

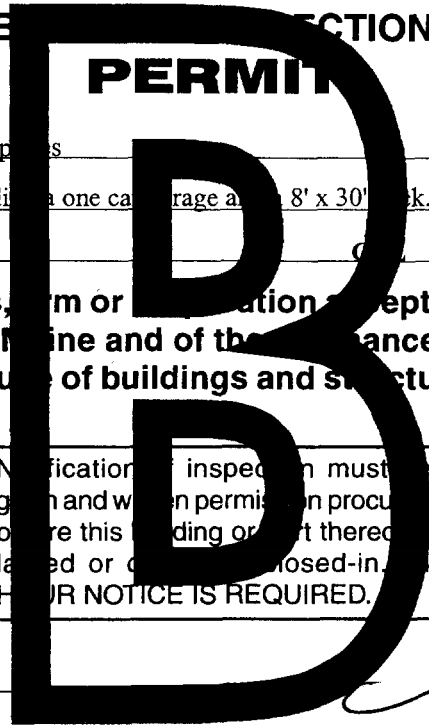
DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
Permit Number: 050764
JUL 21 2005
CITY OF PORTLAND

This is to certify that Helene Malone/Doyle Enterprises
has permission to New 59' x 57' Duplex including a one car garage and an 8' x 30' deck.
AT 45 Seeley Ave 123 E028001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. FOUR HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature]
1/20/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 45 Seeley Ave

CBL 123 E036001

Issued to Malone Helen A Wid Kw Vet/Doyle Enterprises

Date of Issue 02/07/2006

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 05-0764 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

2-Family Dwelling with a 1-car garage
Use Group R-3 Type 5B
IRC 2003

Limiting Conditions:

Temporary Certificate of Occupancy to June 1, 2006

This certificate supersedes
certificate issued

Approved:

2-8-06 *Marland Wing*

(Date) Inspector

David August 2/10/06

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 49 Seeley Ave **CBL** 123 E037001

Issued to Malone Helen A Wid Kw Vet /Doyle Enterprises **Date of Issue** 06/26/2006

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 05-0764, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

2-Family Dwelling with a 1-car garage
Use Group R-3 Type 5B
IRC 2003

Limiting Conditions: NONE

**This certificate supersedes
certificate issued**

Approved:

.....
(Date)

Inspector

.....
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0754	Issue Date: PERMIT ISSUED JUL 21 2005	CBL: 123 E036001
-----------------------	--	---------------------

Location of Construction: 45 Seeley Ave	Owner Name: Malone Helen A Wid Kw Vet	Owner Address: 45 Seeley Ave	Phone: 207 286 3530
Business Name: n/a	Contractor Name: Doyle Enterprises	Contractor Address: 16 Tiffany Lane Saco	Phone: 207 286 3530
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Duplex	Zone: R-5

Past Use: Vacant - thru lot split	Proposed Use: New 59' x 57' Duplex including a one car garage and a 8' x 30' deck.	Permit Fee: \$2,961.00	Cost of Work: \$310,000.00	CEO District: 3
Proposed Project Description: New 59' x 57' Duplex including a one car garage and a 8' x 30' deck.		FWDEPT <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>		INSPECTION: Use Group: R-3 Type SB IRC 2003 Signature: <i>[Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 06/15/2005	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland Flood Zone <i>Panel 13 Zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i># 2005-0043</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> <i>OK with condit</i> Date: <i>6/22/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Date: <i>[Signature]</i>	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

10/17/05 - Close-in inspection - trends + risers ok - egress ok - Plumbing Test on + ok - electrical ok - service insp done today ok - Framing ok - no issues seen - OK to close in walls. JMB

10/26/05 - Met w/ builder - went over concerns re: fire separation - OK w/ common walls & ceilings to unit. TM

1/30/06 Final for smaller unit - w/ Morris.

- Need handrail on side entry steps # 47
- Need cord & plug on disposal
- No # on house

Checked larger unit as could not find CO from 1/7/06 inspection

- Rear door dead bolt engage and mechanism removed as there are no rear steps - will be built in

The spring - CO condition

- Need cord & plug on disposal # 49
- NO # on house

- Need chimney disclosure - Faxed Form to Doyle Ent. 1/31/06

Scheduled reinspection for 2/2/06 JMB

Verified from Jessica H. The house # is 47-49 - see memo.

Ready for Certs of Occupancy

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0764	Date Applied For: 06/15/2005	CBL: 123 E036001
------------------------------	--	----------------------------

Location of Construction: 45 Seeley Ave	Owner Name: Malone Helen A Wid Kw Vet	Owner Address: 45 Seeley Ave	Phone:
Business Name: n/a	Contractor Name: Doyle Enterprises	Contractor Address: 16 Tiffany Lane Saco	Phone (207) 286-3530
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Duplex	

Proposed Use: New 59' x 57' Duplex including a one car garage and a 8' x 30' front porch	Proposed Project Description: New 59' x 57' Duplex including a one car garage and a 8' x 30' front porch
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 06/22/2005

Note: 1/3/05 the City Council rezoned this lot and the existing house into an R-5 zone **Ok to Issue:**

6/2 1/05 I need a stamped approved site plan from planning
-parking needs to be 5' from the side property line. ON
HOLD - in m's area - Diane Doyle came in later in the day - the rear "porch" is really a blue stone patio & she will adjust the parking side setback to a minimum of 5'

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. Currently a front porch is being shown and approved. In the left rear it is understood that there will be a blue stone patio, not a constructed deck, or porch.
- 2) This property shall remain a two (2) family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 07/20/2005

Note: 7/8 received revised plans, spoke w/April @ Doyle Ent. On 7/11, still missing fire/sound separations & attic scuttle. Will issue a foundation only permit. Jmb **Ok to Issue:**

- 1) As discussed, hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, on every level, and in a common area.
- 2) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 4) Separate permits are required for any electrical, plumbing, or heating.

Dept: Fire **Status:** Approved **Reviewer:** Lt. MacDougal **Approval Date:** 03/14/2005

Note: **Ok to Issue:**

Dept: Planning **Status:** Approved with Conditions **Reviewer:** Ethan Macomber **Approval Date:** 03/22/2005

Note: **Ok to Issue:**

- 1) i. The applicant shall work with staff, the City's consulting civil engineer, and the City Arborist to ensure that reasonable efforts are made to preserve as many existing trees as possible.
- 2) ii. The project plans shall be revised so as to address engineering concerns expressed by the City's consulting civil engineer in a March 18, 2005 memo.
- 3) iii. The applicant shall present the letters of water and sewer capacity to the Planning Authority from the Portland Water District and Department of Public Works respectively.

Location of Construction: 45 Seeley Ave	Owner Name: Malone Helen A Wid Kw Vet	Owner Address: 45 Seeley Ave	Phone:
Business Name: n/a	Contractor Name: Doyle Enterprises	Contractor Address: 16 Tiffany Lane Saco	Phone (207) 286-3530
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Duplex	

Comments:
6/30/05-tmm: faxed review sheets to Diane Doyle - spoke w/her about status of permit.



Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 45 Seeley Avenue

Total Square Footage of Proposed Structure 2,657 SF Square Footage of Lot 10,519 SF

Tax Assessor's Chart, Block & Lot Chart# 123 Block# 78 Lot# 45 Owner: Helene Malone Seeley Telephone: 172-3709

Lessee/Buyer's Name (If Applicable) N/A Applicant name, address & telephone: Doyle Enterprises 16 Tiffany Lane Saco, ME 04072 Diane Doyle 229-3530 Cost Of Work: \$310,000 Fee: \$2,810

Current Specific use: vacant lot

Proposed Specific use: Duplex 29' x 57' w/ 8' x 30' deck

Project description: Project received subdivision and site plan approval on 3/14/05 for construction of a duplex to be occupied by owner.

Contractor's name, address & telephone: Doyle Enterprises (see info above, applicant)

Who should we contact when the permit is ready: Diane Doyle / April Wernig

Mailing address: 16 Tiffany Saco ME 04072 Phone: 229-3530 / 653-8059

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

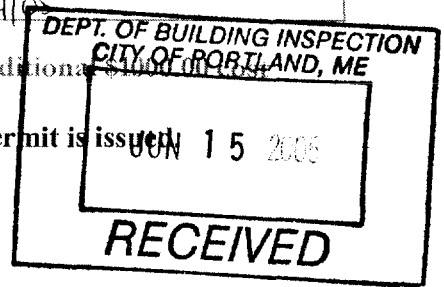
I that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature]

Date: 6/14/05

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00

This is not a Permit; you may not commence any work until the Permit is issued.





Residential Building Permit Application Checklist

All of the following information is required and must be submitted in order to help insure an expeditious permitting process.

A complete set of construction drawings must include:

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with reqmred drainage and damp proofing (if applicable)
- Electrical and plumbing layout. Mechanical drawings for any speciahzed eqpmnt such as furnaces, chimneys, gas equipment, HVAC eqpmnt (air handling) or other types of work that may require special review must be included.

Separate permits are required for internal & external plumbing, **I-IVAC**, and electrical installations.

If there are any additions to the footprint or volume of the new or existing structure(s), a plot plan is required and must include:

- The shape and dunension of the lot, footprint of the proposed structure and the &stance from the actual property lines drawn to scale. Structures include decks porches; a bow windows cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown.
- Boundary survey to scale showing north arrow; zoning district and setbacks
- First floor sill elevation (based on mean sea level datum)
- Location and dimensions of parking areas and driveways
- Location and size of both _____ in the street and the proposed utilities serving the building
- Location of areas on the site that will be used to dispose of surface water
- Existing and proposed grade contours
- Silt fence locations

Surveyor's monuments must be in place and the lot staked for a setback inspection.

Please submit all of the information outlined in this Residential Application Checklist. Failure to **do so** will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Applicant: Helen Malone

Date: 3/10/05 - 6/21/05

Address: 45 Seely

C-B-I: 123-E-36 Now

CHECK-LIST AGAINST ZONING ORDINANCE will be assigned new CBL

Date - Existing Syle Family

Zone Location - rezoned by Council from R-3 to R-5 on 1-3-05

Interior or corner lot -

Proposed Use/Work - to construct New 2 family D.U with 1 CAR GARAGE

Sewage Disposal - City

Lot Street Frontage - 50' - 101.99' given

rear patio only per Diane Doyle 6/21/05

Front Yard - 20' min - 21.75' scaled

Rear Yard - 20' min - 20.5' scaled

Side Yard - 8' min - 9' & 31' scaled -

1 1/2 story (shown initially)

Projections - front porch 8' x 30' - rear steps 2' x 4' - outside entry rear porch 10' x 33' = 330 sq ft

Width of Lot - 60' min

Height - ^{25' max} cant do at this point - no scalable plans

Lot Area - 6,000 sq ft - 10,519 sq ft given

Lot Coverage Impervious Surface - 40% MAX of 4207.6 sq ft

Area per Family - 3,000 sq ft per D.U - 6,000 sq ft min

Off-street Parking - 4 spaces req - 4 spaces shown (in garage - 3 outside)

Loading Bays - N/A

Site Plan - # 2005-0043 minor (2 DU) per Council order on 1/3/05 - Needs to go to PLANNING

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 13 Zone C

No Daylight Basement

8' x 30' =	240
20 x 33.5 =	938
26 x 58 =	1508
4 x 5.75 =	23
2 x 4 =	8

2717 sq ft
330 sq ft
3047 sq ft

OK

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2005-0043

Application I. D. Number

3/8/2005

Application Date

Two Unit

Project Name/Description

Malone Helen A Wid Kw Vet

Applicant

45 Seeley Ave, Portland, ME 04103

Applicant's Mailing Address

ETHAN

45 - 45 Seeley Ave, Portland, Maine

Address of Proposed Site

123 E036001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Agent Ph: _____ Agent Fax: _____

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2,685 s.f.

Proposed Building square Feet or # of Units

Acreage of Site

R3

Zoning

Check Review Required:

- Site Plan (major/minor)
- Subdivision # of lots _____
- PAD Review
- 14-403 Streets Review
- Flood Hazard
- Shoreland
- Historic Preservation
- DEP Local Certification
- Zoning Conditional Use (ZBA/PB)
- Zoning Variance
- Other _____

Fees Paid: Site Pla \$400.00 Subdivision _____ Engineer Review _____ Date 3/8/2005

Zoning Approval Status:

Reviewer Marge S.

- Approved
- Approved w/Conditions See Attached
- Denied

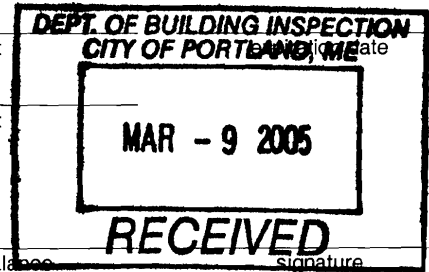
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____
- Inspection Fee Paid _____ date _____ amount _____
- Building Permit Issue _____ date _____
- Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
- Temporary Certificate of Occupancy _____ date _____ Conditions (See Attached) _____ expiration date _____
- Final Inspection _____ date _____ signature _____
- Certificate Of Occupancy _____ date _____
- Performance Guarantee Released _____ date _____ signature _____
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____
- Defect Guarantee Released _____ date _____ signature _____



Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

7.25.05
Date

[Signature]
Signature of Inspections Official

7.25.05
Date

CBL: 123 F 086 Building Permit #: 050764

NOTES

Land	Building Data	Sketch	Outbuildings	Income / Market	Profile
Owner / Values	Owner History	General Data	Permit / Sales	Notes	

General Parcel Notes

Type 1:	Note Field 1:	123-E-37
Type 2:	Note Field 2:	SEELEY AVE 39-45
Type 3:	Note Field 3:	10550 SF
Type 4:	Note Field 4:	

Residential Building Notes

Type	Notes
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	06-07 SPLIT FROM 123-E-36
11.	
12.	
13.	<i>Karen L. Andersen</i>
14.	<i>604-0223</i>
15.	

Parcel Control Center

Exit	?	+ Add
Save	Calc	
Photo	PRC	
Delete	Cancel	

Parcel Index

Sort PROPERTY LOC

Query List

Enter Criteria to choose

Owner Name
MALONE HELEN A WID KW
HTE

Property Address
00049 SEELEY AVE

PARCEL ID
123 E037001

ROUTING NO

Class
R-40 What If

Card: Load Total

< > ±

CLTA

TO: Inspections Department
FROM: Jay Reynolds, Development Review Coordinator
DATE: June 26, 2006
RE: C. of O. for 47-49 Seeley Avenue, 2 unit
(CBL123E036) (ID#2005-0043)

After visiting the site, I have the following comments:

Site work complete:

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager
File: Urban Insight

File: O:\plan\drc\seeley45b.doc

STATE OF MAINE CHIMNEY OR FIREPLACE DISCLOSURE

Dear Consumer: State law, specifically 32 M.R.S.A., Chapter 33, requires chimney or fireplace installers, as of January 1, 1992, to provide you with this Disclosure prior to the installation work being done on your chimney or fireplace. The purpose of this Disclosure is to help you, as a consumer, make an informed decision as to the abilities of the installer and under what requirements the installation must comply. It is important to note that the State of Maine does not require registration or licensure of chimney or fireplace installers; however, it is just as important to realize that many fires are caused each year by improperly constructed fireplaces and chimneys. For further information about this law, call the Division of Licensing & Registration at 624-5629 or write to the Division at #35 State House Station, Augusta, Maine 04333.

INSTALLER INFORMATION

Name of Installer Michael Goulet
 D.B.A. _____
 Name of Installer (if incorporated) Eastern Mechanical Inc.
 D.B.A. _____
 Legal Address 6 Pomerleau St Ridgford
(Street and No.) (City or Town)
Maine York 04005
(State) (County) (Zip Code)
 Home Telephone 207 282 1312 Business Telephone 207 282 1237
 Years of experience doing fireplace or chimney installations 15

CONSUMER IDENTIFICATION

Consumer's Name Helen Malone
 Mailing Address 49 Seelye Ave Portland Maine
(Street and No.) (City or Town)
(State) (County) (Zip Code)
 Home Telephone 899 1924 Business Telephone _____

Installer, please give a brief description of installation being offered.

I, Michael Goulet, the installer, hereby attest that the preceding information provided is true to the best of my knowledge. I also understand that if I fail to conform with the standards as outlined in NFPA 311 that I shall be subject to penalties as outlined under Title 32, Chapter 33, Oil and Solid Fuel Board.

Signature Michael Goulet Date 1-31-06

TO: Inspections Department
FROM: Jay Reynolds, Development Review Coordinator
DATE: January 12, 2006
RE: C. of O. for 45 Seeley Avenue, 2 unit
(CBL123E036) (ID#2005-0043)

After visiting the site, I have the following comments:

- Site work incomplete:
1. Final Grading.
 2. Loam and Seed.

*Jessica? home
#*

I anticipate any incomplete work can be completed by **June 1, 2006**.
At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager
File: Urban Insight

File: O:\plan\drc\seeley45a.doc

2/10/05

Ethan

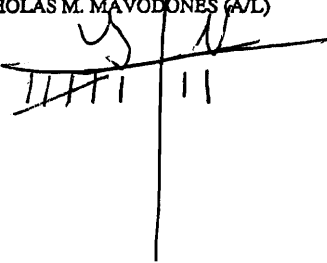
Order 130-04/05
~~Feb 20 12-20-04~~

JILL C. DUSON (MAYOR)(A/L)
PETER O'DONNELL (A/L)
JAMES F. CLOUTIER (A/L)
NICHOLAS M. MAVODONES (A/L)

**CITY OF PORTLAND
IN THE CITY COUNCIL**

WILLIAM R. GORHAM (1)
KAREN A. GERAGHTY (2)
DONNA J. CARR (3)
CHERYL A. LEEMAN (4)
JAMES I. COHEN (5)

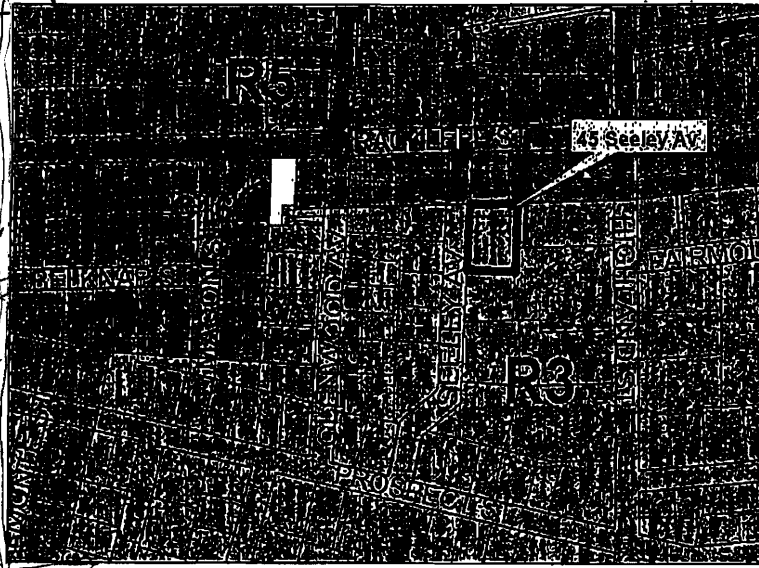
Tab 10 1-3-05



**AMENDMENT TO ZONING MAP
RE: REZONING FROM R3 to R5
45 SEELEY AVENUE**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PORTLAND,
MAINE IN CITY COUNCIL ASSEMBLED AS FOLLOWS:**

That the Zoning Map of the City of Portland, dated December 2000, as amended and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by §14-49, be and hereby is amended by adopting the map change amendment below.



Proposed Rezoning for 45 Seeley Ave. from R3 to R5

November 2004

Map prepared by the City of Portland's Department of Planning & Development and the GIS Workgroup

Scale: 0 100

*Releas on Bro Prospect & Seeley
Pat Amidon
anti sprawl*

*Davis Robinson
40 Seeley Ave
current zoning
is fine -
Slippery Slope
all border properties
could do likewise*

*Joe Malone
Jessica Bando's
SF home, w/ 2 fam
homes around it
what is basis for
zone change*

*→ Aug 9
application*

*Nov 23
P.B. Vote*

Oct 12 wkshp

- Ed Carney -

*- Libby Mancus - spot zoning - 1) merely provides for ind. built
2) size 3) consistent w/ comp plan*

*- Joe Lewis Seeley Ave,
- Sean Wynn 46 seeley - has a duplex across St.*

- Elz Rabinell 79 Highland St feel of neighborhood -

From: Marge Schmuckal
To: Ethan Boxer-Macomber
Date: Tue, Jun 21, 2005 10:46 AM
Subject: Seeley Ave

Ethan,
Can I get a stamped approved site plan for this new duplex? We have a building permit application.
Thanks,
Marge

Received
6/21/05

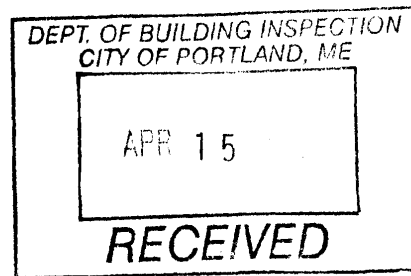
6/21/05
left message with
Diane Doyle

he will
Adjust → RE: Side setback for
parking
This is actually
A patio, not a porch → RE: Structures for
REAR porch
Received
transparency → RE: Needing an approved
stamped site
PLAN

She came
on 6/21/05 in

CITY OF PORTLAND, MAINE
PLANNING BOARD

Orlando E. Delogu, Chair
Lee Lowry III, Vice Chair
John Anton
Kevin Beal
Michael Patterson
David Silk
Janice E. Tevanian



March 23, 2005

Mrs. Helen Malone
45 Seeley Avenue
Portland, ME 04102

RE: 45 Seeley Avenue – Two-Family House - Site Plan and Subdivision Application
App ID# 2005-0042, CBL #123 E036001

Dear Mrs. Malone:

On March 22, 2005 the Portland Planning Board voted 7-0 to approve the above referenced Subdivision application. The approval was granted for the project based on findings and subject to conditions as follows:

1. That the plan is in conformance with the subdivision standards of the land use code.

Conditions of Approval:

- i. In accordance with §14-499(f) the applicant shall provide 4 street trees along the site's frontage or elsewhere on the street within the vicinity of the subject site. The street tree plan shall be subject to review and approval by the City Arborist.

On March 22, 2005 the Portland Planning Board also voted 7-0 to approve the above referenced Site Plan application. The approval was granted for the project based on findings and subject to conditions as follows:

2. That the plan is in conformance with the site plan standards of the land use code.

Conditions of Approval:

- i. The applicant shall work with staff, the City's consulting civil engineer, and the City Arborist to ensure that reasonable efforts are made to preserve as many existing trees as possible.

driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Department at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions related to the conditions of approval, the recording of the subdivision plat, or otherwise please contact Ethan Boxer-Macomber at 756-8083 or ebm@portlandmaine.gov.

Sincerely,



Lee Lowry, Chair
Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Ethan Boxer-Macomber, Planner
Jay Reynolds, Development Review Coordinator
— Marge Schmuckal, Zoning Administrator
Inspections Division
Michael Bobinsky, Public Works Director
Traffic Division
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Assessor's Office
Approval Letter File

3473L

WARRANTY DEED

MAINE REAL ESTATE TAX PAID

KNOW ALL MEN BY THESE PRESENTS, That JANETTE CHASE, of Portland, County of Cumberland, and State of Maine, in consideration of one (\$1.00) dollar and other valuable consideration, paid by HELEN A. MALONE, of Portland, County of Cumberland, and State of Maine, the receipt whereof I hereby acknowledge, do hereby give, grant, bargain, sell and convey unto the said HELEN A. MALONE, her heirs and assigns forever,

A certain lot or parcel of land, with any buildings thereon, situated on the easterly side of Seeley Avenue in the City of Portland, County of Cumberland and State of Maine and bounded and described as follows:

Beginning on the easterly sideline of Seeley Avenue (as established by dedication to the public by Laurence C. Andrew by dedication recorded in Cumberland County Registry of Deeds in Book 1360, Page 338) at the southwesterly corner of land conveyed by Harry L. Bradbury to Congregational-Christian Conference of Maine by deed dated March 30, 1946 and recorded in said Registry of Deeds in Book 1812, Page 426; thence easterly in a straight line by said land now or formerly of said Congregational-Christian Conference of Maine and by other land now or formerly of Helen R. Andrew 100.18 feet more or less to an iron pipe; thence southerly on a line parallel with the line of said Seeley Avenue dedication by other land now or formerly on said Andrew 198.95 feet more or less to an iron pipe; thence westerly at an included angle of 93 degrees, 44 minutes and by a split rail fence and other land of said Andrew 100.21 feet more or less to the easterly sideline of said Seeley Avenue dedication; thence northerly by the easterly sideline of said Seeley Avenue dedication 199.54 feet more or less to the point of beginning.

The Grantor also hereby conveys to the Grantee such rights, if any, as the Grantor may have as owner of the above described property to maintain a connection from the above-described property to and with the sewer located in Seeley Avenue.

Being the same premises conveyed to the Grantor herein by deed of Helen R. Andrew dated June 18, 1965 and recorded in the Cumberland County Registry of Deeds in Book 2905, Page 308.

TO HAVE AND TO HOLD the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said Helen A. Malone, her heirs and assigns, to them and their use and behoof forever.

AND I do covenant with the said Grantee, her heirs and assigns, that I am lawfully seized in fee of the premises, and free of all encumbrances and that I have a good right to sell and convey the same to the said Grantee to hold as aforesaid; and that I and my heirs shall and will warrant and defend the same to the said Grantee, her heirs and assigns forever, against the lawful claims and demands of all persons.

(B1)

IN WITNESS WHEREOF, I, JANETTE CHASE the said Grantor hereunto set my hand and seal this 18th day of January, 1993.

Signed, Sealed and Delivered
in presence of

[Signature]

Janette Chase
JANETTE CHASE

STATE OF MAINE
COUNTY OF CUMBERLAND, ss.

January 18, 1993

Then personally appeared the above named Janette Chase and acknowledged the foregoing to be her free act and deed.

Before me,

[Signature]
Notary Public/Attorney at Law

William P. Doherty

Recorded
Cumberland County
Registry of Deeds
01/19/93 01:43:03PM
John B. O'Brien
Register

B2

From: Marge Schmuckal
To: Ethan Boxer-Macomber
Date: Thu, Mar 10, 2005 12:23 PM
Subject: 45 Seeley Ave

Ethan,

I have reviewed the plans for this two dwelling unit. All the requirements of the R-5 Zone are being met. However, when I get scaled building plans, I need to verify the building height. It does look well under the 35' maximum allowed under the ordinance.

Marge Schmuckal
Zoning

From: Marge Schmuckal
To: Ethan Boxer-Macomber
Date: Thu, Mar 10, 2005 9:47 AM
Subject: Malone - 45 Seeley St

Ethan,
Can I get documentation from you showing that the zone was change from an R-3 to an R-5 zone?
Thanks,
Marge

45 Seely Ave
123-E-36

Permit #
05-0764

229-3530
653-8059

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
Component	Submitted Plan	Findings/Revisions/Dates
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	8" wall w / 8"x16" Ang	Foot # 282-7970 Diane D'Alv
① Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Need fabric	OK revised
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2" x 8" 6'-00 OK	
Lally Column Type (Section R407)	3- 1 3/4" LVL'S OK	
Girder & Header Spans (Table R 502.5(2))	OK	
Built-Up Wood Center Girder Dimension/Type	OK	
Sill/Band Joist Type & Dimensions	2x6 PT Shoc	
② First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	9 1/2" TJI'S - 14'	Need Spec Sheets
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	" " - 16'	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and	2x8'S - OK	OK

R802.4(2))		
Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x10's - 16" OC 14' span	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	Per IRC 3/4" Floor 5/8" Roof wale 7/16 OSB	
Fastener Schedule (Table R602.3(1) & (2))	Per IRC	
Private Garage (Section R309) Living Space? (Above or beside)	YES	
Fire separation (Section R309.2)	YES - 5/8" FB - OK	
Opening Protection (Section R309.1)	1 hour door - OK	
Emergency Escape and Rescue Openings (Section R310)	Not labeled	OK
Roof Covering (Chapter 9)	Asphalt?	OK
Safety Glazing (Section R308)	Window in Master Bath	OK
Attic Access (Section R807)	IF area over 30" high - need 22" x 30" Access	OK OK ? need in ceiling
Chimney Clearances/Fire Blocking (Chap. 10)	Not shown	OK
Header Schedule (Section 502.5(1) & (2))	Not shown	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-		OK

1

2

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8

Factor Fenestration		
Type of Heating System	Furnace	
Means of Egress (Sec R311 & R312) Basement 2 - Bulkhead + Stairs ? Exercise Room Number of Stairways 2 Interior 2 Exterior 0 Treads and Risers (Section R311.5.3) T - 11" OK w/nosing R - 6 13/16" OK Width (Section R311.5.1) 4' Headroom (Section R311.5.2) 6'-8" Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3) n/4		NO OK
→ 10 Smoke Detectors (Section R313) Location and type/Interconnected	Add condition	
→ 9 Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	Need Better detail	Walls & Floor & ceiling in Basement
Deck Construction (Section R502.2.1)	No deck shown	

DOYLE ENTERPRISES, INC.
286-1151

FACSIMILE TRANSMITTAL SHEET

TO: <i>Jeannie</i>	FROM: <i>April Wernig</i>
COMPANY:	DATE: <i>7/13/2005</i>
FAX NUMBER: <i>874 8716</i>	TOTAL NO. OF PAGES INCLUDING COVER: <i>2</i>
PHONE NUMBER:	SENDER'S REFERENCE NUMBER:
RE: <i>Common Wall Between units for</i>	YOUR REFERENCE NUMBER: <i>45 Seeley Ave Duplex</i>

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

NOTES/COMMENTS:

Jeannie,
Attached are STC ratings for using Nu-Wool insulation instead of fiberglass. The assembly that we are using is similar to the item in 2nd column, 4th down, stc 45 but we would use 5 1/2" new wool rather than the 3 1/2" spec'd. Alternatively, we could do the assembly in 1st column, 2nd from bottom, stc 53.
I can be reached by cell at 653-8059. Thanks

-April

DOYLE ENTERPRISES, INC.
110 MAIN ST. SUITE 1214
SACO, ME 04072
PHONE: (207) 286-1151
FAX: (207) 282-7970

STC ratings of wall assemblies insulated with Nu-Wool® WALLSEAL® insulation.

Testing done with full scale assemblies at Riverbank Acoustical Laboratories.

Some walls extrapolated from other data.

The diagrams and stated STC ratings listed below are intended to serve as a guide. Construction practices have an influence on final STC ratings. Nu-Wool® Company, Inc. cannot guarantee actual STC ratings. Flanking sound patterns, the integrity of the wall, and floor and ceiling construction are important factors in effective sound control.

Wood Stud Assemblies

STC	Description	Diagram
66	Double wood studs 16" o.c.; double layer 1/2" type "x" gypsum board each side; WALLSEAL® one side 3-1/2" thick.	
62	Double wood studs 16" o.c.; double layer 1/2" gypsum board one side, single layer other side; both cavities WALLSEAL® to thickness.	
61	Double wood studs 16" o.c.; single layer 1/2" gypsum board each side; both cavities WALLSEAL® to thickness.	
59	Double wood studs 16" o.c.; double layer 1/2" type "x" gypsum board one side, single layer other side; WALLSEAL® one side 3-1/2" thick.	
58	Double wood studs 16" o.c.; single layer 1/2" type "x" gypsum board each side; WALLSEAL® one side 3-1/2" thick.	
58	Double wood studs 16" o.c.; single layer 5/8" type "x" gypsum board each side; WALLSEAL® one side 3-1/2" thick.	
58	Single wood studs 16" o.c.; resilient channel one side; double layer 1/2" type "x" gypsum board each side; WALLSEAL® 3-1/2" thick.	
56	Staggered wood studs 24" o.c.; double layer 5/8" type "x" gypsum board each side; WALLSEAL® one side 3 1/2" thick.	
54	Staggered wood studs 24" o.c.; double layer 5/8" type "x" gypsum board one side, single layer other side; WALLSEAL® one side 3-1/2" thick.	
54	Single wood studs 16" o.c.; resilient channel; single layer 5/8" type "x" gypsum board one side, double layer other side; WALLSEAL® 3-1/2" thick.	
53	Staggered wood studs 16" o.c.; single layer 1/2" gypsum board each side; both cavities WALLSEAL® to thickness.	
52	Staggered wood studs, 16" o.c.; single layer 5/8" type "x" gypsum board each side; WALLSEAL® one side 3-1/2" thick.	

Wood Stud Assemblies (cont.)

STC	Description	Diagram
51	Single wood studs 16" o.c.; resilient channel one side; single layer 5/8" type "x" gypsum board each side; WALLSEAL® 3-1/2" thick.	
48	Single wood studs 16" o.c.; resilient channel one side; single layer 1/2" type "x" gypsum board each side; WALLSEAL® 3-1/2" thick.	
47	Single wood studs 16" o.c.; double layer 1/2" type "x" gypsum board each side; WALLSEAL® 3-1/2" thick.	
45	Single wood studs 16" o.c.; single layer 5/8" type "x" gypsum board each side; WALLSEAL® 3-1/2" thick.	
42	Single wood studs 16" o.c.; double layer 1/2" gypsum board one side, single layer 1/2" gypsum board other side; WALLSEAL® 3-1/2" thick.	
41	Single wood studs 16" o.c.; single layer 1/2" type "x" gypsum board each side; WALLSEAL® 3-1/2" thick.	

Steel Stud Assemblies

STC	Description	Diagram
60	Single steel studs 15" o.c.; resilient channel one side; double layer 5/8" type "x" gypsum board each side; WALLSEAL® 3-1/2" thick.	
58	Single steel studs 15" o.c.; resilient channel one side; double layer 1/2" type "x" gypsum board each side; WALLSEAL® 3-1/2" thick.	
54	Single steel studs 15" o.c.; resilient channel one side, one layer, 5/8" gypsum board each side; WALLSEAL® 3-5/8" thick.	
52	Single steel studs 15" o.c.; resilient channel one side; single layer 5/8" type "x" gypsum board each side; WALLSEAL® 3-1/2" thick.	
46	Single steel studs 16" o.c.; single layer 1/2" gypsum board each side; WALLSEAL® 3-1/2" thick.	

For more information, contact the Technical Services Department of Nu-Wool® Company, Inc. at 1-800-748-0128.

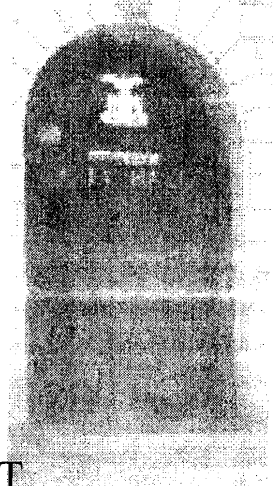
NU-WOOL
 COMPANY INC.
 1-800-748-0128
 www.nuwool.com

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City of Portland
INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693
Facsimile: 207-874-8716



FACSIMILE TRANSMISSION COVER SHEET

TO: <u>Diane Doyle</u>	FROM: <u>Tammy Munson</u>
FAX NUMBER: <u>282-7970</u>	NUMBER OF PAGES, WITH COVER: <u>4</u>
TELEPHONE: _____	RE: _____
DATE: _____	_____

Comments: *My number is 874-8706*
Jeanie is 874-8715
I spoke w/ Jeanie about your permit - she can help next week if you need to start.
Tammy

MALONE RESIDENCE
PORTLAND PLANNING BOARD

MARCH 1, 2005



d o y l e
e n t e r p r i s e s



FRONT ELEVATION
1/4" = 1'-0"

PROPOSED RESIDENCE FOR:

HELEN MALONE
45 Seeley Avenue
Portland, Maine

BUILDER:

DOYLE ENTERPRISES
16 TIFFANY LANE
SACO, MAINE

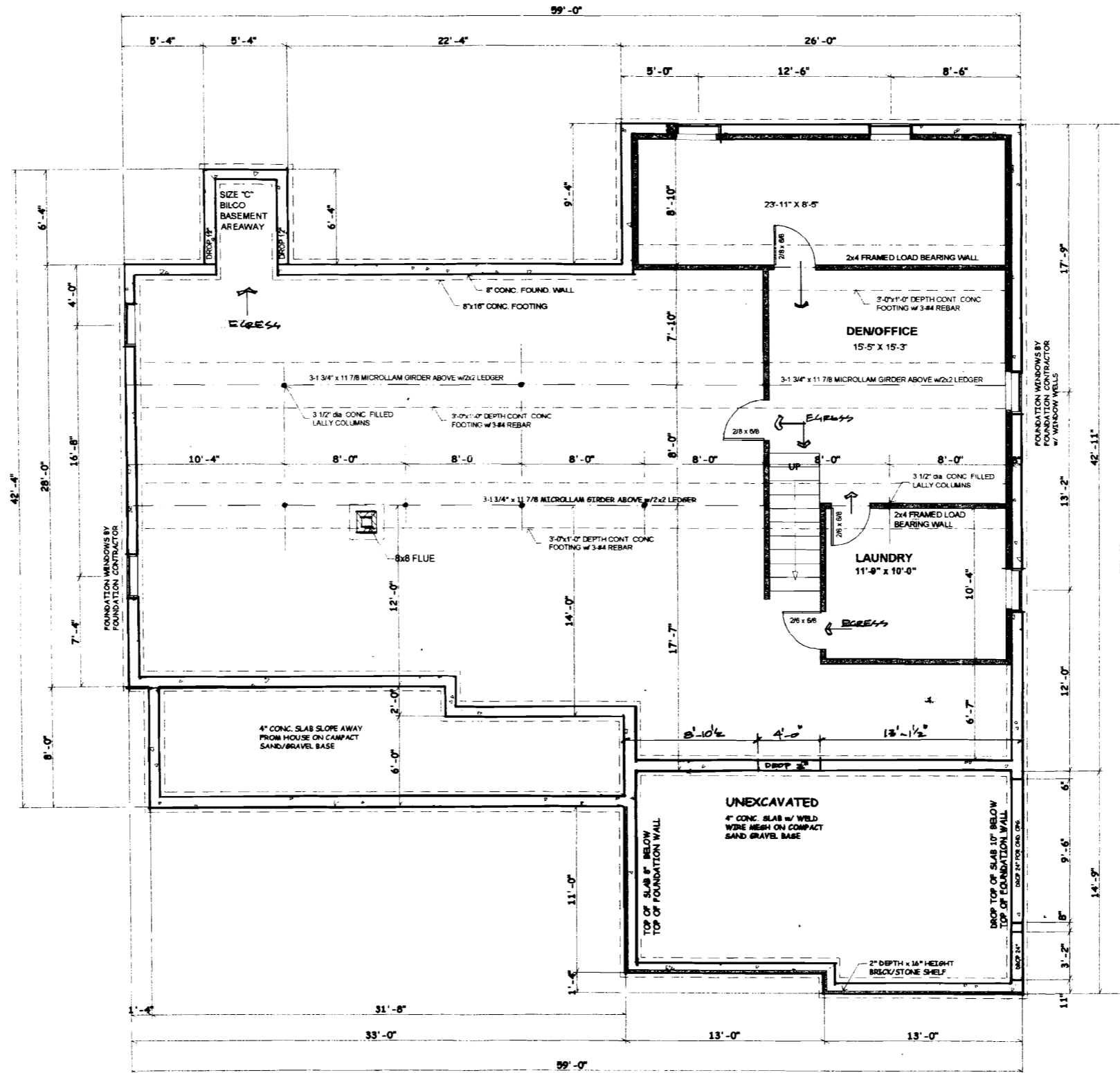
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUL - 8 2005
RECEIVED

123 E 36

455 Seeley

653-8059
April

1 in hand H-2007 - 4-5-06 MALONE RESIDENCE PORTLAND



FOUNDATION/BASEMENT PLAN

NOTES:

1. BOND OUT FOR WATER AND SEWER TO BE FIELD LOCATED BY CONTRACTOR.
2. SUMP PUMP and/or FLOOR DRAIN TO BE FIELD LOCATED BY CONTRACTOR.
3. CONCRETE SHALL BE 2500psi FOR FOOTINGS AND 3000psi FOR WALLS AND SLAB.
4. GARAGE FLOOR SLAB AND EXTERIOR FLATWORK MUST BE 3500psi MIN WITH AIR ENTRAINMENT.
5. ANCHOR BOLTS (1/2" dia. x 8") OR FOUND. STRAPS AT EACH COR. EACH WAY AT 6'-0" O.C.
6. FOUNDATION WALLS HAVE 2 - #4 REBAR CONTINUOUS HORIZONTAL AT TOP OF WALL.
7. FOUNDATION FOOTING DRAINS SHALL BE 4" dia. PERFORATED DRAIN PIPE EACH SIDE OF FOUNDATION WALL, AND SLOPED TO POSITIVE DRAIN TO DAYLIGHT OR SUMP PIT OR DRYWELL.
8. UNDER SLAB DRAIN TILE TO BE TIED INTO 4" dia. PVC PIPE THAT IS VENTED THRU ROOF FOR RADON CONTROL.
9. SOIL BEARING ASSUMED TO BE 2000.
10. FOUNDATION WALLS SHALL BE COATED WITH ASPHALT WATERPROOFING BELOW FINISH GRADE.
11. FINAL HEIGHT OF FOUNDATION WALLS TO BE FIELD DETERMINED PER SITE CONDITIONS, TO ALLOW FOR DAYLIGHT OR PARTIAL DAYLIGHT BASEMENT.

NOTE: THIS DRAWING IS INTENDED FOR INFORMATIONAL PURPOSE ONLY. IF USED FOR CONSTRUCTION, MUST BE APPROVED BY THE LOCAL BUILDING DEPARTMENT. DIMENSION AND SUGGESTED CONSTRUCTION MUST BE VERIFIED BY THE LOCAL BUILDING DEPARTMENT. THIS DRAWING HAS BEEN STAMPED BY A LICENSED ENGINEER, JERRY DUGAL ASSUMES NO LIABILITY FOR STRUCTURAL SOUNDNESS OF THE DESIGN CONTAINED HEREIN. ALL DRAWINGS ARE INTENDED TO REFLECT STANDARD BUILDING PRACTICE AND ALL WORK MUST CONFORM TO NATIONAL AND LOCAL BUILDING CODES.

BUILDER:

d o y l e enterprises

Diane Doyle
President
16 Tiffany Lane
Seco, Maine 04072
Tel. 207.286.3930
Fax. 207.282.7970

DRAWING TITLE: **FOUNDATION PLAN**

DRAWINGS PREPARED BY: **JERRY DUGAL & CO. INC.**
1036 Pinkham Brook Rd
Durham, ME, 04222
Tel. 207-353-5915
Fax. 207-353-1638

PROPOSED ADDITION FOR:

HELEN MALONE
45 Seeley Ave.
Portland, Maine

SCALE: 3/16" = 1'-0"

DRAWN BY: *[Signature]*

CHECKED BY:

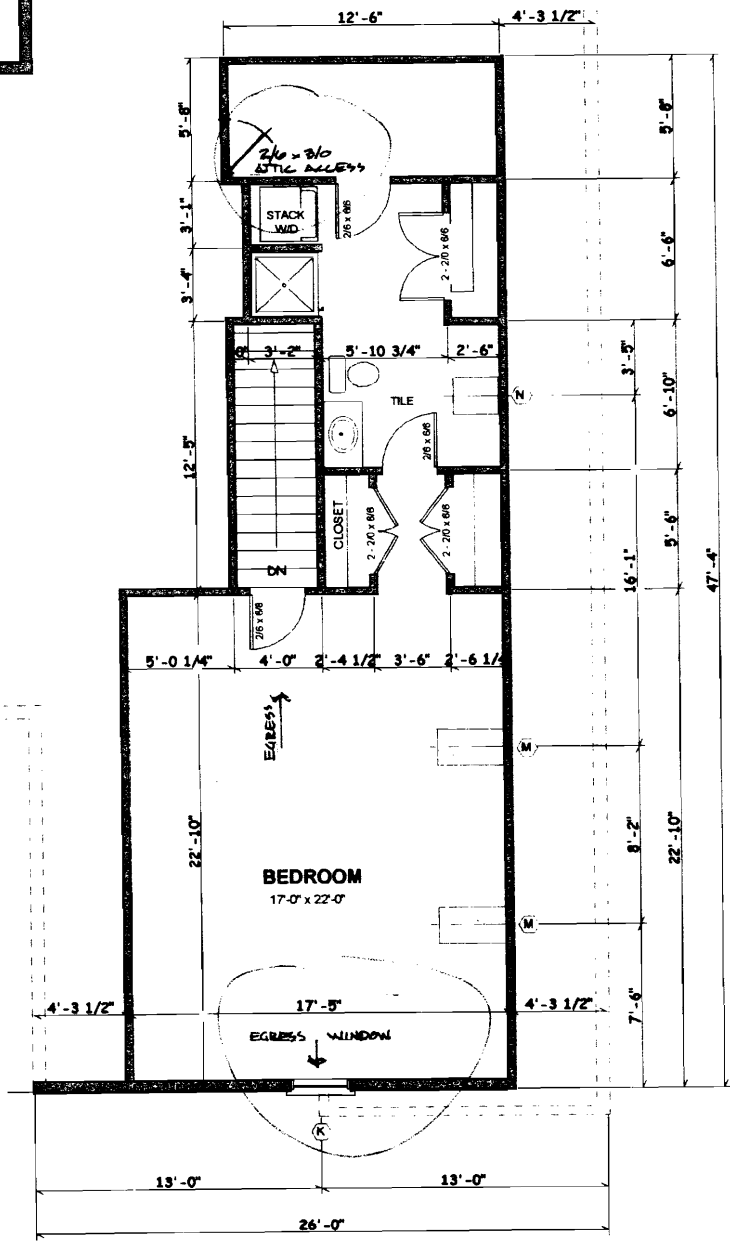
REVISIONS:
1. 7-5-05
2.
3.

PROJECT NUMBER: **H-0507**

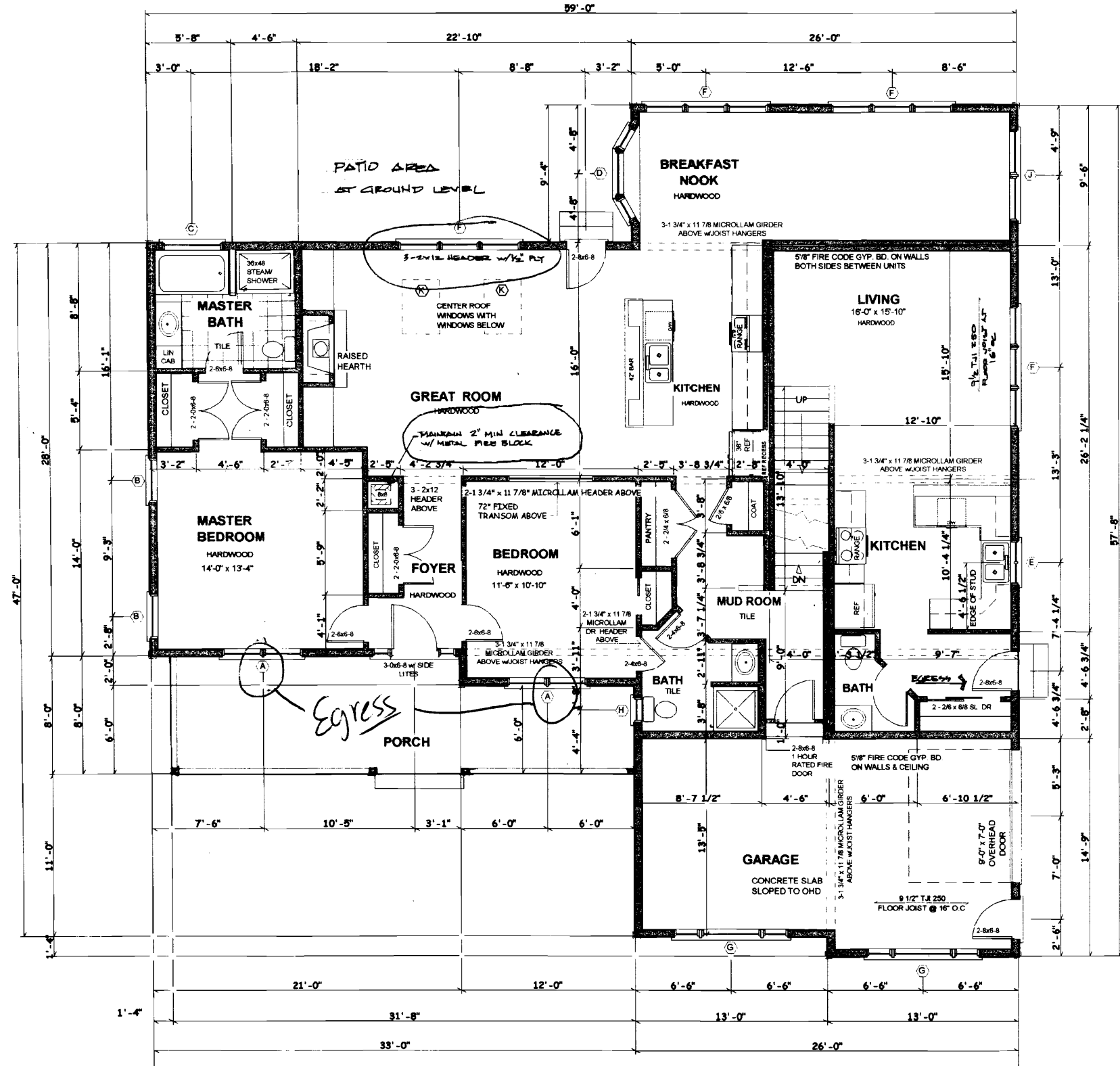
DATE: **4-5-05**

DRAWING NUMBER: **F-1**

SHEET NO. **2 of 6**



SECOND FLOOR PLAN



FIRST FLOOR PLAN

FIRST FLOOR MAIN UNIT	1616 sq. ft.	FIRST FLOOR 2nd. UNIT	500 sq. ft.	2720 sq. ft.
GARAGE	386 sq. ft.	SECOND FLOOR 2nd UNIT	704 sq. ft.	368 sq. ft.
TOTAL MAIN UNIT	1882 sq. ft.	TOTAL 2 nd. UNIT	1204 sq. ft.	3088 sq. ft.

MARK	QTY.	TYPE	DESCRIPTION	ROUGH OPENING	REMARKS	MARK	QTY.	TYPE	DESCRIPTION	ROUGH OPENING	REMARKS
A	2	TWIN DOUBLE HUNG	EAGLE DH 2806	64 1/2" x 66 1/2"	INSUL. GLASS, SCREENS & GRILL	H	1	CASEMENT	EAGLE CNT 1820	20 1/2" x 24 1/2"	INSUL. GLASS, SCREENS & GRILL
B	2	DOUBLE HUNG	EAGLE DH 3050	36 1/2" x 60 1/2"	INSUL. GLASS, SCREENS & GRILL	J	1	AWNING	EAGLE CNT 2840	24 1/2" x 72 1/2"	INSUL. GLASS, SCREENS & GRILL
C	1	AWNING	EAGLE AWH 4030	48 1/2" x 36 1/2"	INSUL. GLASS, SCREENS & GRILL	K	3	CASEMENT	EAGLE CNT 2840	32 1/2" x 48 1/2"	INSUL. GLASS, SCREENS & GRILL
D	1	DH ANGLE BAY 30 deg	EAGLE 1806/3406/1806	79 11/16" x 66 1/2"	INSUL. GLASS, SCREENS & GRILL						
E	1	TWIN CASEMENT	EAGLE CNT 18 3/4 34 - 2	30" x 40 1/2"	INSUL. GLASS, SCREEN	M	2	ROOF WINDOW	VELUX VS306	30 1/2" x 46 7/8"	INSUL. GLASS, SCREENS
F	4	TRIPLE DOUBLE HUNG	EAGLE DH 2806 - 3	96 1/2" x 66 1/2"	INSUL. GLASS, SCREENS & GRILL	N	1	ROOF WINDOW	VELUX VS304	30 1/2" x 39"	INSUL. GLASS, SCREENS
G	2	DH-PICTURE-DH	EAGLE DH1800-P4000-DH1800	88 1/2" x 60 1/2"	INSUL. GLASS, SCREENS & GRILL						

NOTE: THIS DRAWING IS INTENDED FOR INFORMATIONAL PURPOSE ONLY. IF USED FOR CONSTRUCTION, MUST BE VERIFIED IN THE FIELD UNLESS THIS DRAWING HAS BEEN STAMPED BY A LICENSED ENGINEER. JERRY DUGAL ASSUMES NO LIABILITY FOR STRUCTURAL SOUNNESS OF THE DESIGN CONTAINED HEREIN. ALL DRAWINGS ARE TO BE INTERPRETED IN ACCORDANCE WITH NATIONAL AND LOCAL BUILDING CODES.

d o y l e
enterprises

Diane Doyle
President
16 Tiffany Lane
Saco, Maine 04072
Tel. 207.286.3930 Fax. 207.282.7970

BUTLER:

DRAWING TITLE:
JERRY DUGAL & CO. INC.
1036 Pinkham Brook Rd
Durham, ME 04222
Tel. 207-353-5915 Fax. 207-353-1638

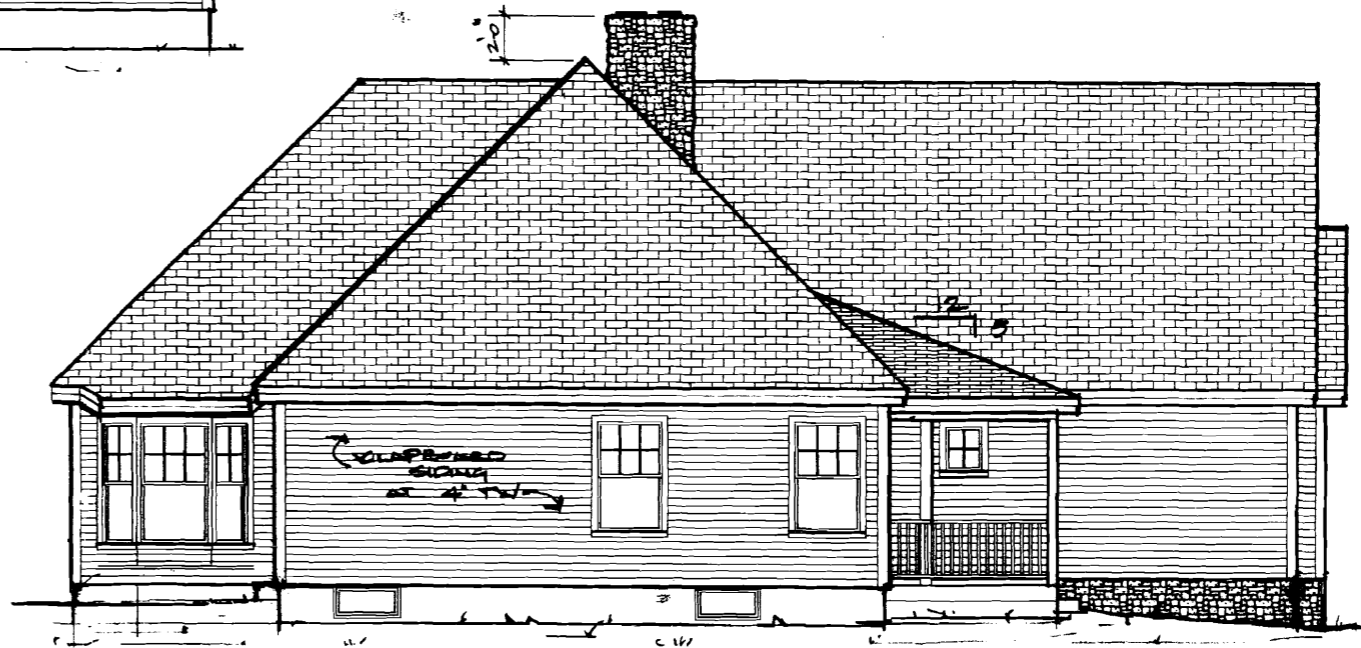
PROPOSED ADDITION FOR:
HELEN MALONE
45 Seelye Ave.
Portland, Maine

SCALE: 3/16" = 1'-0"
DRAWN BY: [Signature]
CHECKED BY: [Signature]
REVISIONS:
1. 7-5-05
2.
3.

PROJECT NUMBER: H-0507
DATE: 4-5-05
DRAWING NUMBER: A-1
SHEET NO. 2 of 6



RIGHT ELEVATION



LEFT ELEVATION



BACK ELEVATION

SIZE 'C' BILD
BASEMENT DRIVEWAY

NOTE: THIS DRAWING IS INTENDED FOR INFORMATIONAL PURPOSE ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION OF DIMENSION AND SUGGESTED CONSTRUCTION. MUST BE VERIFIED IN THE FIELD UNLESS THIS DRAWING HAS BEEN STAMPED BY A LICENSED ENGINEER. JERRY DUGAL ASSUMES NO LIABILITY FOR STRUCTURAL SOUNDNESS OF THE DESIGN CONTAINED HEREIN. ALL DRAWINGS ARE INTENDED TO REFLECT STANDARD BUILDING PRACTICE AND ALL WORK MUST CONFORM TO NATIONAL AND LOCAL BUILDING CODES.

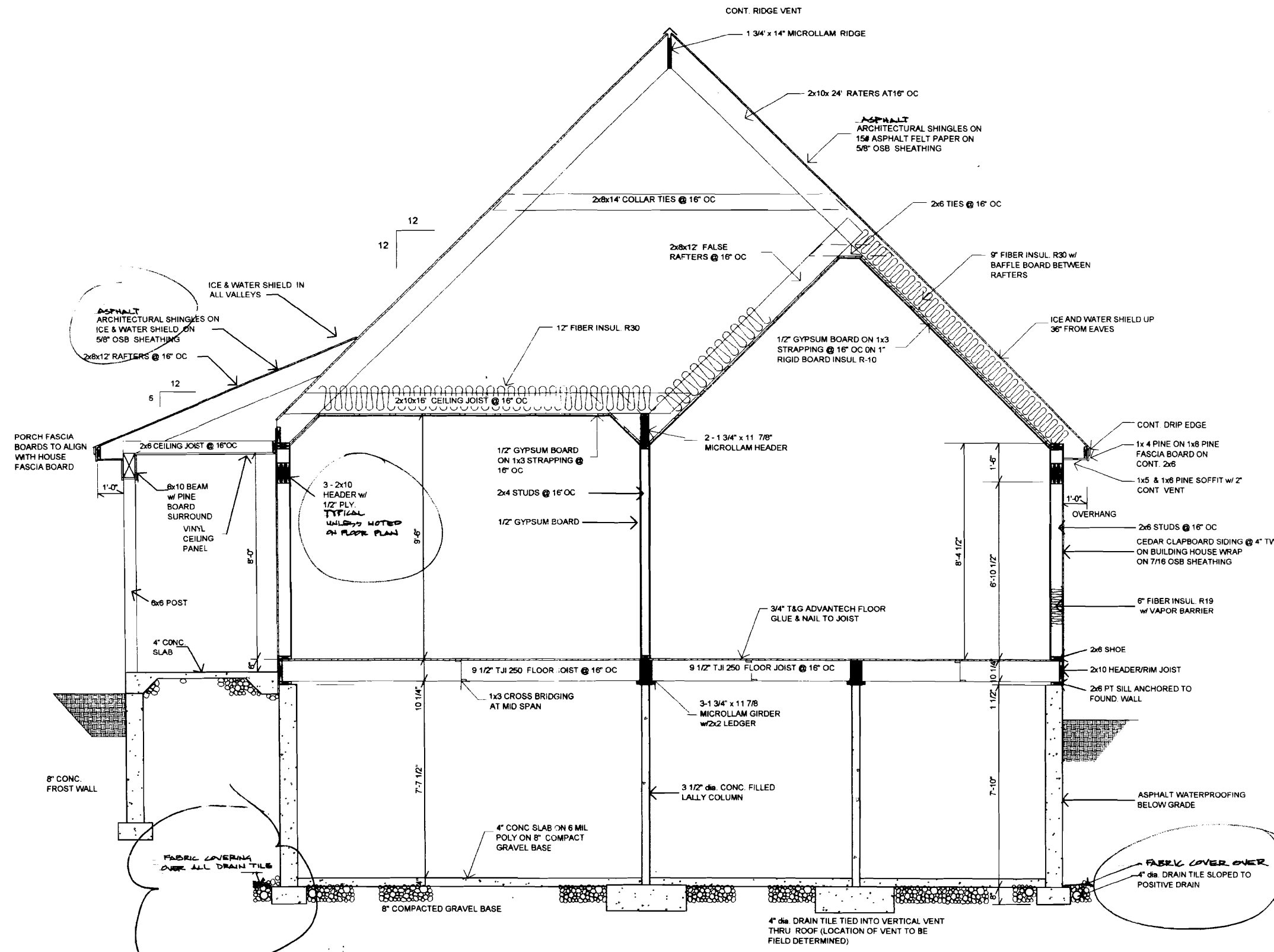
BUILDER:
d o y l e
 enterprises
 16 Tiffany Lane
 Seco, Maine 04072
 Tel. 207.286.9530
 Fax. 207.282.7970

DRAWING TITLE:
ELEVATIONS
 DRAWINGS PREPARED BY:
JERRY DUGAL & CO. INC.
 1036 Pritcham Brook Rd
 Durham ME, 04222
 Tel. 207-353-5915
 Fax. 207-353-1638

PROPOSED ADDITION FOR:
HELEN MALONE
45 Seeley Ave.
Portland, Maine

SCALE: 3/16" = 1'-0"
 DRAWN BY: *Jerry Dugal*
 CHECKED BY:
 REVISIONS:
 1
 2
 3

PROJECT NUMBER:
H-0507
 DATE:
4-5-05
 DRAWING NUMBER:
A-2
 SHEET NO. **4**



HOUSE SECTION

NOTE: THIS DRAWING IS INTENDED FOR INFORMATIONAL PURPOSE ONLY. IF USED FOR CONSTRUCTION, DIMENSION AND SUGGESTED CONSTRUCTION MUST BE VERIFIED IN THE FIELD UNLESS OTHERWISE SPECIFIED. THE DESIGNER ASSUMES NO LIABILITY FOR STRUCTURAL SOUNDNESS OF THE DESIGN CONTAINED HEREIN. ALL DRAWINGS ARE INTENDED TO REFLECT STANDARD BUILDING PRACTICE AND ALL WORK MUST CONFORM TO NATIONAL AND LOCAL BUILDING CODES.

Diene Doyle
President
16 Tiffany Lane
Saco, Maine 04072
Tel. 207-286-3530
Fax. 207-282-7970

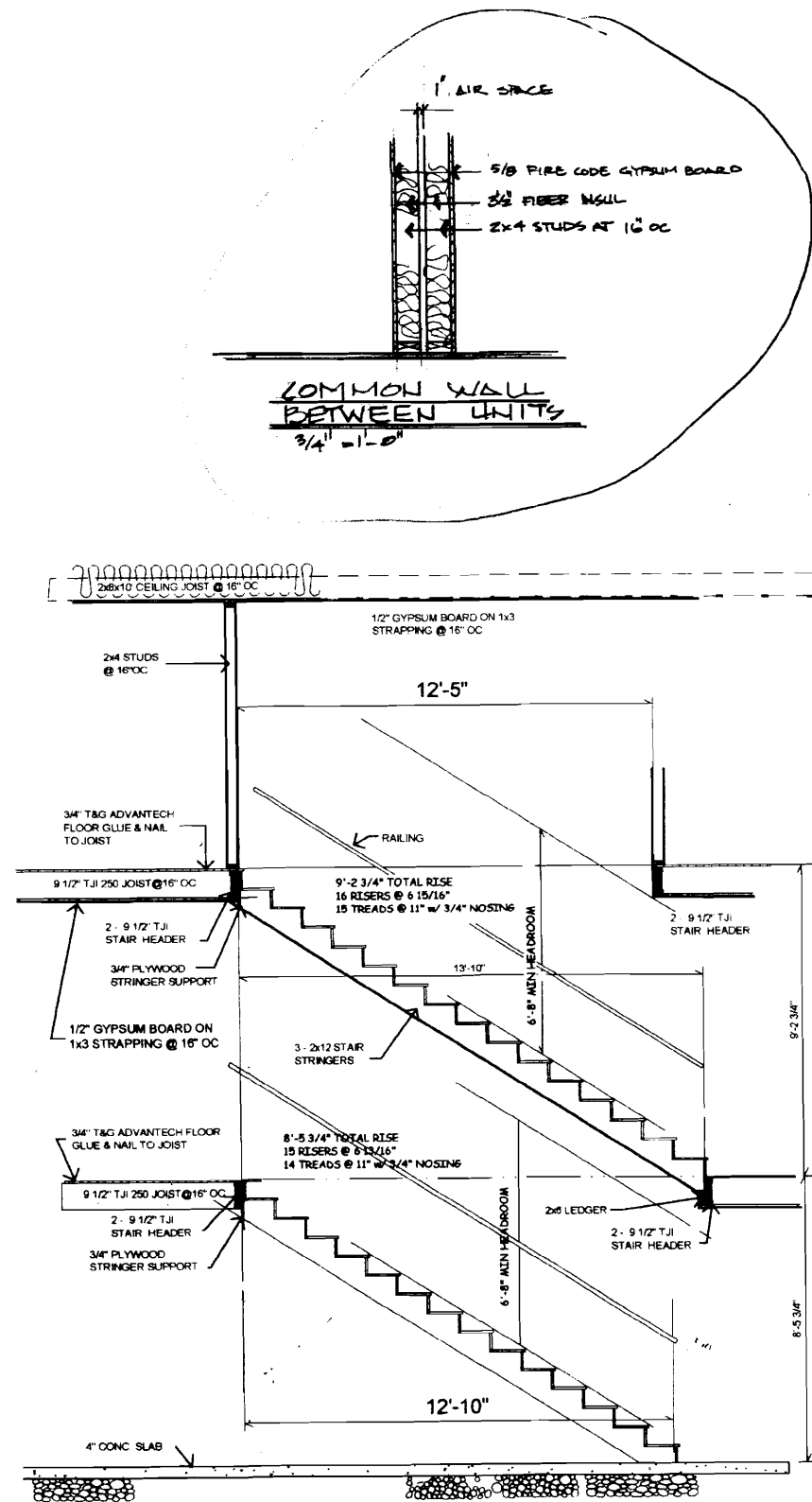
d o y l e enterprises

HOUSE CROSS SECTIONS
DRAWINGS PREPARED BY:
JERRY DUGAL & CO. INC.
1036 Pinkham Brook Rd
Durham, ME, 04222
Tel. 207-353-5915
Fax. 207-353-1638

PROPOSED ADDITION FOR:
HELEN MALONE
45 Seeley Ave.
Portland, Maine

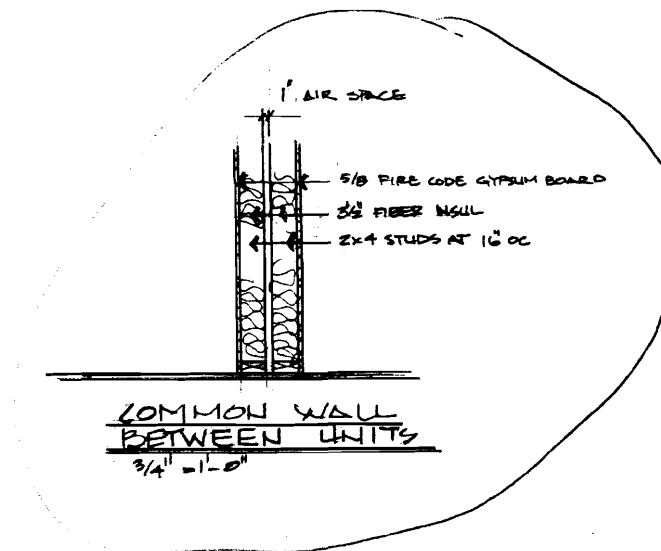
SCALE: 3/8" = 1'-0"
DRAWN BY: *CD*
CHECKED BY:
REVISIONS:
1. 7-5-05
2.
3.

PROJECT NUMBER: **H-0507**
DATE: **4-5-05**
DRAWING NUMBER: **A-3**
SHEET NO: **5 of 6**

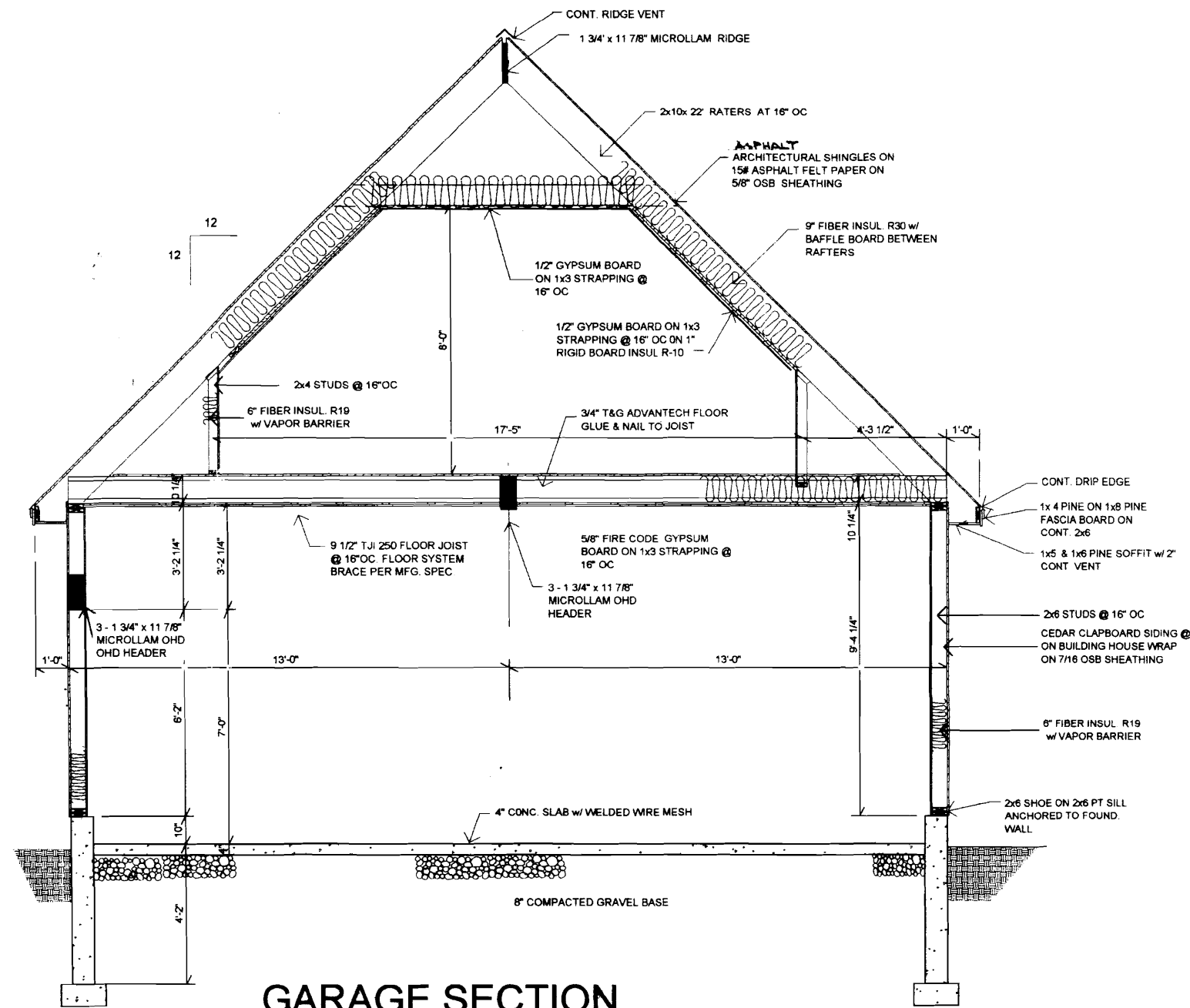


STAIR SECTION

SCALE: NTS



COMMON WALL BETWEEN UNITS
3/4" = 1'-0"



GARAGE SECTION

NOTE: THIS DRAWING IS INTENDED FOR INFORMATIONAL PURPOSE ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION OF DIMENSION AND SUGGESTED CONSTRUCTION. MUST BE VERIFIED IN THE FIELD UNLESS THIS DRAWING HAS BEEN STAMPED BY A LICENSED ENGINEER. JERRY DUGAL ASSUMES NO LIABILITY FOR STRUCTURAL DEFICIENCIES OR INADEQUACIES. THIS DRAWING IS INTENDED TO REFLECT STANDARD BUILDING PRACTICE AND ALL WORK MUST CONFORM TO NATIONAL AND LOCAL BUILDING CODES.

Builder:
Diane Doyle
President
16 Tiffany Lane
Saco, Maine
04072
Tel. 207.286.3530
Fax. 207.282.7970

doyle enterprises

DRAWING TITLE:
GARAGE & STAIR SECTIONS

DRAWINGS PREPARED BY:
JERRY DUGAL & CO. INC.
1036 Pinkham Brook Rd
Durham, ME 04222
Tel. 207-353-5915
Fax. 207-353-1638

PROPOSED ADDITION FOR:
HELEN MALONE
45 Seeley Ave.
Portland, Maine

SCALE: 3/8" = 1'-0"

DRAWN BY: [Signature]

CHECKED BY: [Signature]

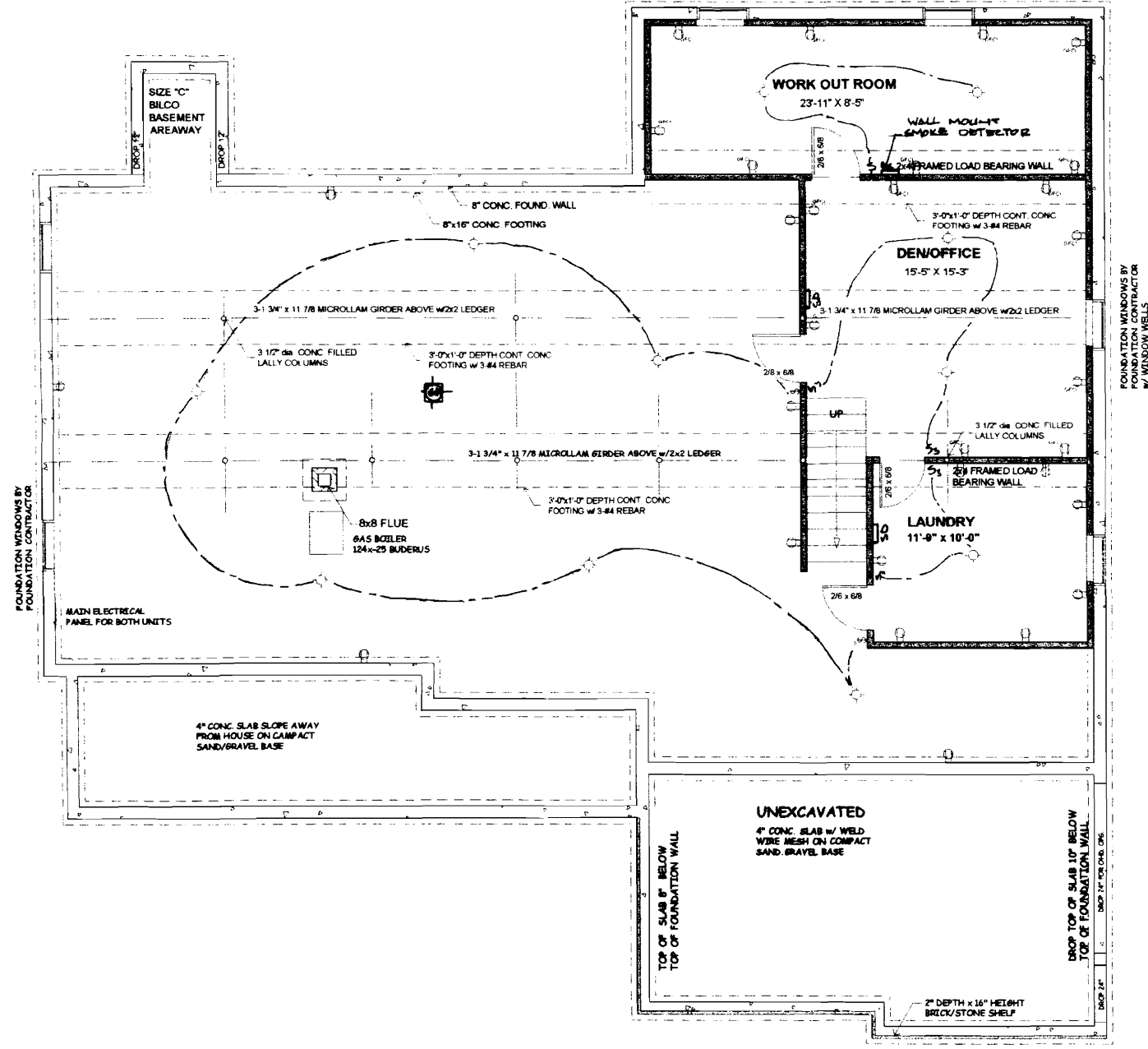
REVISIONS:
1. 7-5-05
2.
3.

PROJECT NUMBER: H-0507

DATE: 4-5-05

DRAWING NUMBER: A-4

SHEET NO: 1 of 4



BASEMENT PLAN

PROJECT NUMBER:
14.0507
DATE:
6-14-05
DRAWING NUMBER:
E-1
SHEET NO. 1 of 2

SCALE:
3/16" = 1'-0"
DRAWN BY:
G.P.
CHECKED BY:
REVISIONS:
1. 7-8-05
2.
3.

PROPOSED ADDITION FOR:
HELEN MALONE
45 Seeley Ave.
Portland, Maine

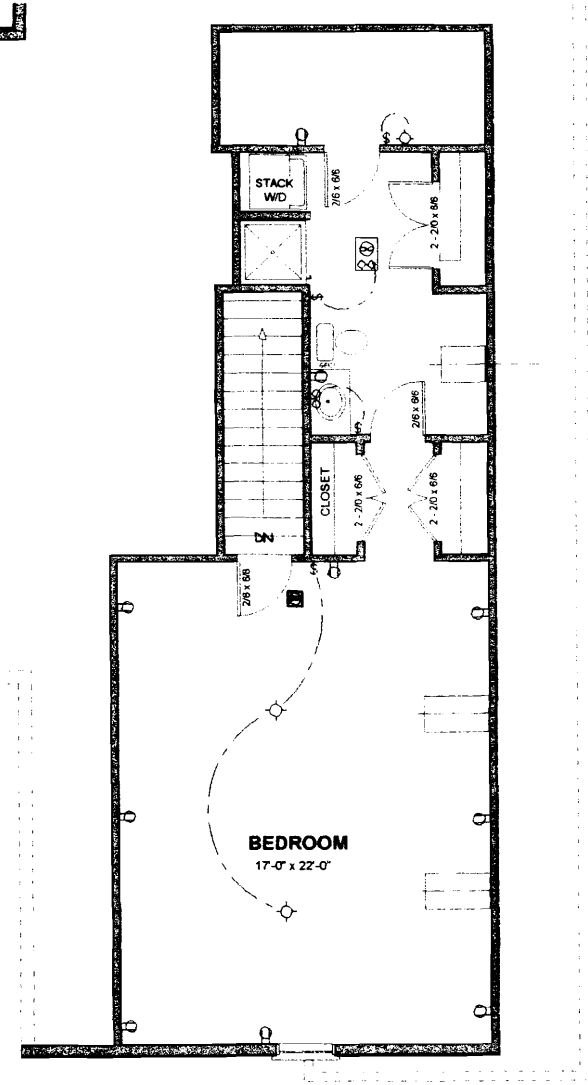
DRAWING TITLE:
BASEMENT ELECTRICAL PLAN
DRAWINGS PREPARED BY:
JERRY DUGAL & CO. INC.
1036 Phipham Brook Rd
Durham, ME, 04222
Tel. 207-353-9515
Fax 207-353-1638

BUILDER:
FOUNDATION WINDOWS BY FOUNDATION CONTRACTOR w/ WINDOW WELLS
BUILT BY:
FOUNDATION CONTRACTOR

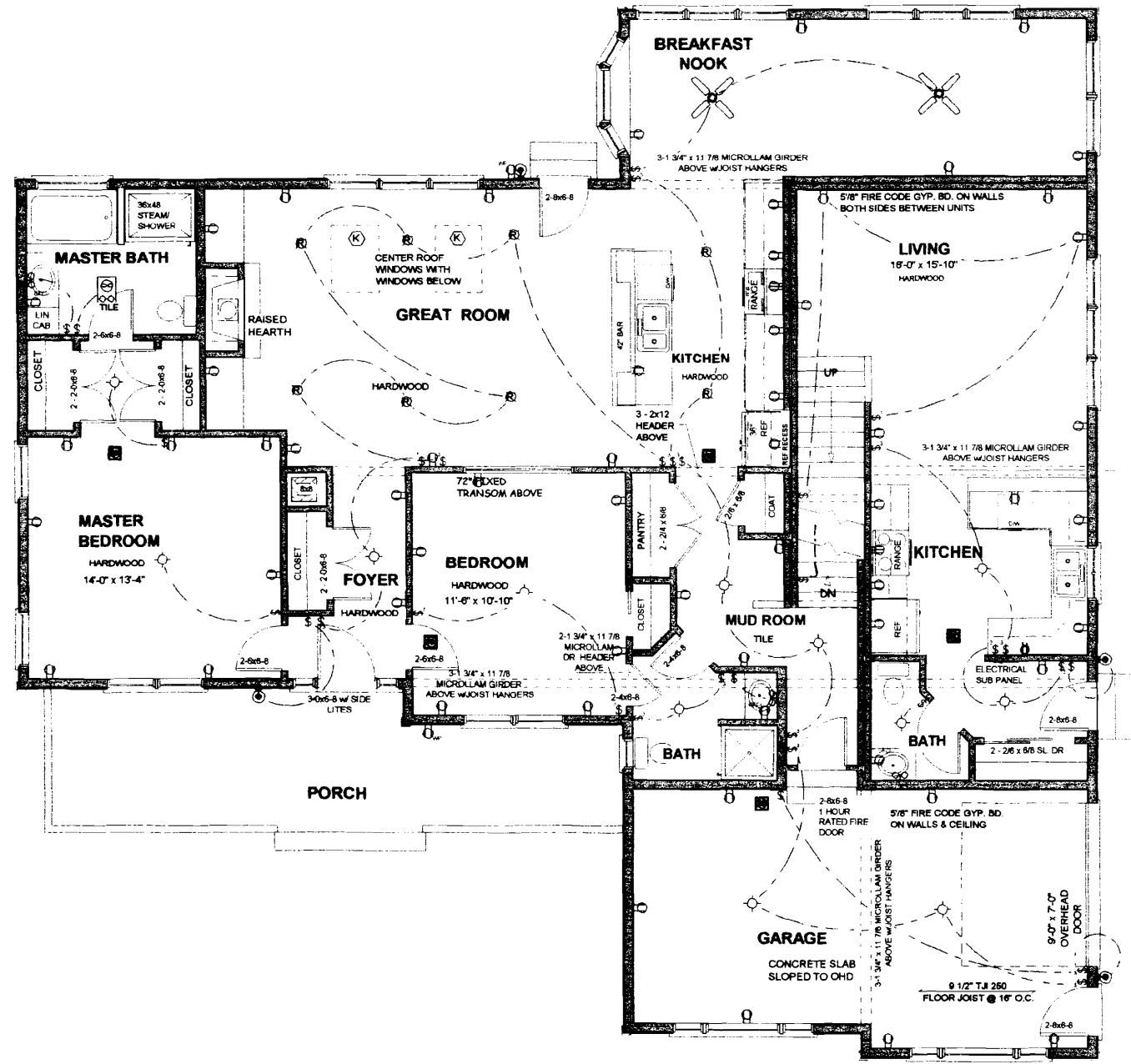
d o y l e
enterprises

Diane Doyle
President
16 Tiffany Lane
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SECOND FLOOR ELECTRICAL PLAN



FIRST FLOOR ELECTRICAL PLAN

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BUILDER: Diane Doyle, President, 16 Tiffany Lane, Scarborough, ME 04072, Tel: 207-286-3530, Fax: 207-282-7770

DRAWING TITLE: ELECTRICAL PLANS
 DRAWINGS PREPARED BY: JERRY DUGAL & CO. INC., 1036 Pinkham Brook Rd, Durham, ME, 04222, Tel: 207-353-3515, Fax: 207-353-1638

PROPOSED ADDITION FOR: HELEN MALONE, 45 Seelye Ave., Portland, Maine

SCALE: 3/16" = 1'-0"
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 REVISIONS: 1-1-05, 2-1-05, 3

PROJECT NUMBER: 4-0507
 DATE: 06-14-05
 DRAWING NUMBER: E-2
 SHEET NO: 2072