

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION PERMIT

Permit Number: 081114

This is to certify that 259 WOODFORD STREET LLC/TBD

has permission to Replace existing fire escape deck, same design w/ roof of over stairs

AT 259 WOODFORD ST 123 L004001

provided that the person or persons who perform or supervise the work accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is leased or closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PERMIT ISSUED

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

SEP 15 2008

CITY OF PORTLAND

Thomas H. Manley 9/15/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1114	Issue Date:	CBL: 123 L004001
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Location of Construction: 259 WOODFORD ST	Owner Name: 259 WOODFORD STREET LLC	Owner Address: PO BOX 1601	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	Zone: B1/R5

Past Use: Multi- Family	Proposed Use: Multi- Family - Replace existing fire escape deck, same design w/ roof over stairs <i>legal use - 15 dwelling units</i>	Permit Fee: \$100.00	Cost of Work: \$8,000.00	CEO District: 4
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See conditions</i>	INSPECTION: Use Group: <i>R2</i> Type: <i>SB</i> <i>IBC 2003</i>
Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i> 9/15/08

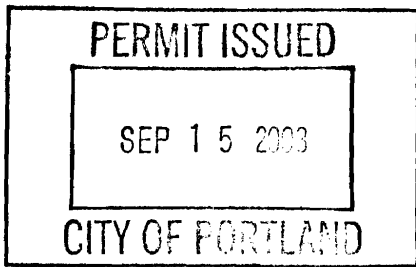
Proposed Project Description:
Replace existing fire escape deck, same design w/ roof over stairs

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action:	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 09/04/2008	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>all work must be within existing footprint</i> Date: <i>9/8/08</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1114	Date Applied For: 09/04/2008	CBL: 123 L004001
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Location of Construction: 259 WOODFORD ST	Owner Name: 259 WOODFORD STREET LLC	Owner Address: PO BOX 1601	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	

Proposed Use: Multi-Family - Replace existing fire escape deck, same design w/ roof over stairs	Proposed Project Description: Replace existing fire escape deck, same design w/ roof over stairs
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 09/08/2008
Note: **Ok to Issue:**

- 1) This permit is being issued with the condition that the front fire escape steps and decks will remain within the existing footprint.
- 2) This property shall remain a fifteen (15) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 09/15/2008
Note: **Ok to Issue:**

- 1) Guards must be 42 inches in height with openings less than 4 inches. Graspable rails must be installed on both sides of the stair guard. Stair treads shall not be less than 11". Stair risers shall not be more than 7".
- 2) This permit is approved under IBC Sec. 3403.4, Existing Structures, which allows the alteration or replacement of existing stairs to not meet new construction dimensions when the space is restricted. Guardrails and handrails must comply with new codes to the fullest extent possible
- 3) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 09/10/2008
Note: **Ok to Issue:**

- 1) All means of egress to remain accessible at all times
- 2) Two means of egress are required from every story. "State Law"



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>259 Woodford St PORTLAND</u>		
Total Square Footage of Proposed Structure/ Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>123</u> <u>L</u> <u>4</u>	Applicant * must be owner, Lessee or Buyer* Name <u>259 Woodford St LLC</u> Address <u>PO BOX 1601</u> City, State & Zip <u>SCARBOROUGH ME 04070</u>	Telephone: <u>207-229-5996</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>ROLAND BELAIR</u> Address <u>SAME</u> City, State & Zip	Cost Of Work: \$ <u>8,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>8,000</u>
Current legal use (i.e. single family) <u>MULTI FAMILY</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>REPLACE EXISTING FIRE ESCAPE DECK, SAME DESIGN WITH A ROOF OVER STAIRS IF POSSIBLE</u>		
Contractor's name: <u>NOT YET DETERMINED</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>ROLAND BELAIR</u> Telephone: <u>207-229-5996</u> Mailing address: <u>PO BOX 1601, SCARBOROUGH, ME 04070</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: _____

This is not a permit; you may not commence ANY work until the permit is issued

SEP 4 2003

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF: DEED BOOK 8369 PAGE 324 COUNTY Cumberland
PLAN BOOK - PAGE - LOT -

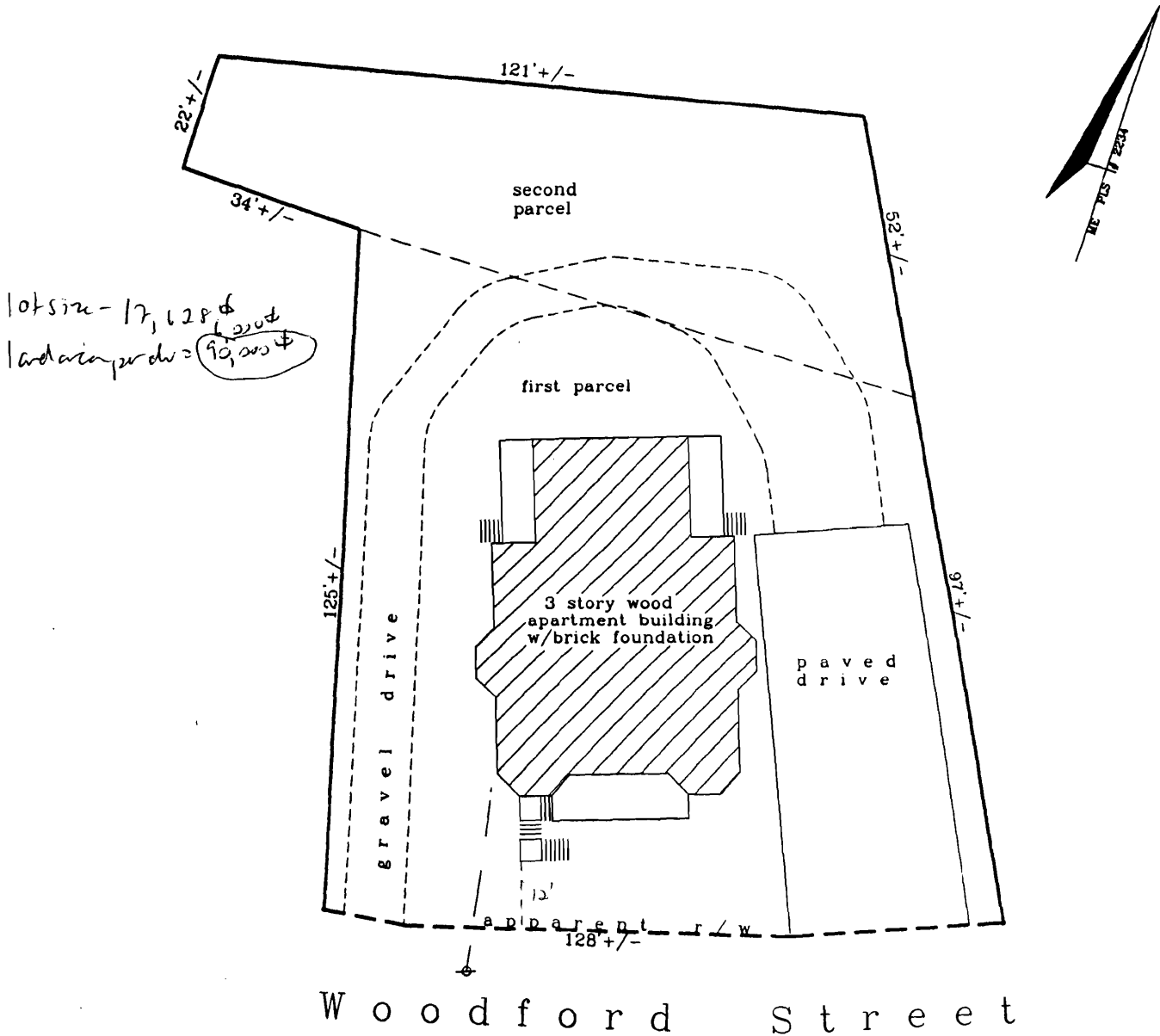
ADDRESS: 259 Woodford Street, Portland, Maine

Job Number: 131-32

Inspection Date: 6-5-96

Owners: Ronald and Christine Belair

Scale: 1" = 30'



[Handwritten Signature]

I HEREBY CERTIFY TO: Maine Title Company, Brunswick Federal Savings, and its title insurer.

- Monuments found did not conflict with the deed description.
- The building setbacks do not violate town zoning requirements.
- As delineated on the Federal Emergency Management Agency Community Panel.
- The structure does not fall within the special flood hazard zone.
- The land does not fall within the special flood hazard zone.

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

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Livingston - Hughes
 Professional Land Surveyors
 88 Guinea Road
 Kennebunkport - Maine 04046
 207-967-9761 phone/fax

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footings/Building Location Inspection: Prior to pouring concrete or setting precast piers

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

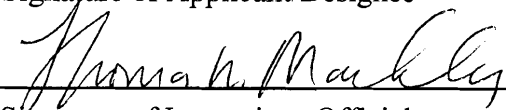
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



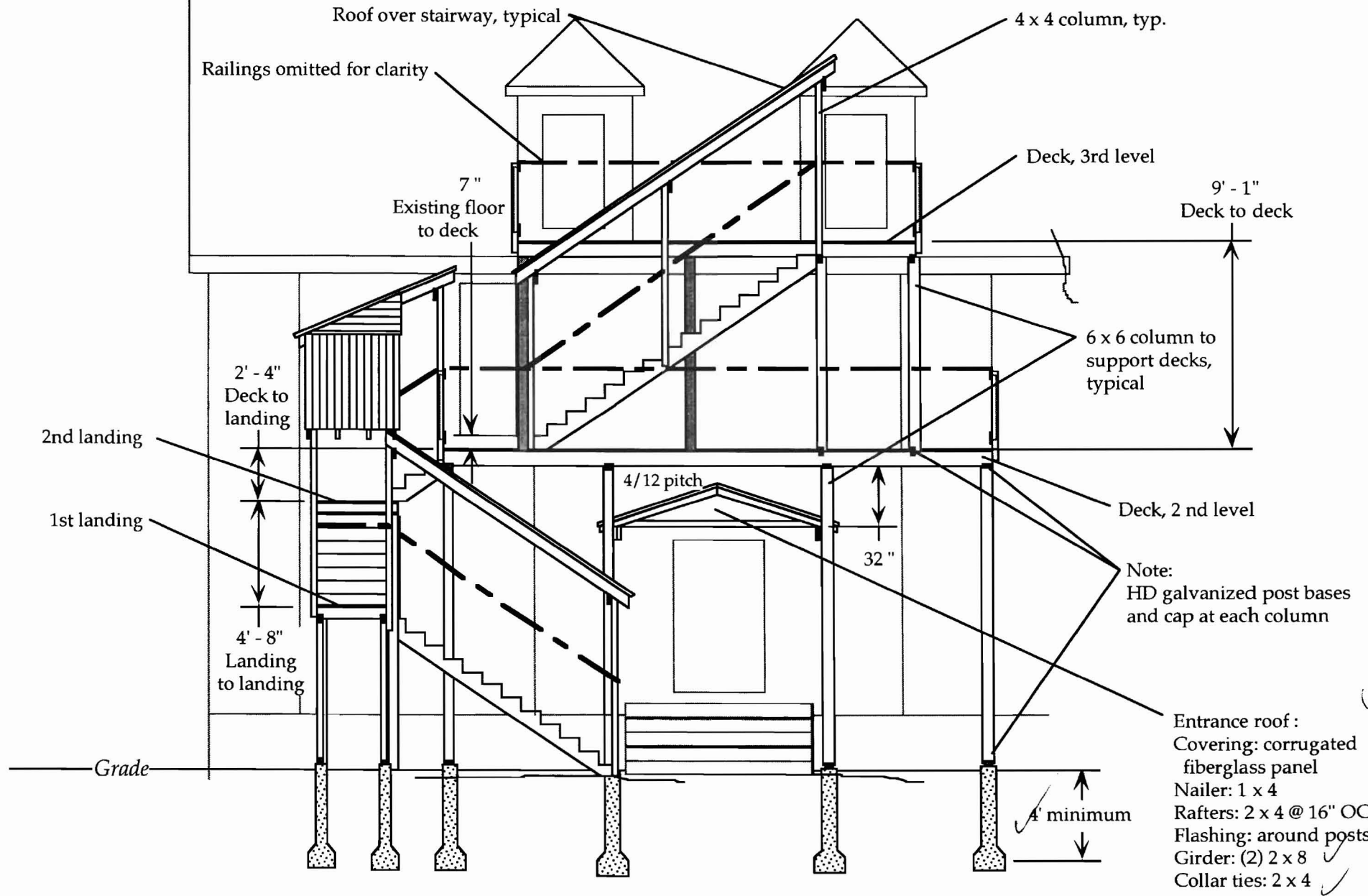
Signature of Applicant/Designee

9-16-08
Date



Signature of Inspections Official

9/15/08
Date



Drawing: **Belaire Property - Front Elevation**

Date: **Aug. 4, '08**

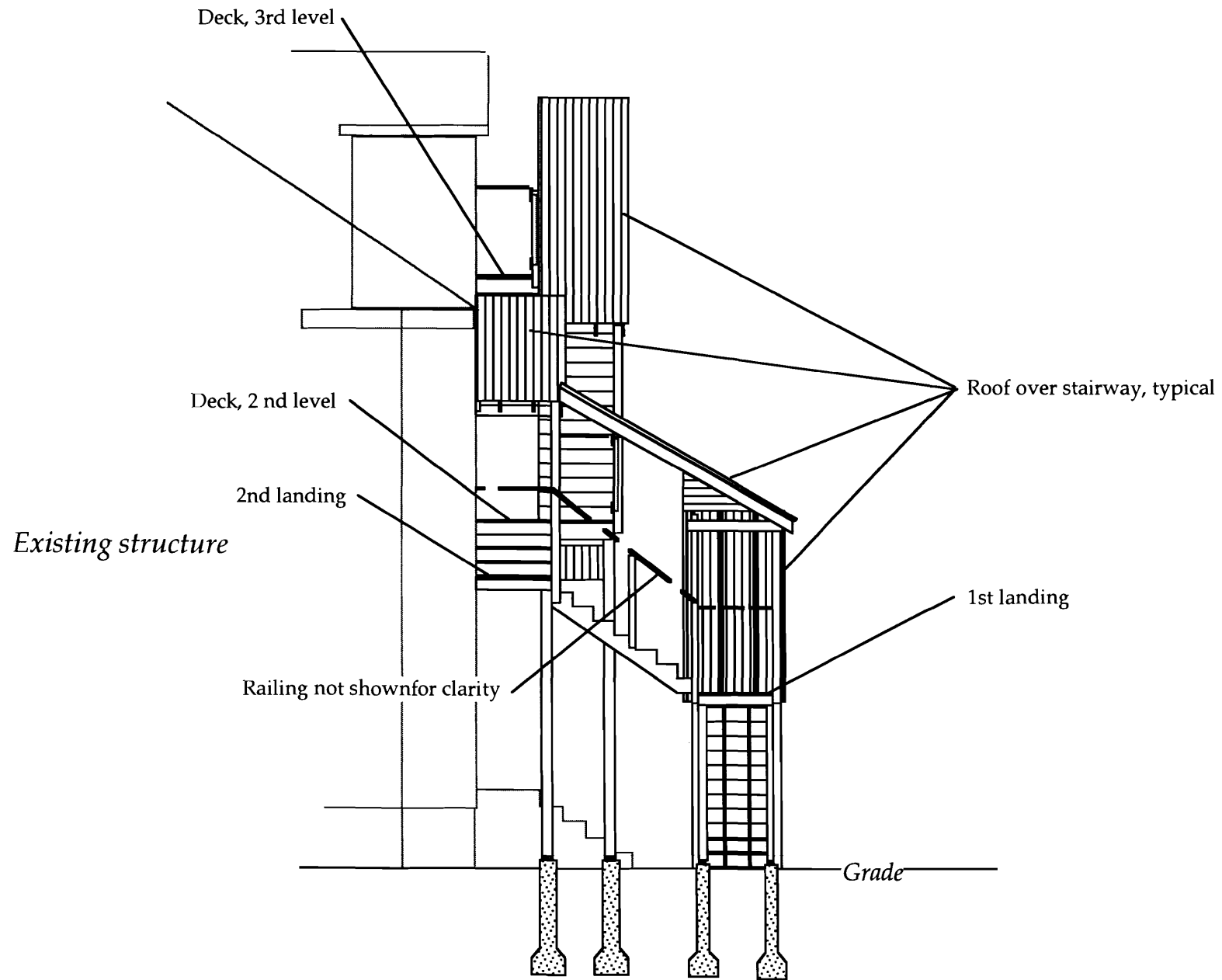
Scale: **1" = 6'**

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050



Drawing: **Belaire Property - West Elevation**

Date: **Aug. 4, '08**

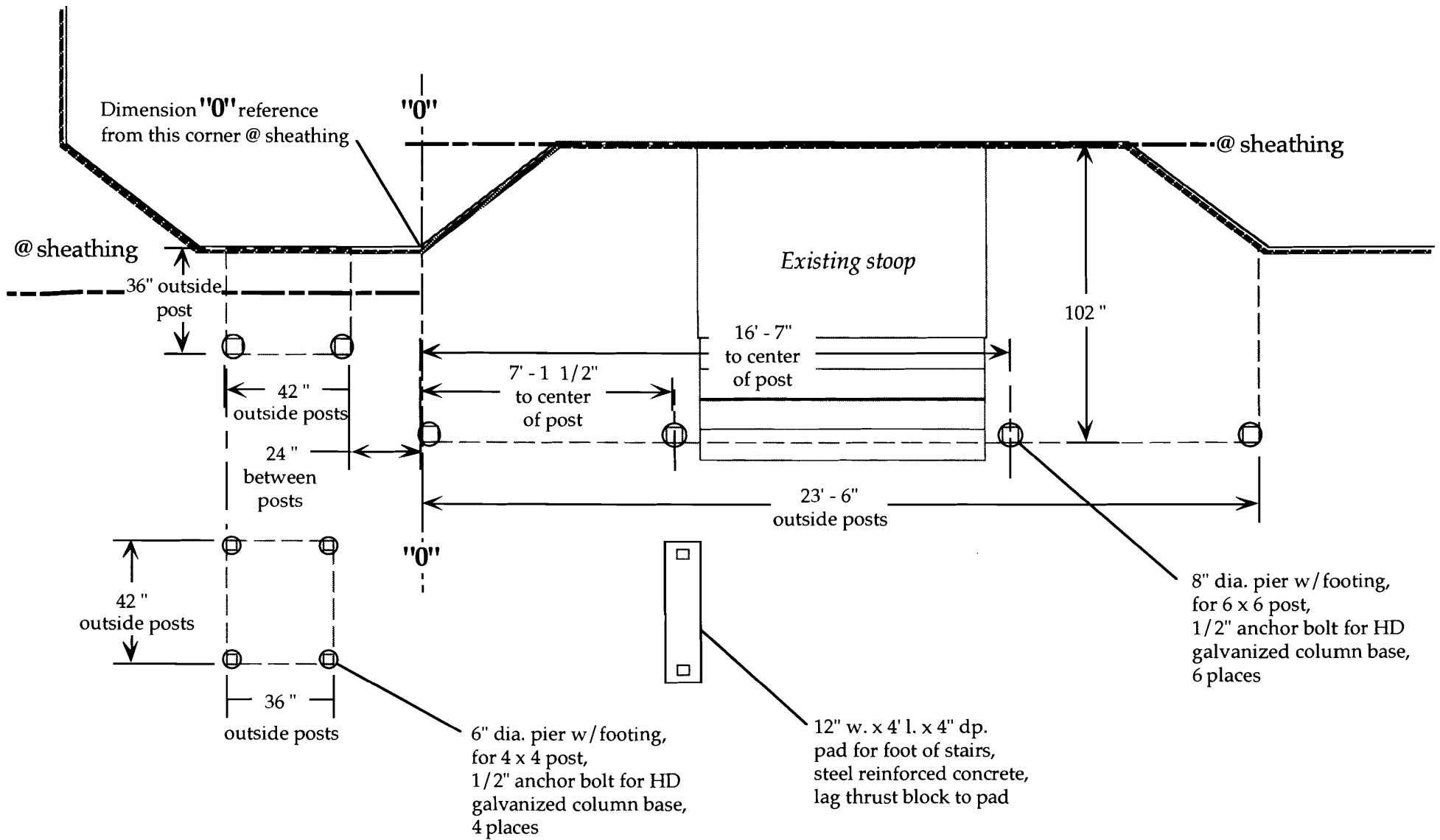
Scale: **1" = 6'**

Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050

Existing structure



Drawing: Belair Property - Footing Plan

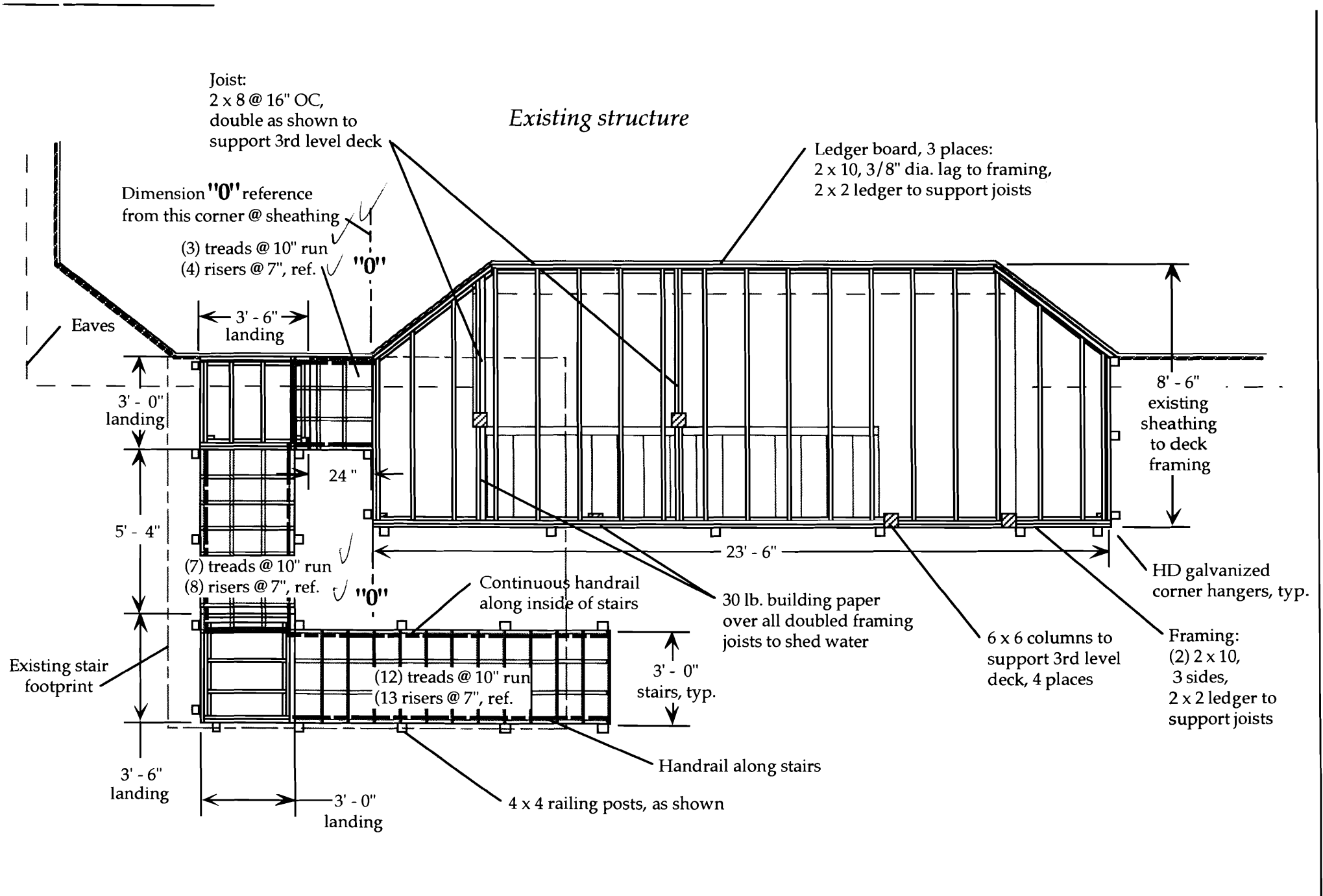
Date: Aug. 4, '08

Scale: 1" = 4'

Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074

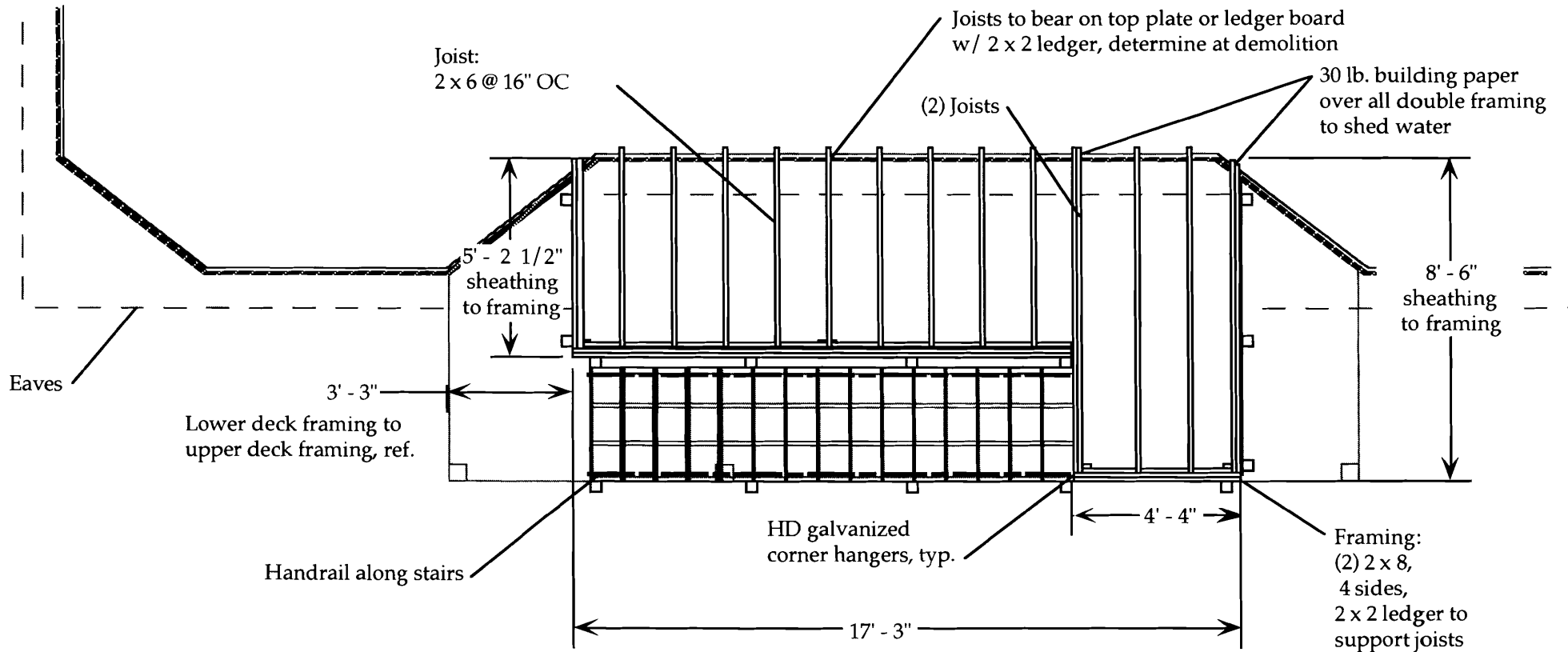
WholeHomeResource.com

207.883.6050



Drawing: Belaire Property - 2nd Level Deck Framing Plan	Date: Aug. 4, '08	Scale: 1" = 4'
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Existing structure



Drawing: **Belaire Property - 3rd Level Deck Framing Plan**

Date: **Aug. 4, '08**

Scale: **1" = 4'**

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Roof system:

- Covering: corrugated fiberglass panel
- Nailer: 1 x 4 @ 24" OC
- Rafters: 2 x 6 @ 16" OC
- Girder: 2 x 6
- Posts 4 x 4, pressure treated

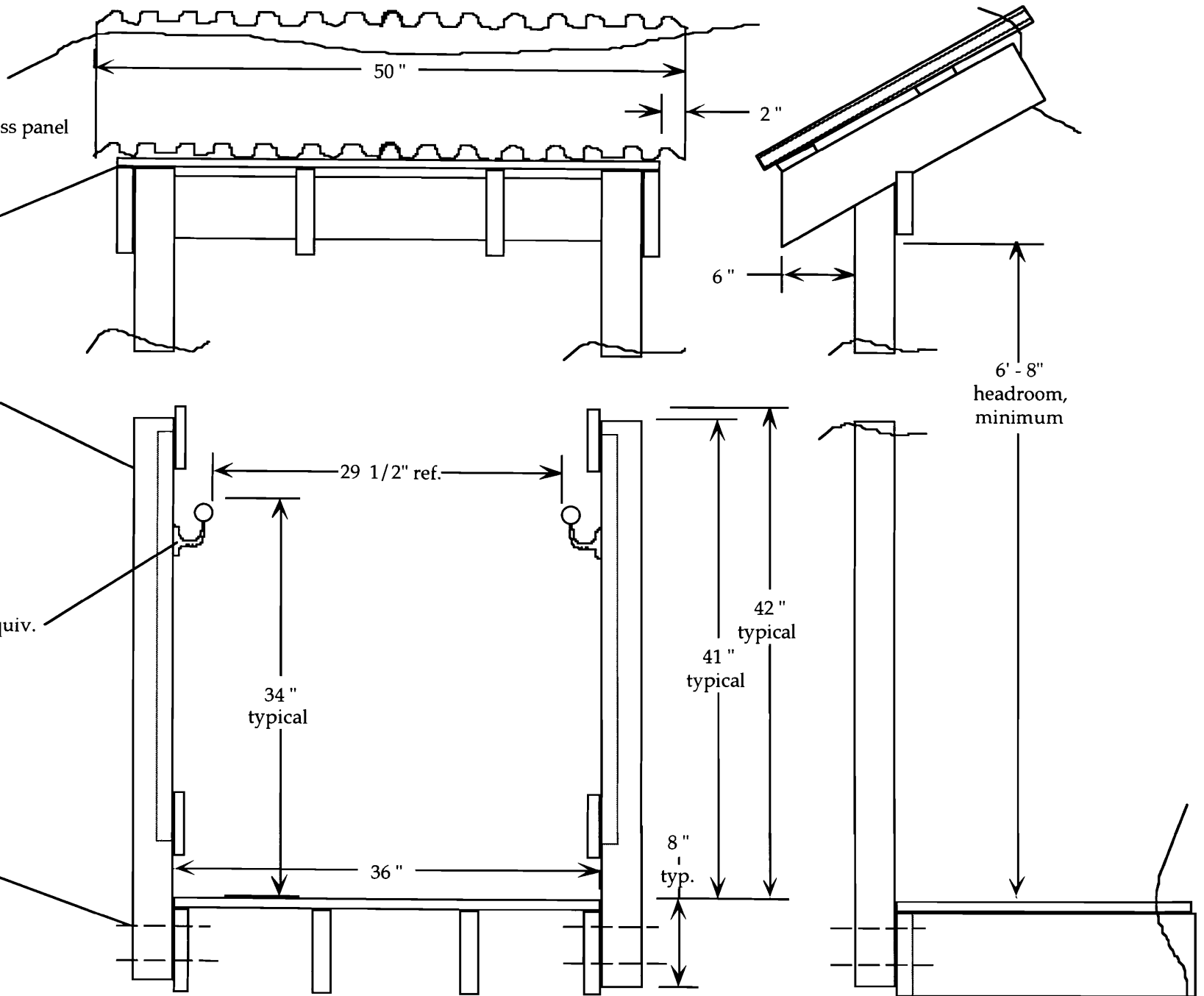
Railing system:

- Horizontal rails: 5/4 x 6, PT
- Ballusters: 1 3/8 sq., PT
- Posts: 4 x 4, pressure treated

Hand rail system:

- Rail: 1 1/2 x 1 11/16, fir, Brosco WM231, or equiv., treat w/ waterproofing, return at ends per code
- Bracket: Brosco C-3002, or equiv.

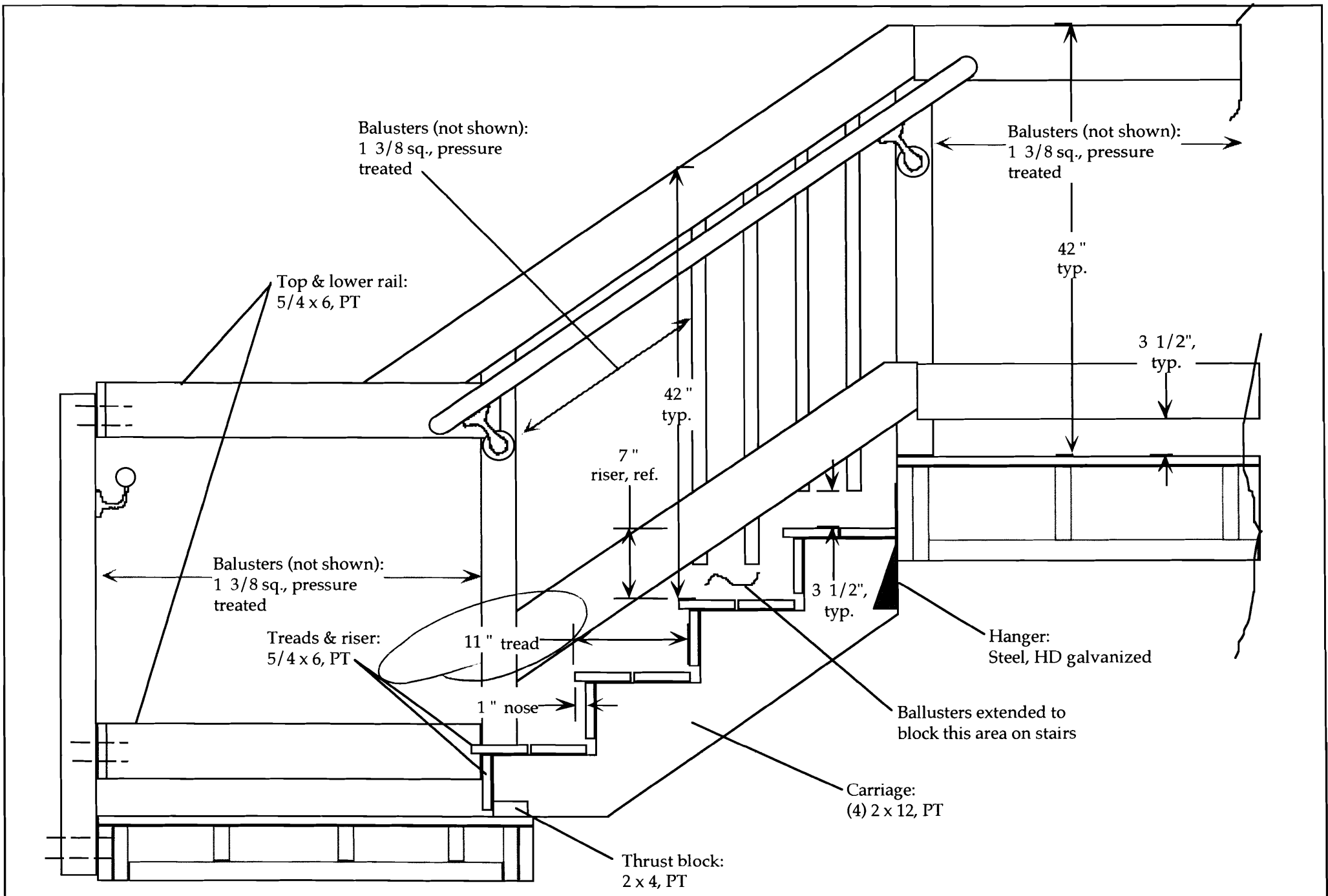
3/8" lag screws/
flat washer, typ.



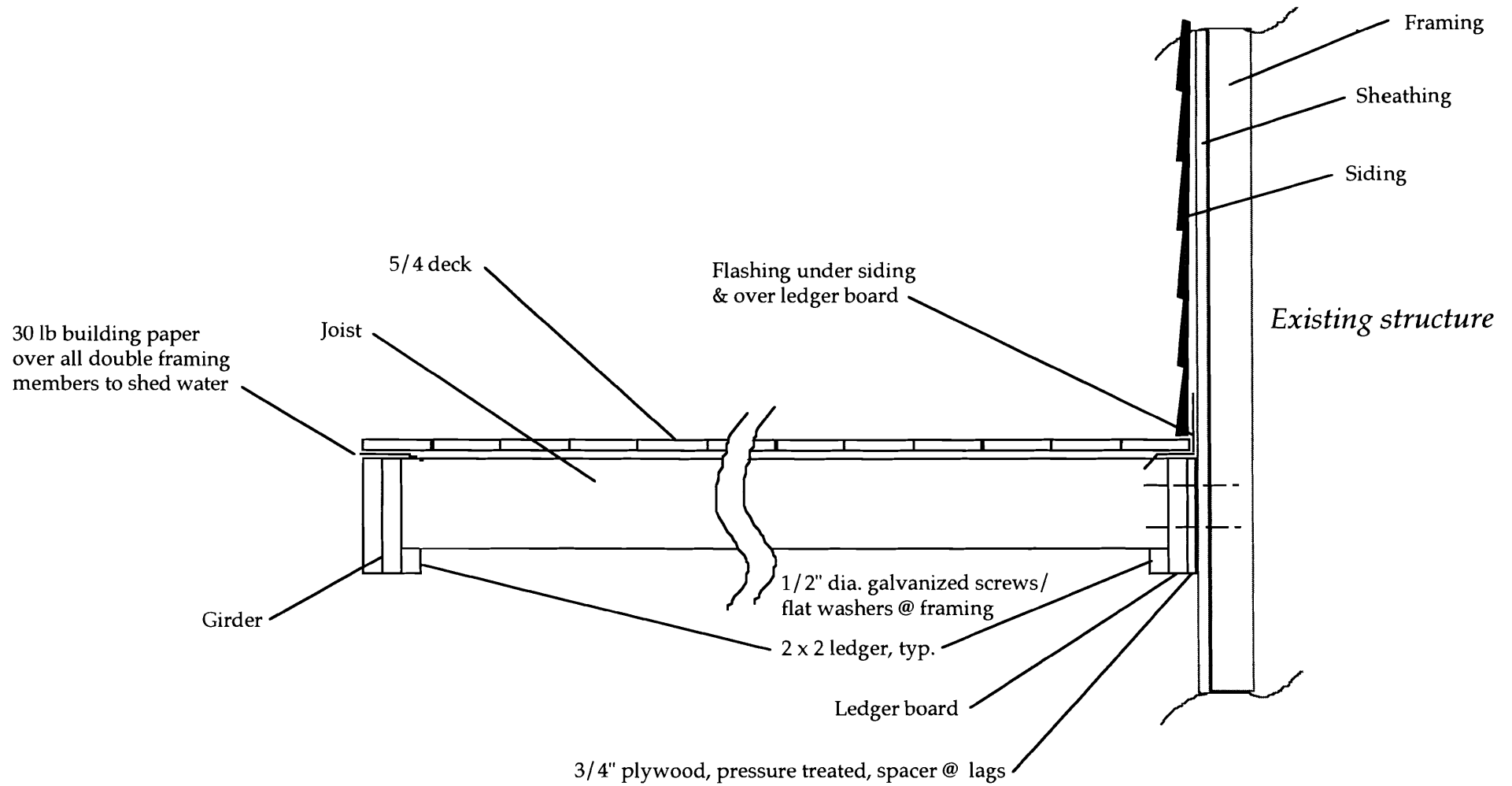
Drawing: **Belaire Property - Stair/Roof Section**

Date: **Aug. 4, '08**

Scale: **1" = 1'**



Drawing: Belaire Property - Typical Stair Construction	Date: Aug. 4, '08	Scale: 1" = 1'
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Drawing: **Belaire Property - Framing Detail**

Date: **Aug. 4, '08**

Scale: **1" = 1'**

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Load on columns

Column "A"

8.81 sqft (deck) x 60 lb/sqft = 528.6 lb
 9.95 sqft (stair) x 80 lb/sqft = 796 lb
 11.9 sqft (roof) x 50 lb/sqft = 595 lb
 Total 1919.6 lb

Column "B"

16.84 sqft x 60 lb/sq = 1010.8 lb

Deflection of (2) 2 x 8 girders due to point load

$D = PL^3/48EI$

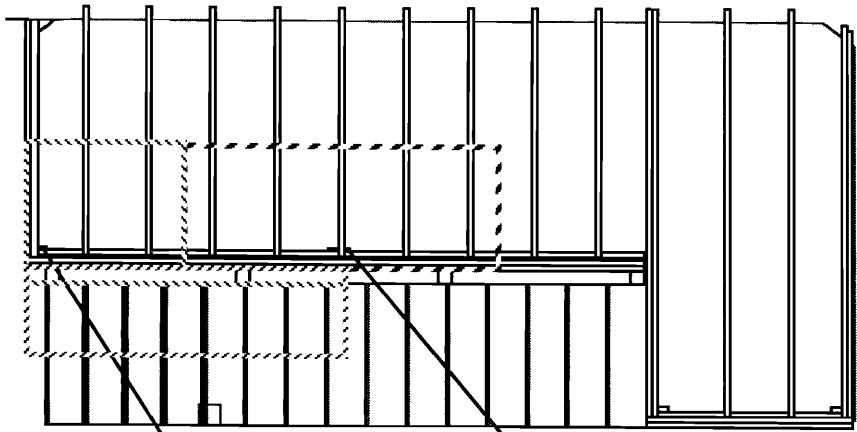
$D = 1919.6 \times 8.25^3 / 48 \times 1400000 \times 1.812$
 $D = .00885"$

Deflection (of "A") = 1/11186 of span

$D = PL^3/48EI$

$D = 1010.8 \times 8.25^3 / 48 \times 1400000 \times 1.812$
 $D = .00466"$

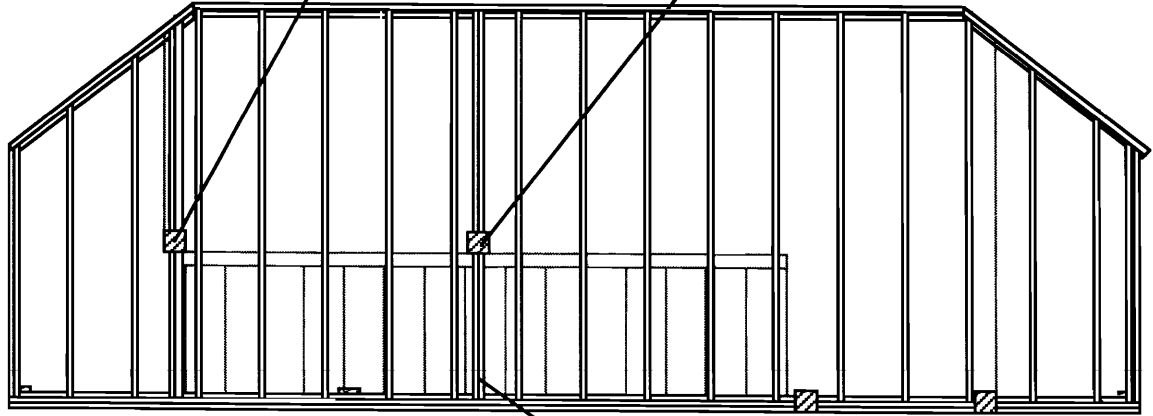
Deflection (of "B") = 1/21244 of span



3rd level deck

Column "A"

Column "B"

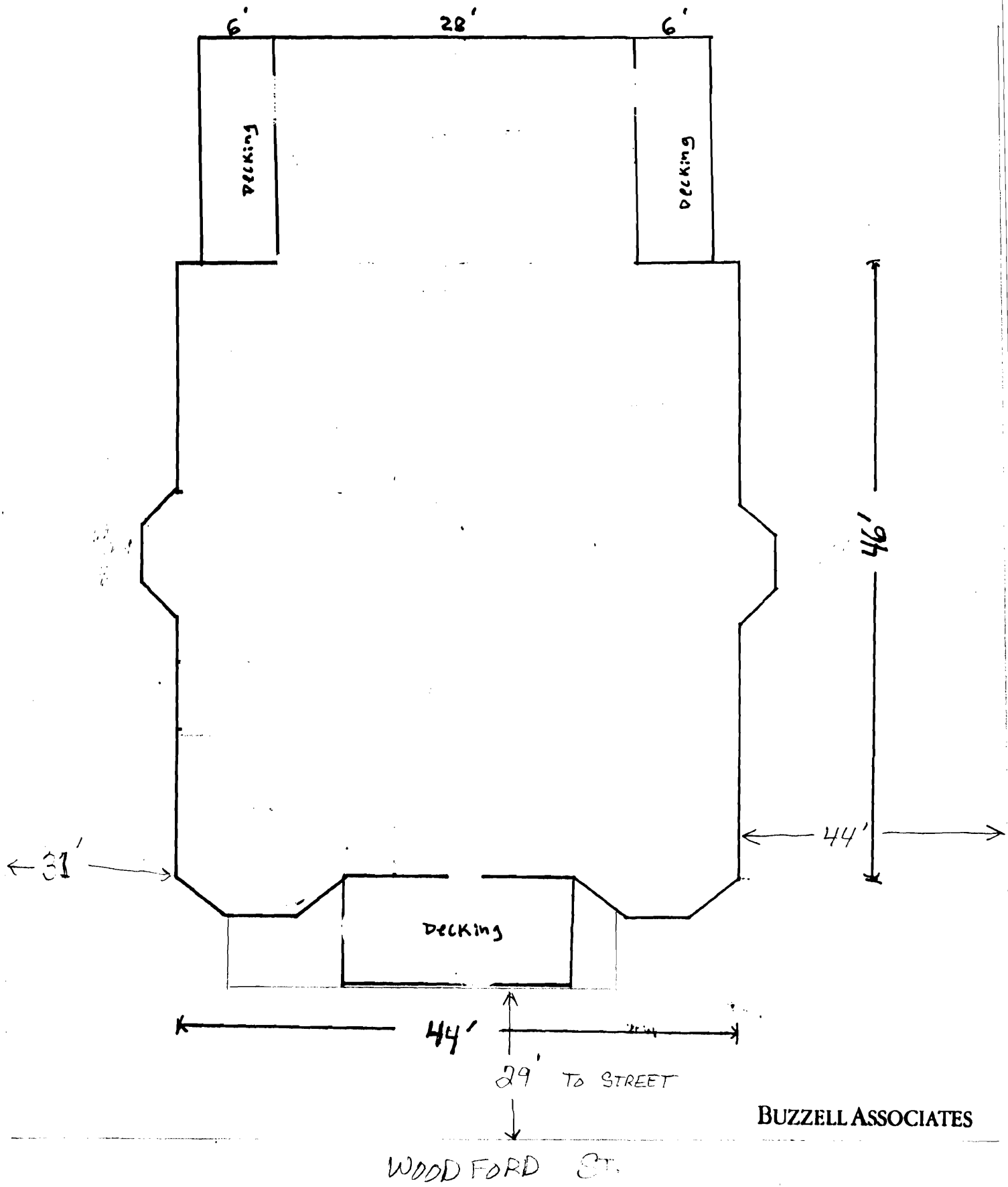


2nd level deck

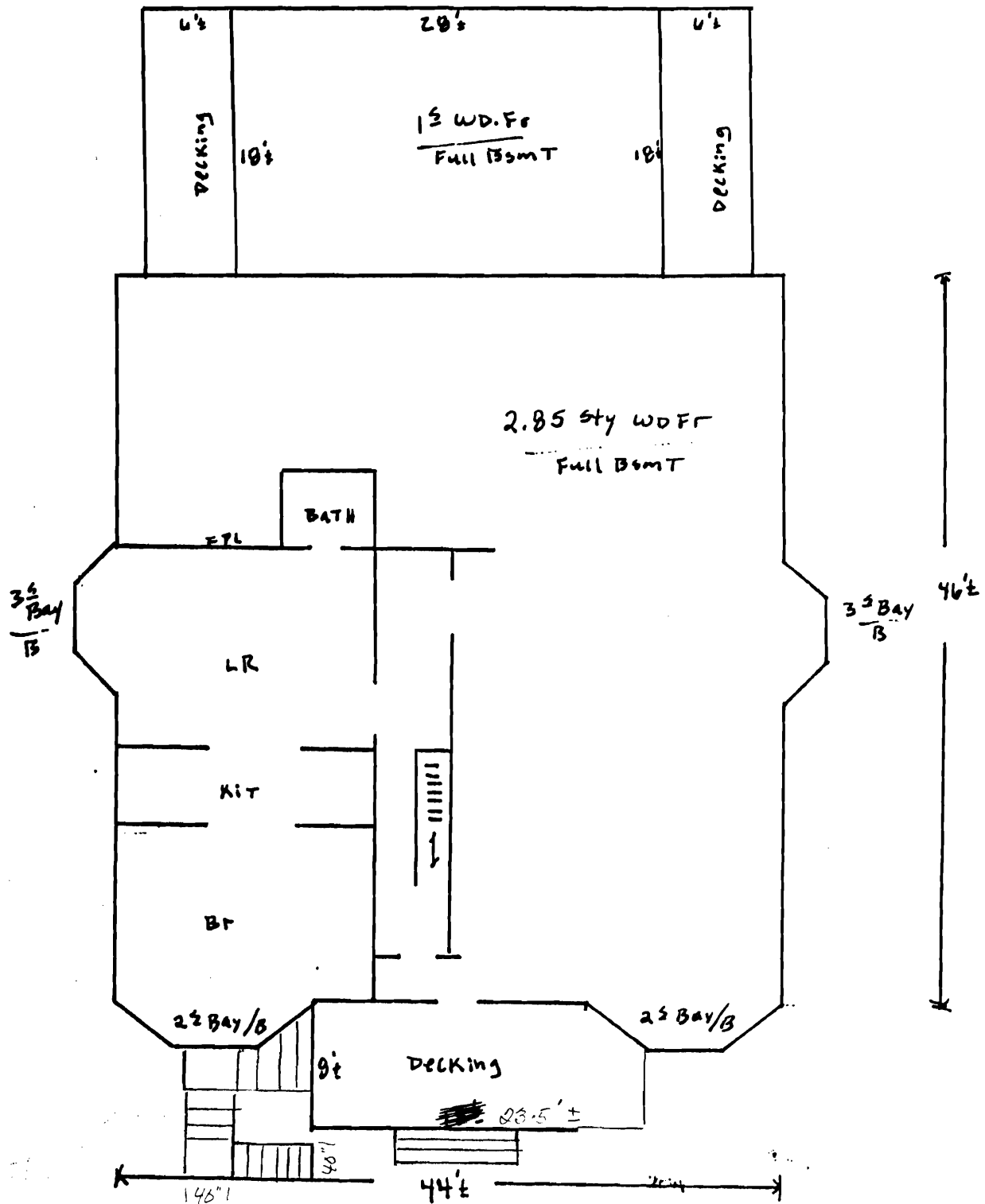
(2) 2 x 8

Building Sketch

25
Front 20' or average.

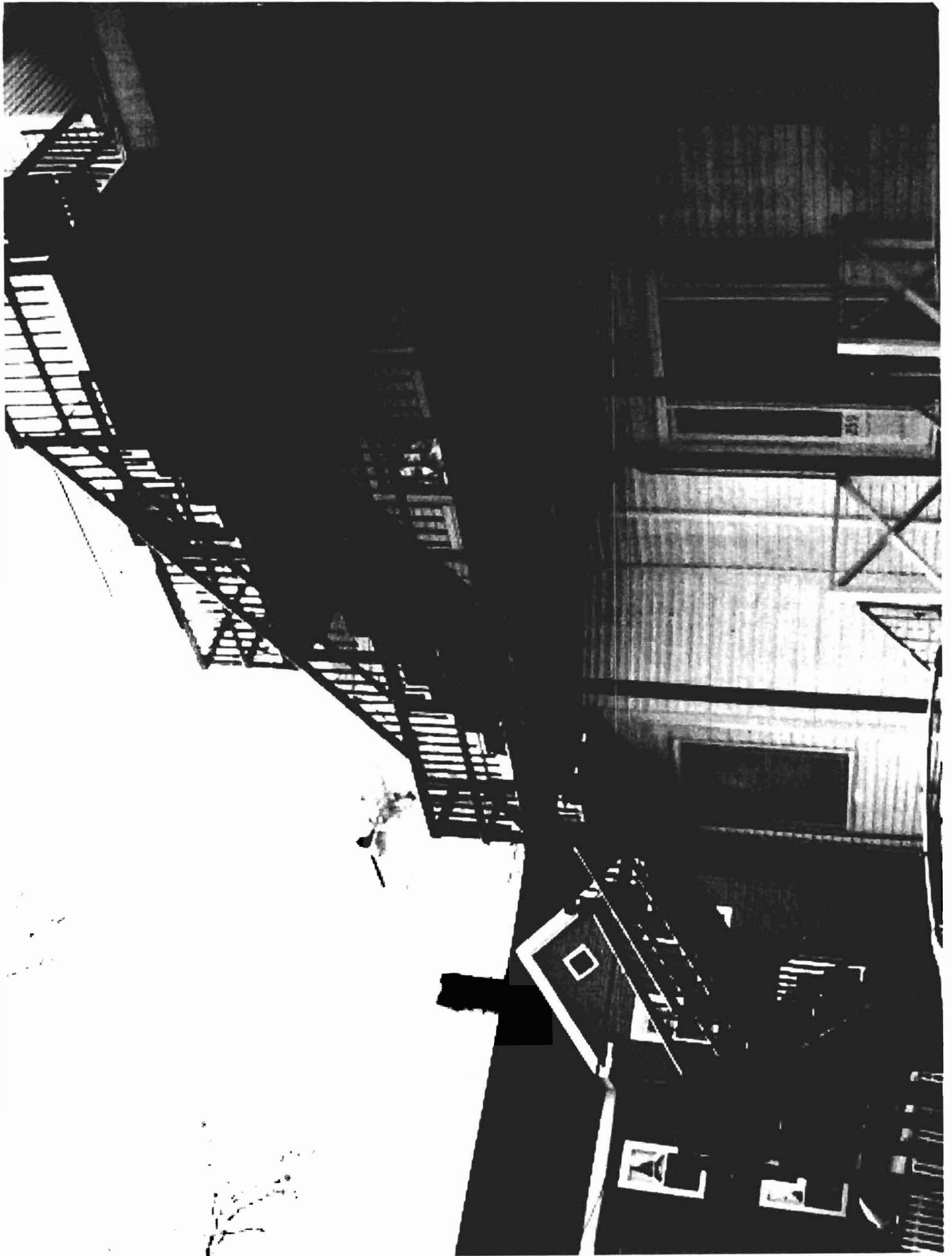


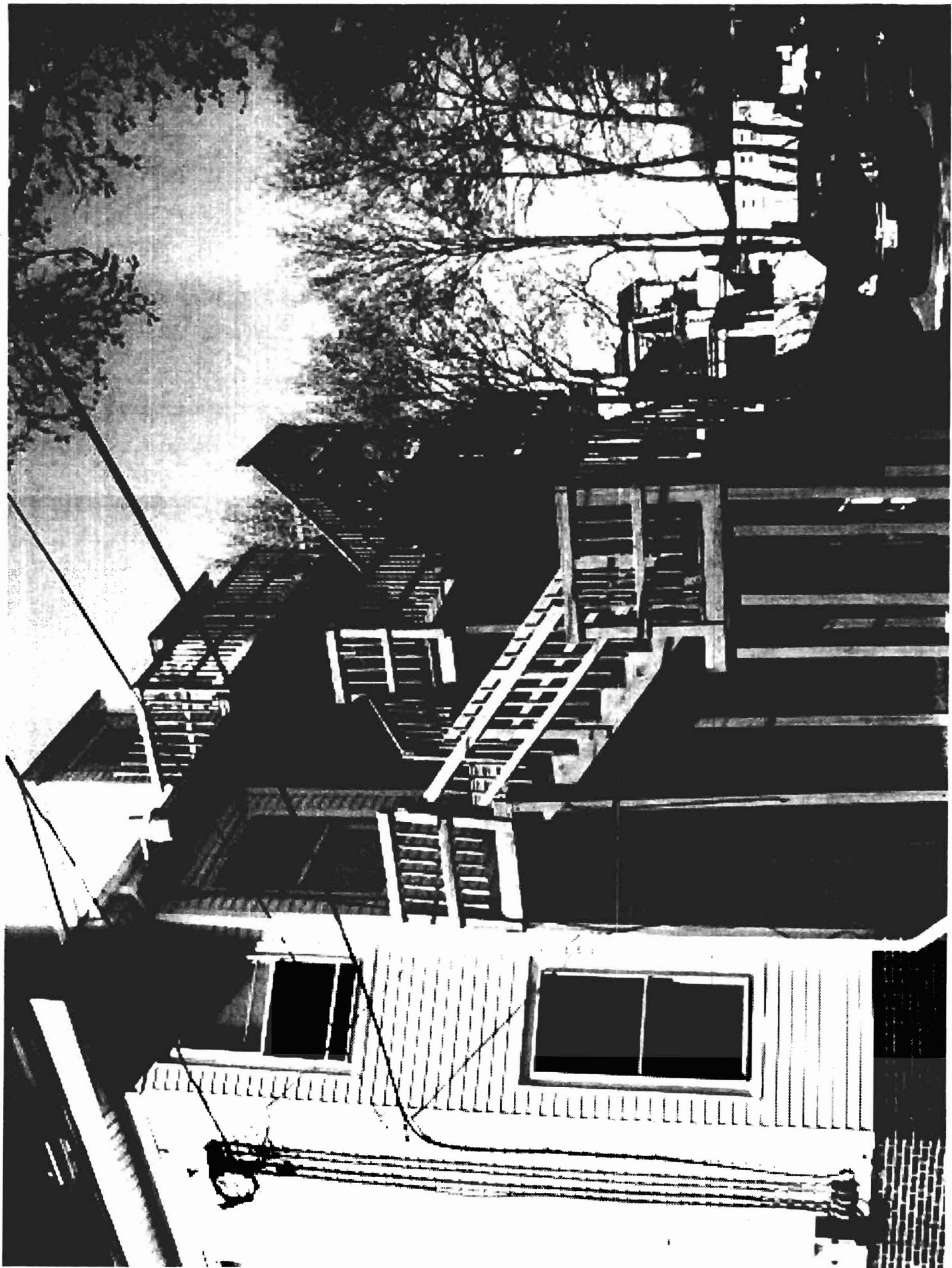
Building Sketch



BUZZELL ASSOCIATES

WOOD FORD ST







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Signature of Applicant/Designee

Thomas H. M...ly

Signature of Inspections Official

Date

9/15/08

Date