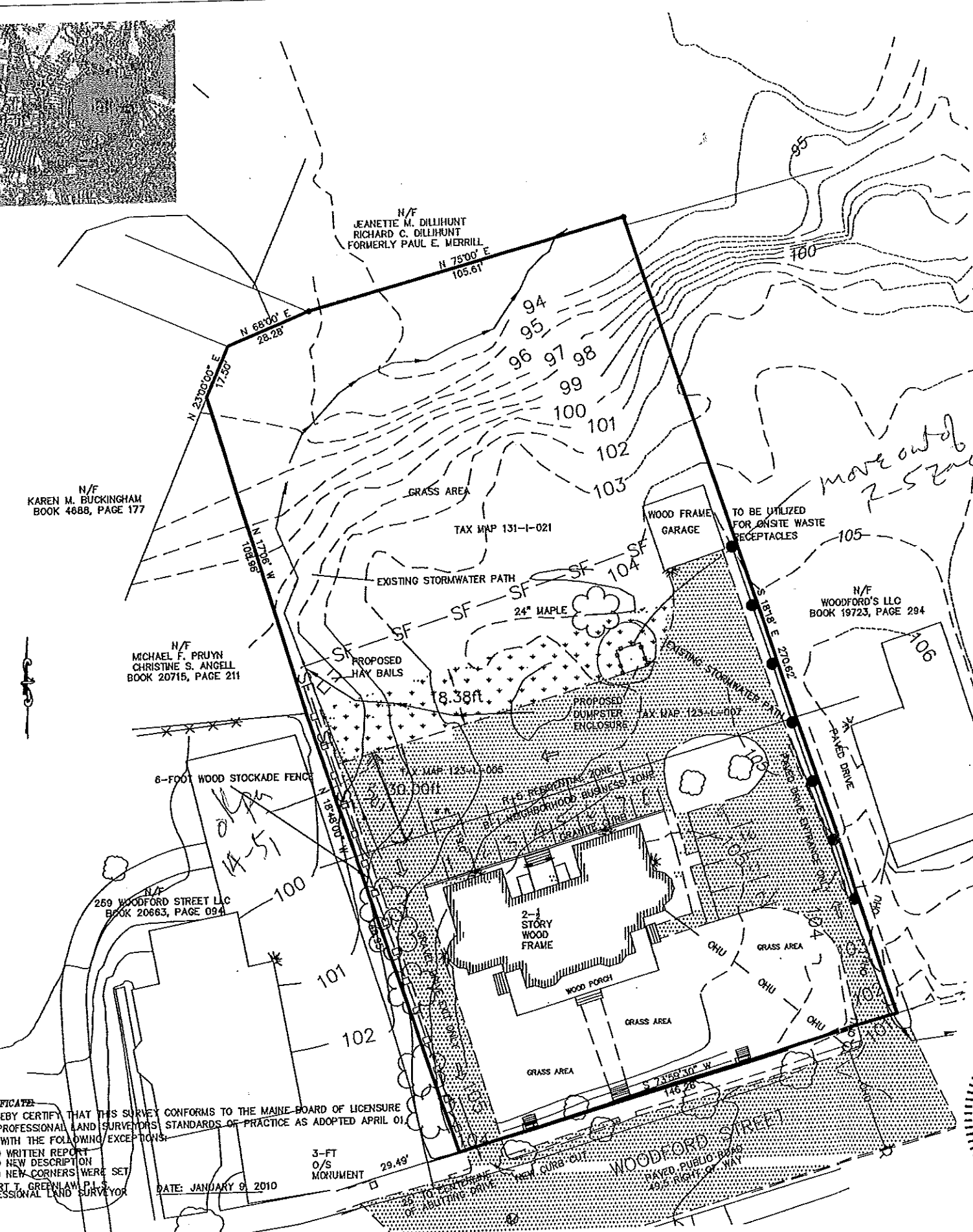
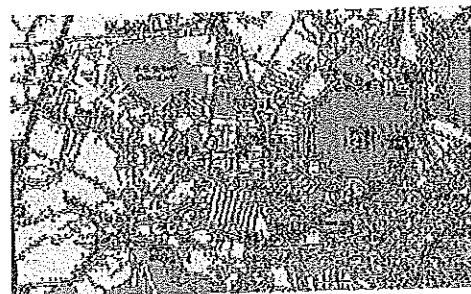
LIGHTING PLAN SHOWING EXISTING LIGHTS

247, 249 & 251 WOODFORD STREET, PORTLAND, MAINE

For: ALLAN JAGGER

DRAWN RTG	DATE 12/12/07	By: ROBERT T. GREENLAW, PLS GENERAL DELIVERY OCEAN PARK, MAINE 04063 207-749-9471 oceanparkllc@rwl.net
APPROVED MMB	DATE 01/23/08	
SCALE 1" = 40'	SHEET 3 OF 3	PROJECT NO. 07001.DWG





1. RECORD OWNER OF PARCEL: ALLAN JAGGER, DESCRIBED IN BOOK 17194, PAGE 218 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
 2. a.) BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF SURVEY, REFERENCE 4b BELOW, AND THIS SURVEY INFORMATION OBTAINED UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 3 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR.
 2. b.) ELEVATIONS ARE BASED UPON A STANDARD SURVEY DISK FOUND FLUSH WITH THE FACE OF THE ODD FELLOWS BUILDING LOCATED IN WOODFORD CORNER PORTLAND, SAID DISK NAMED RM-28 ON THE BELOW REFERENCED FLOOD MAP IS REPORTED TO HAVE AN ELEVATION VALUE OF 58.00 FT. N.G.V.D. 1929.
 3. THIS SURVEY SHOWS THE CURRENT CONDITIONS OF THE SUBJECT PARCEL AS LOCATED ON THE DATE OF THIS SURVEY.
 4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a.) CITY OF PORTLAND ASSESSORS PLAN NO. 123, BLOCK L, LOTS 5 & 7 AND PLAN NO. 131, BLOCK I, LOT 21.
 - b.) STREET LINE SHEETS OF WOODFORD STREET SUPPLIED BY THE PUBLIC WORKS DEPARTMENT.
 5. AREA OF SUBJECT PARCEL: 39,670 SQ. FT.
 - a.) EXISTING LOT COVERAGE: BUILDINGS, DRIVES AND PARKING = 14901.7 SQUARE FEET OR 38% OF LOT.
 - b.) PROPOSED LOT COVERAGE WITH THE REMOVAL OF A PORTION OF THE PAVEMENT: 12821.7 OR 32%
 6. THERE WERE NO RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF OF THIS SURVEY.
 7. PRESERVE THE PAVEMENT IN THE AREA OF THE DUMPSTER ENCLOSURE TO SERVE AS A PAD FOR THE DUMPSTER.
- ZONE: R-5 RESIDENTIAL ZONE AND B-1 NEIGHBORHOOD BUSINESS
SEE THE CITY OF PORTLAND WEB SITE FOR SPECIFIC ZONING RESTRICTIONS FOR EACH ZONE.

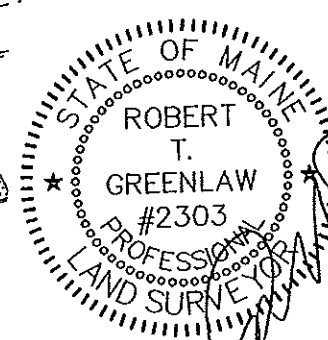
BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'C' OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 138, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

PARKING: 13 ONSITE 9-FOOT BY 19-FOOT SPACES, INCLUDES ONE SPACE IN THE GARAGE.

LEGEND

- 3' Offset Monument Found
- ⊙ 5/8" Rebar Found
- 12345/99 Deed Book/Page of Local Registry
- N/F Now Or Formerly
- Z- Indicates Ownership in Common
- Old Lot Line
- Abutter Line
- Property Line
- Street Line
- ⊙ Wall Pack Light Fixture/Porch Light
- 100- Contour Interval
- Direction of Stormwater Runoff
- Existing Chainlink fence with Maple Tree Hedge
- ⇒ Direction of Traffic
- SF- Silt Fence or Erosion Control Mix
- AREA OF PAVEMENT REMOVAL, LOAM AND SEED, SEE DETAIL SHEET.

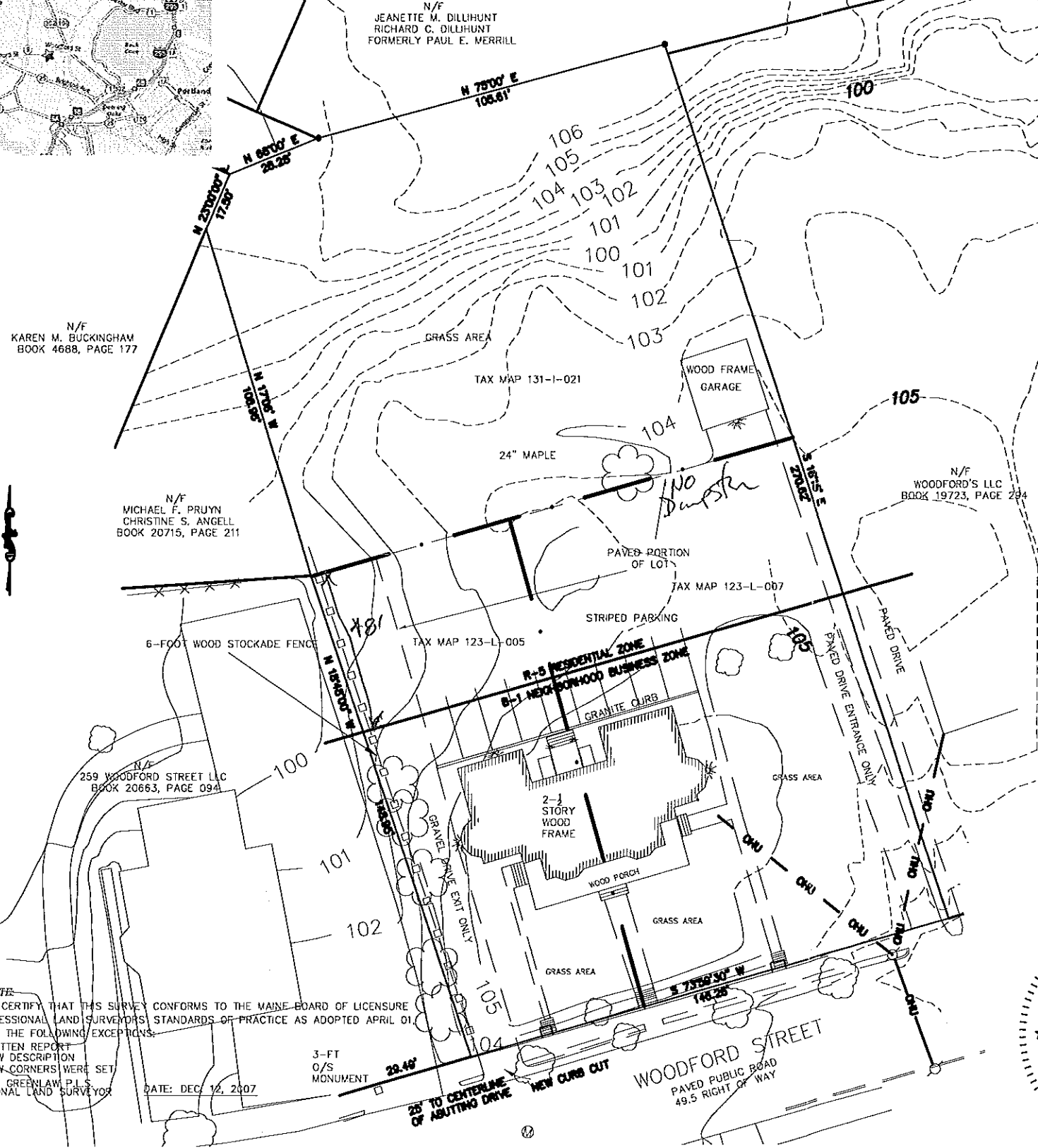
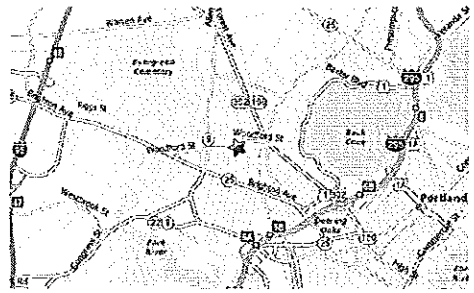
CERTIFICATE
I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:
a) NO WRITTEN REPORT
b) NO NEW DESCRIPTION
c) NO NEW CORNERS WERE SET
ROBERT T. GREENLAW, P.L.S.
PROFESSIONAL LAND SURVEYOR
DATE: JANUARY 9, 2010



3RD REVISION 01-11-09: ADDED AREA OF PAVEMENT TO BE REMOVED & EDIT TO NOTES.
END REVISION 01-25-08: CHANGED PARKING, ADDED LIGHTING PLAN AND STORMWATER PLAN.

SITE PLAN		
247, 249 & 251 WOODFORD STREET, PORTLAND, MAINE		
FOR: ALLAN JAGGER		
DRAWN RTG	DATE 12/12/07	By: OCEAN PARK LAND SURVEYING LLC P.O. BOX 7266 OCEAN PARK, MAINE 04063 207-749-9471 Oceanparkllc@gnv1.net
APPROVED MMB	DATE 12/12/07	
SCALE 1" = 40'	SHEET 2 OF 3	PROJECT NO. 07001.DWG

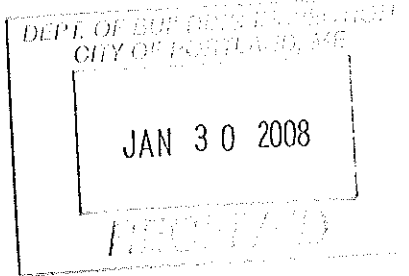
MAY 20 2010
1/20/10



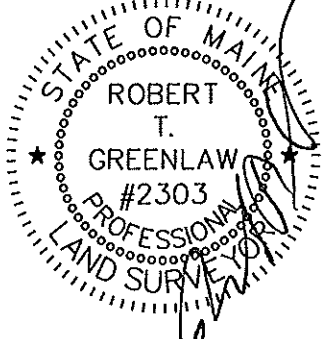
1. RECORD OWNER OF PARCEL: ALLAN JAGGER, DESCRIBED IN BOOK 17194, PAGE 218 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
 2. a.) BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF SURVEY, REFERENCE 4b BELOW, AND THIS SURVEY INFORMATION OBTAINED UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 3 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR.
 2. b.) ELEVATIONS ARE BASED UPON A STANDARD SURVEY DISK FOUND FLUSH WITH THE FACE OF THE ODD FELLOWS BUILDING LOCATED IN WOODFORD CORNER PORTLAND, SAID DISK NAMED RM-28 ON THE BELOW REFERENCED FLOOD MAP IS REPORTED TO HAVE AN ELEVATION VALUE OF 56.00 FT. N.G.V.D. 1929.
 3. THIS SURVEY SHOWS THE CURRENT CONDITIONS OF THE SUBJECT PARCEL AS LOCATED ON THE DATE OF THIS SURVEY.
 4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a.) CITY OF PORTLAND ASSESSORS PLAN NO. 123, BLOCK L, LOTS 5 & 7 AND PLAN NO. 131, BLOCK I, LOT 21.
 - b.) STREET LINE SHEETS OF WOODFORD STREET SUPPLIED BY THE PUBLIC WORKS DEPARTMENT.
 5. AREA OF SUBJECT PARCEL: 39,670 SQ. FT.
 6. THERE WERE NO RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF OF THIS SURVEY.
- ZONE: R-5 RESIDENTIAL ZONE AND B-1 NEIGHBORHOOD BUSINESS
SEE THE CITY OF PORTLAND WEB SITE FOR SPECIFIC ZONING RESTRICTIONS FOR EACH ZONE.

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'C' OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 13B, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

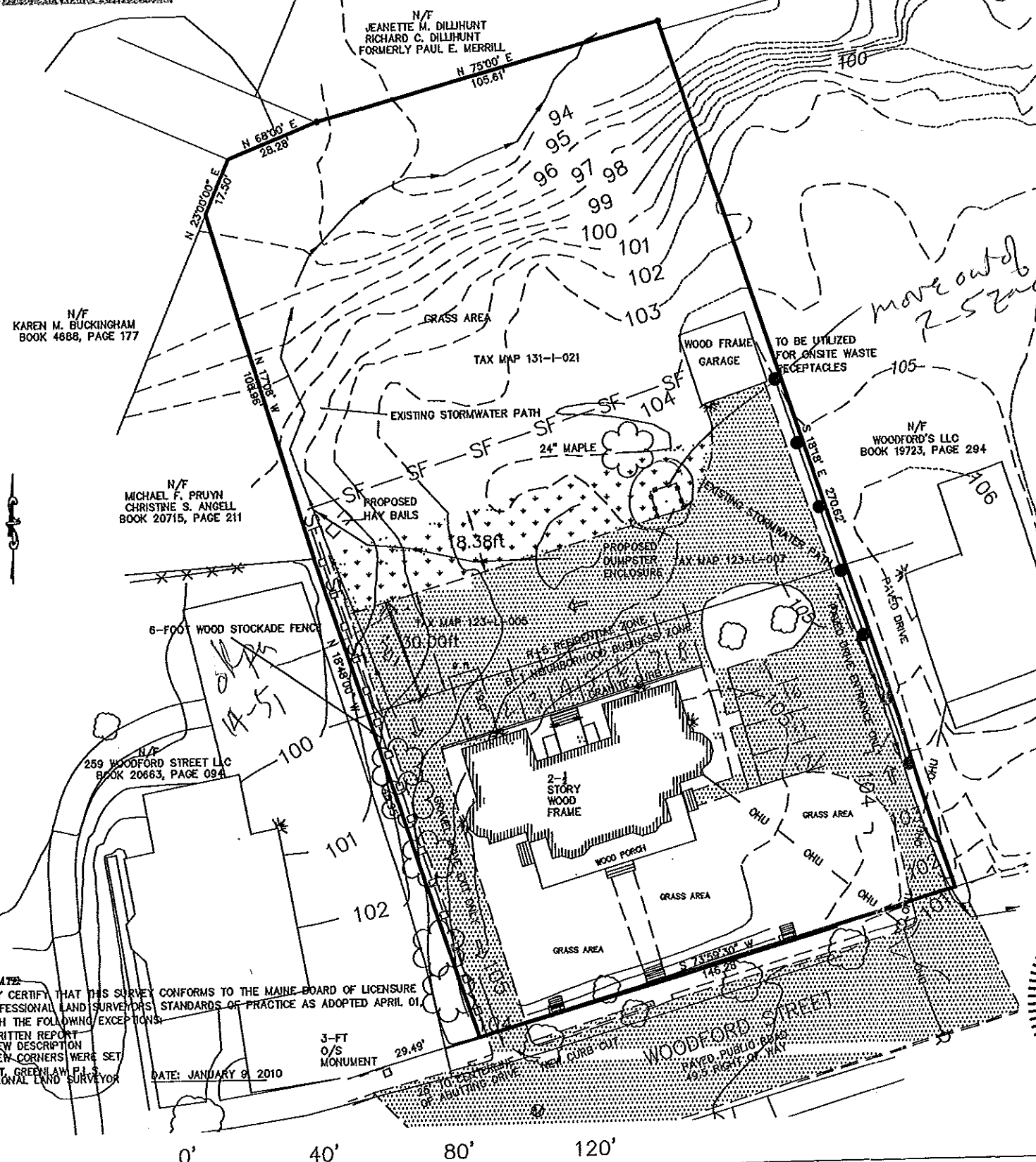
- LEGEND**
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 - Z — Indicates Ownership in Common
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 - Abutter Line
 - Property Line
 - Street Line
 - ☀ Wall Pack Light Fixture/Porch Light
 - 100- Contour Interval



CERTIFICATE
I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:
a) NO WRITTEN REPORT
b) NO NEW DESCRIPTION
c) NO NEW CORNERS WERE SET
ROBERT T. GREENLAW, P.L.S.
PROFESSIONAL LAND SURVEYOR
DATE: DEC 12, 2007



EXISTING CONDITIONS PLAN 247, 249 & 251 WOODFORD STREET, PORTLAND, MAINE For: ALLAN JAGGER		
DRAWN RTG	DATE 12/12/07	By: ROBERT T. GREENLAW, PLS GENERAL DELIVERY OCEAN PARK, MAINE 04063 207-749-9471 Oceanparkllc@gw.net
APPROVED MMB	DATE 12/12/07	
SCALE 1" = 40'	SHEET 1 OF 1	PROJECT NO. 07001.DWG



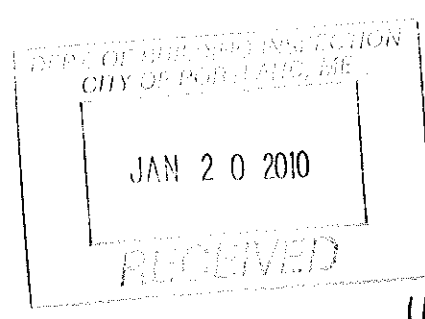
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 a.) EXISTING LOT COVERAGE: BUILDINGS, DRIVES AND PARKING = 14901.7 SQUARE FEET OR 38% OF LOT.
 PROPOSED LOT COVERAGE WITH THE REMOVAL OF A PORTION OF THE PAVEMENT: 12821.7 OR 32%
 6. THERE WERE NO RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF OF THIS SURVEY.
 7. PRESERVE THE PAVEMENT IN THE AREA OF THE DUMPSTER ENCLOSURE TO SERVE AS A PAD FOR THE DUMPSTER.
- ZONE: R-5 RESIDENTIAL ZONE AND B-1 NEIGHBORHOOD BUSINESS
SEE THE CITY OF PORTLAND WEB SITE FOR SPECIFIC ZONING RESTRICTIONS FOR EACH ZONE.

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'C' OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 138, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

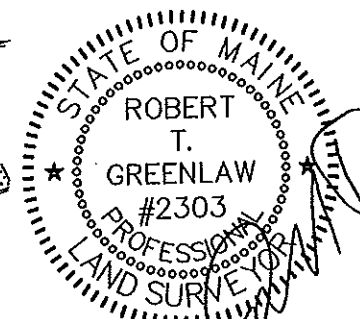
PARKING: 13 ONSITE 9-FOOT BY 19-FOOT SPACES, INCLUDES ONE SPACE IN THE GARAGE.

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- ⇒ Direction of Traffic
- SF - Silt Fence or Erosion Control Mix
- ↓ AREA OF PAVEMENT REMOVAL, LOAM AND SEED, SEE DETAIL SHEET.



CERTIFICATE
I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:
 a) NO WRITTEN REPORT
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 ROBERT T. GREENLAW P.L.S.
 PROFESSIONAL LAND SURVEYOR
 DATE: JANUARY 9 2010



3RD REVISION 01-11-09: ADDED AREA OF PAVEMENT TO BE REMOVED & EDIT TO NOTES.
 2ND REVISION 01-25-08: CHANGED PARKING, ADDED LIGHTING PLAN AND STORMWATER PLAN.

SITE PLAN		
247, 249 & 251 WOODFORD STREET, PORTLAND, MAINE		
For: ALLAN JAGGER		
DRAWN RTG	DATE 12/12/07	By: OCEAN PARK LAND SURVEYING LLC
APPROVED MMB	DATE 12/12/07	P.O. BOX 7266 OCEAN PARK, MAINE 04063 207-749-9471 Oceanparkllc@qwi.net
SCALE 1" = 40'	SHEET 2 OF 3	PROJECT NO. 07001.DWG

