

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING PERMIT

PERMIT ISSUED
Permit Number: 050659
JUL - 5 2005
CITY OF PORTLAND

This is to certify that Myers Kristine K &/Colby C factor
has permission to Kitchen addition and rear deck

AT 41 Glenwood Ave 123 D010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permit is procured before this building or part thereof is laid or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

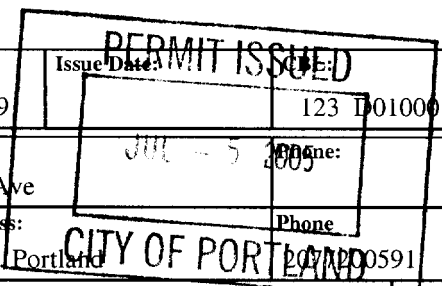
[Signature] 6/30/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0659	Issue Date: JUL - 5 2005	CE District: 123 D010001
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Location of Construction: 41 Glenwood Ave	Owner Name: Mvers Kristine K &	Owner Address: 41 Glenwood Ave
Business Name:	Contractor Name: Colby Contractor	Contractor Address: 6 Mussey St. S. Portland
Lessee/Buyer's Name	Phone:	Permit Type: R-5

Past Use: Single Family	Proposed Use: Single Family Kitchen Addition and Rear Deck	Permit Fee: \$372.00	Cost of Work: \$38,511.00	CEO District: 3	
Proposed Project Description: Kitchen addition and rear deck		FIRE DEPT: N/A	INSPECTION: Use Group: R-3 Type: SB IRC 2003		

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: dmartin	Date Applied For: 0513112005	Zoning Approval	
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<p>1.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 6/30/05	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 6/30/05
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

7/18/05 - checked set backs - OK - checked footing forms OK - OK to pour cement. jump

7/29/05 - Frost wall up - rebar in and wall looks OK - no obvious cracks or splits - OK to Backfill jump

9/21/05 - Close in - OK B/P/E - for rock form

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

41	
Total Square Footage of Proposed Structure <i>F</i>	Square Footage of Lot <i>1.2 F</i>
Tax Assessor's Chart, Block & Lot Chart# <i>123</i> Block# <i>D</i> Lot# <i>010</i>	Owner: <i>Christ. Richard Watson</i>
Telephone: <i>774 5151</i>	
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <i>Christine & Jacob Watson 774-5157</i>
cost Of Work: \$ <i>38,511.00</i> Fee: \$ <i>372.00</i>	
Current use: <u><i>Residence</i></u>	<div style="border: 2px solid black; padding: 5px;"> <p>DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME</p> <div style="border: 1px solid black; padding: 5px; margin: 5px 0;"> <p>MAY 27 2005</p> </div> <p>RECEIVED</p> </div>
If the location is currently vacant, what was prior use: _____	
Approximately how long has it been vacant: _____	
Proposed use: <u><i>Same Kitchen Addition & Rear Deck</i></u> Project description:	
Contractor's name, address & telephone: <i>774</i>	
Who should we contact when the permit is ready: _____	
Mailing address: <i>611</i>	
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____	

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Richard Watson</i>	Date: <i>5/27/05</i>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

#128

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

07/08/05
Date

[Signature]
Signature of Inspections Official

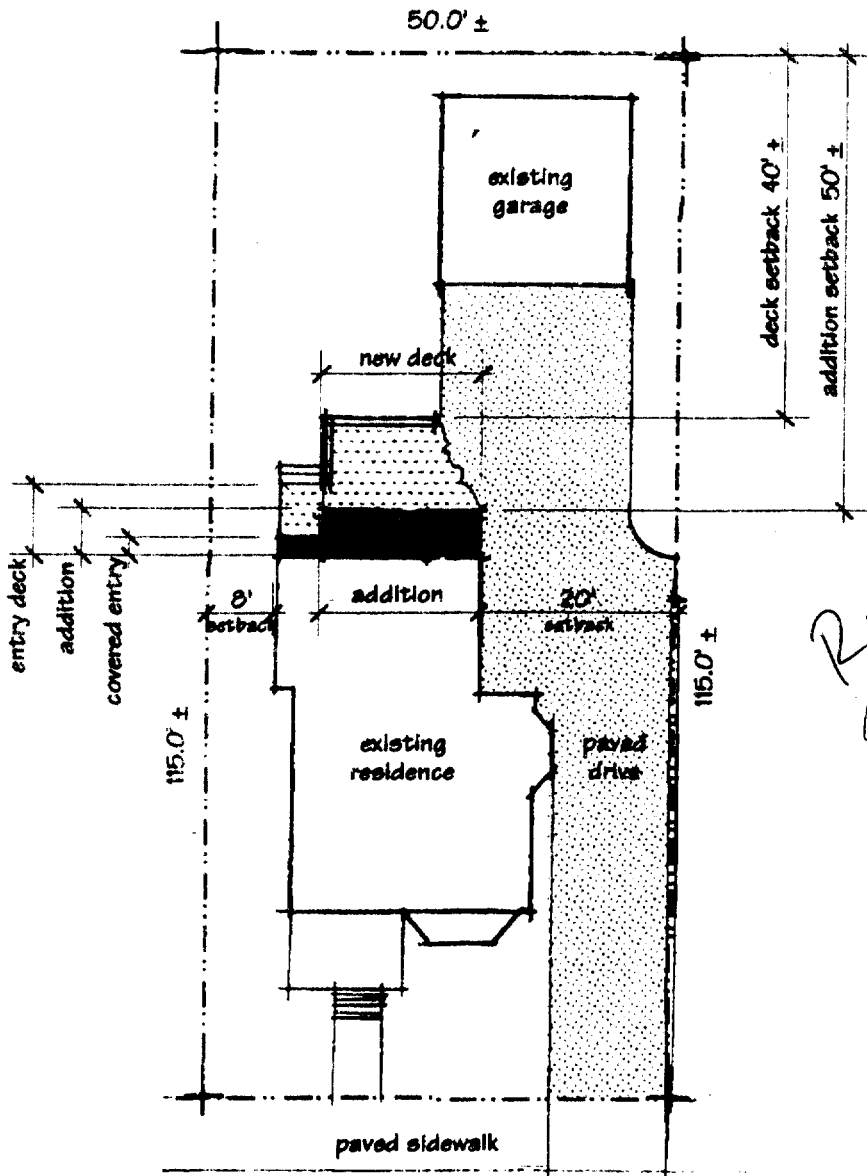
7/8/05
Date

CBL: 1730010 Building Permit #: 050659

PROPOSED SCHEMATIC SITE PLAN

MILA

Marilyn Leivian Architect
 77 Rackleff Street
 Portland • Maine 04103
 Phone 207•774•3668
 mirrchOmdn.rr.com



GLENWOOD AVENUE

TOTAL SITE AREA:	5,750 4F
EXISTING SITE COVERAGE:	1,440 SF - 11032
PROPOSED ADDITION COVERAGE:	95 SF - 150
PROPOSED DECK COVERAGE:	190 SF - 190
TOTAL SITE COVERAGE:	1,725 SF - 19720K
Allowable Site Coverage for R5:	40% 2,300 SF

41 GLENWOOD AVENUE

January 14, 2005

Portland, Maine

SCHEMATIC DESIGN • Site Plan
 1" = 20'-0"

These drawings are schematic in nature and are for layout information. All existing conditions shall be verified by the contractor. The drawings are the exclusive property of the Architect.

Sheet No. 1 of 6

MORTGAGE LOAN SECTION PLAN

No. 610-79

THE LENDING INSTITUTION AND ITS TITLE INSURER hereby certify that the location of the dwelling shown in this plan did conform with the local zoning laws in effect at the time of construction. The property does not fall within a special flood hazard zone.

41 GREENWOOD AVE.
PORTLAND, MAINE

BOOK _____ PAGE _____ COUNTY _____

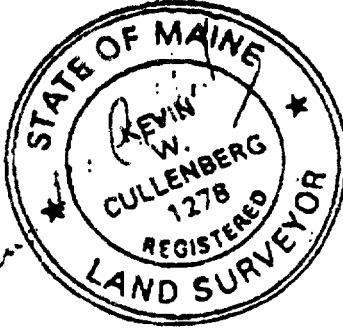
OWNER: _____

PLAN BOOK _____ PAGE _____ LOT _____

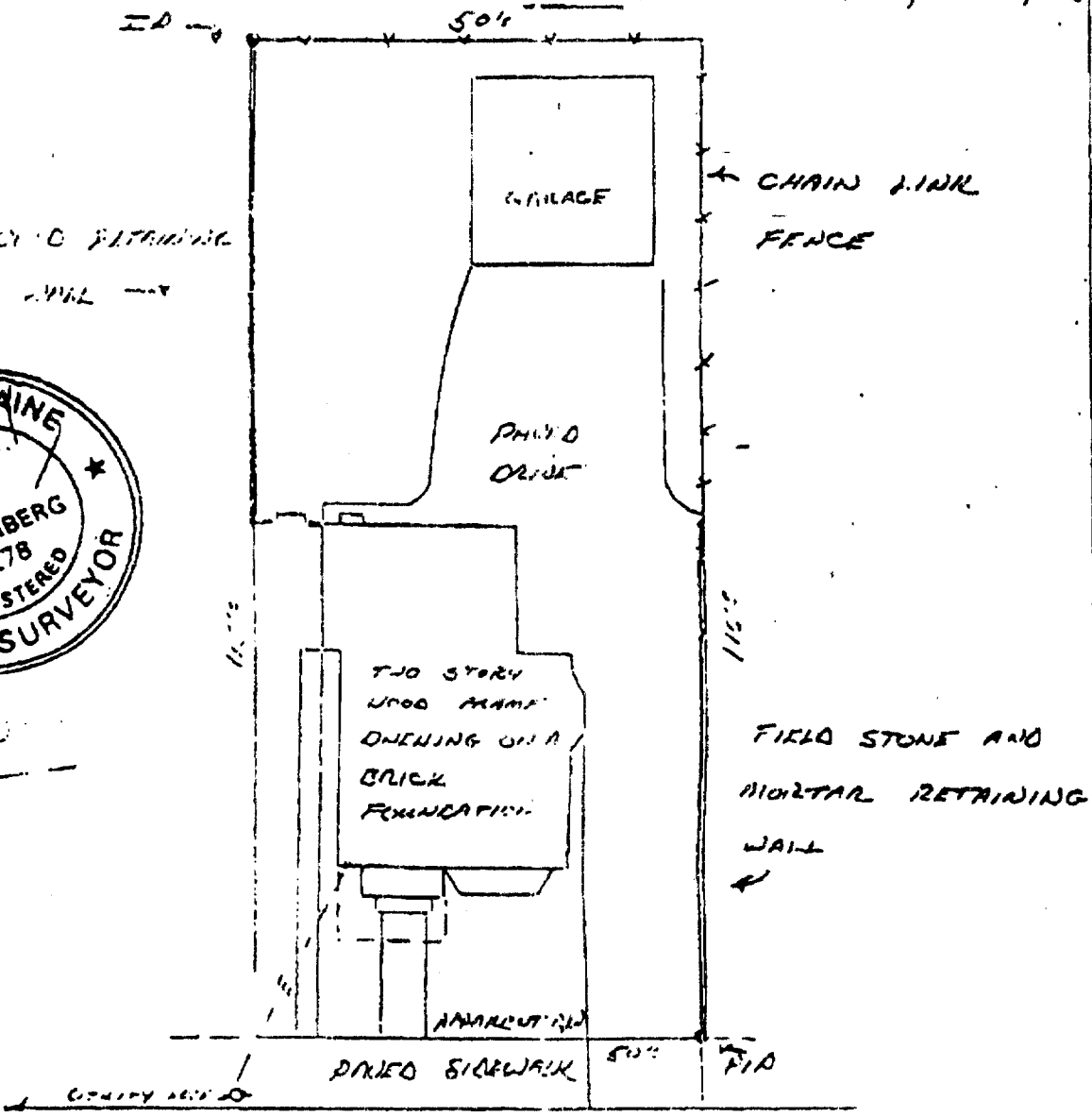
AND RICHARD L. WATSON

SELLER: RHEINLANDER, PHILIP, JR

CYD SITTING
WALK



[Handwritten signature]



TO THE FRONT OF
GLENWOOD AVENUE
(BETWEEN INDUS)

THIS IS NOT A BOUNDARY SURVEY. This plan is based solely on information provided by others and does not take into consideration any conflicts which adjoining descriptions may contain. This plan was not made from an instrument survey. No certifications are for mortgage purposes only. This plan applies only to conditions existing as of the date shown hereon. This plan is not for recording.

Date 6-1-82 Scale 1" = 30'

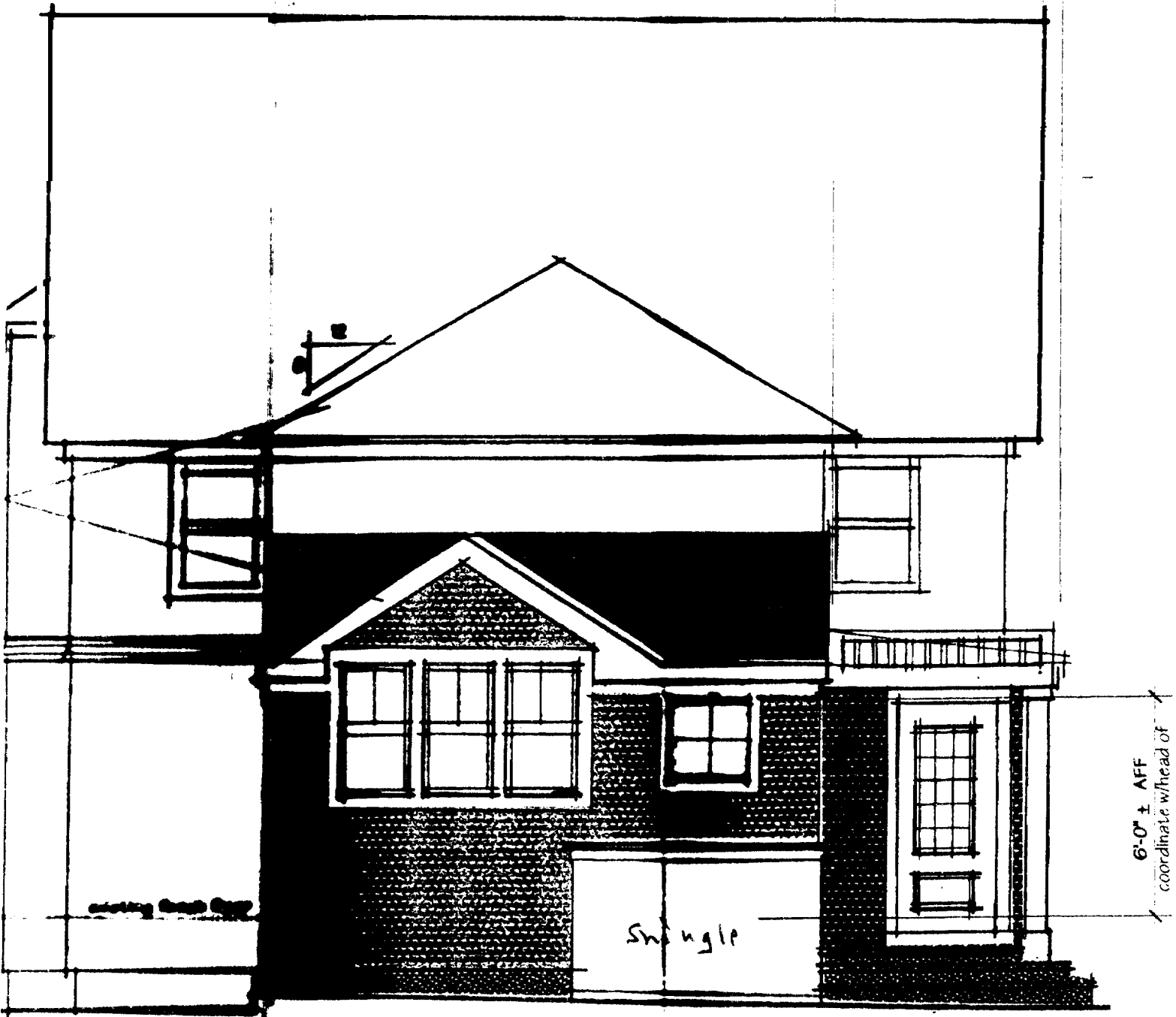
R.P. TITCOMB ASSOCIATES, INC. Falmouth, Maine Drawn By *[Signature]*

5

existing residence

addition

renovations



existing brick gable

Shingle

6'-0" ± AFF
coordinate w/head of
mainroom entry door

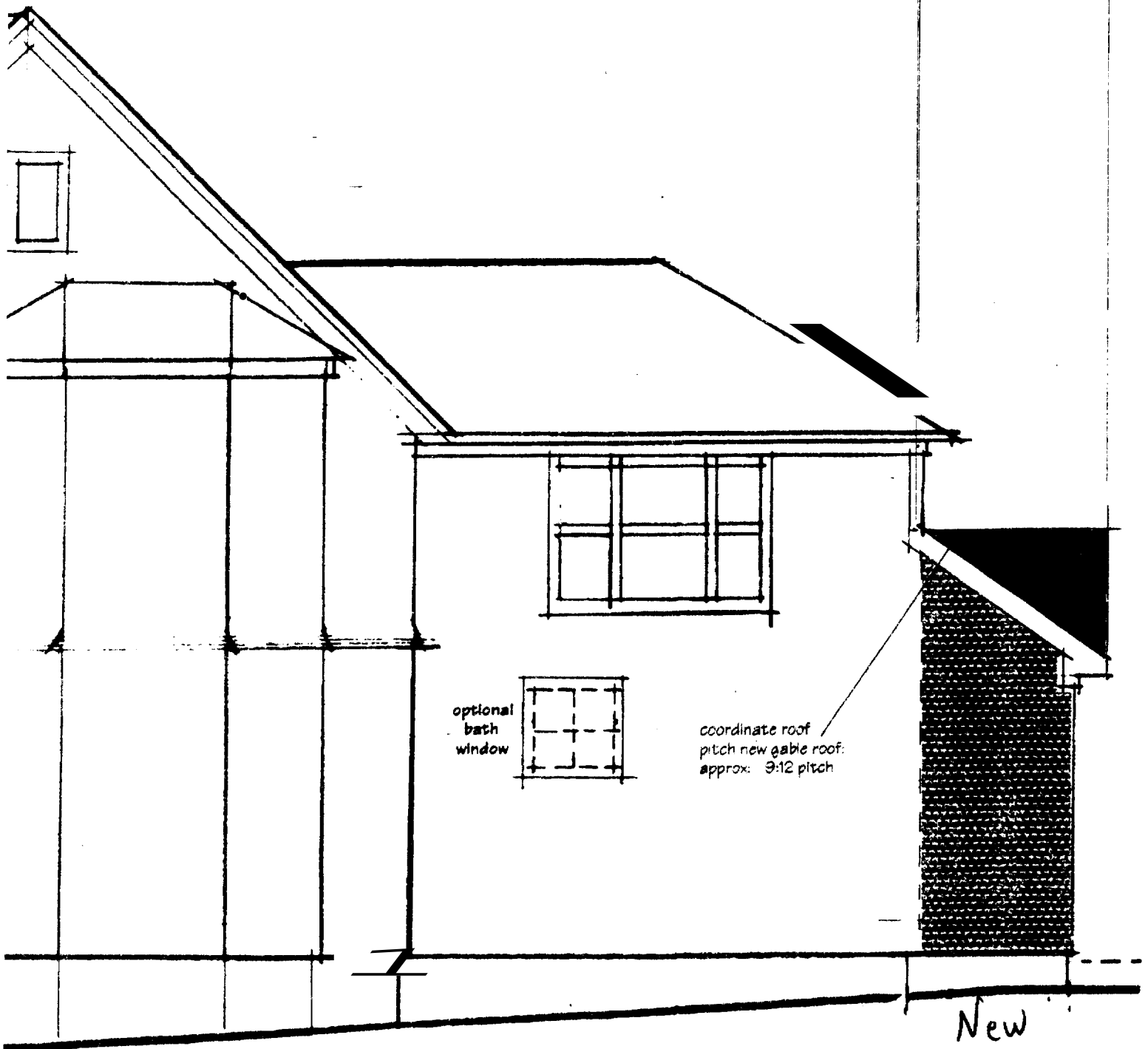
10'-0" ± gable
coordinate w/new window
placement & roof construction

EAST ELEVATION

6

existing residence

addition



SOUTH ELEVATION

e.

New

existing residence

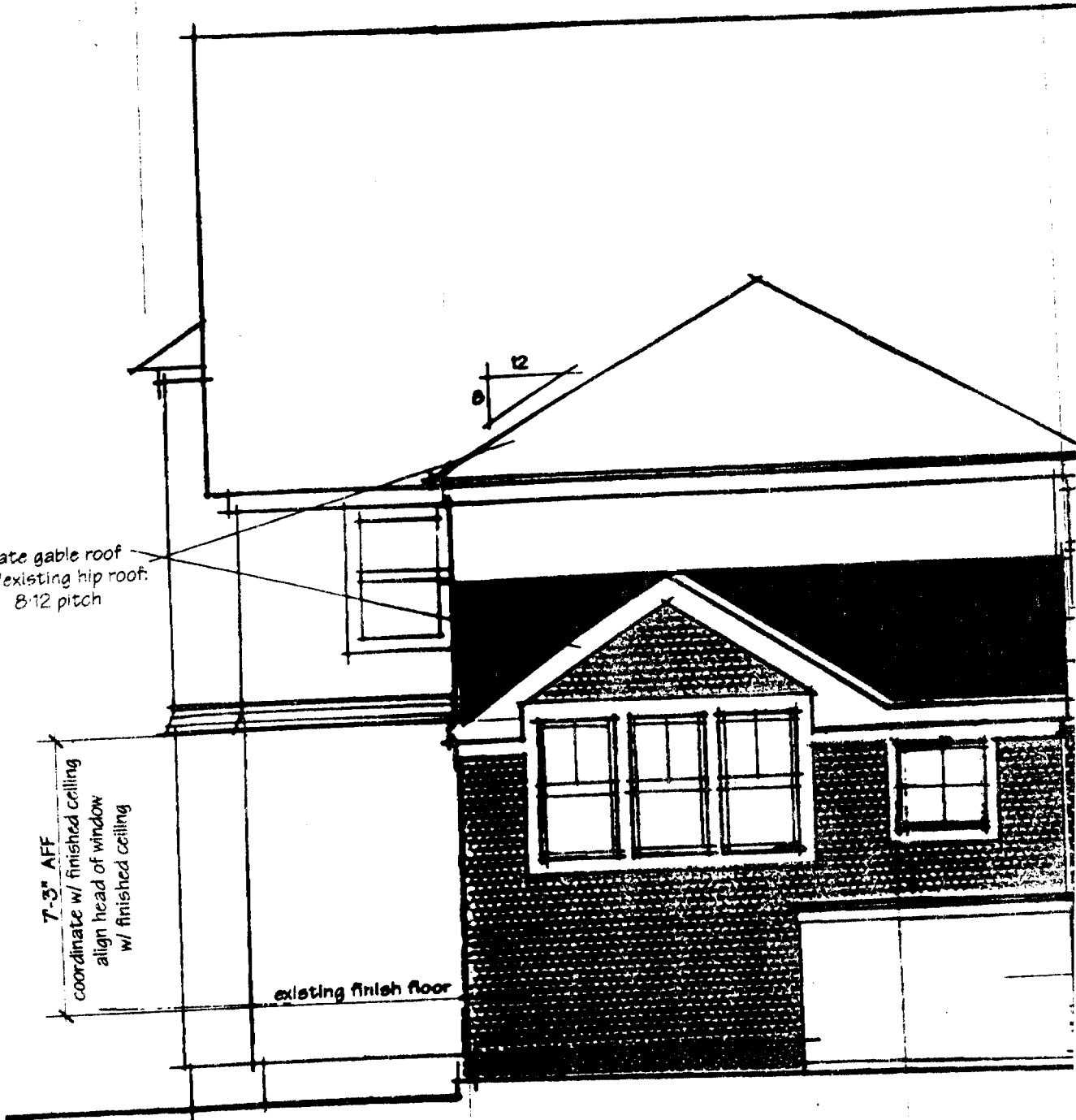
addition

coordinate gable roof
pitch w/existing hip roof:
approx: 8:12 pitch

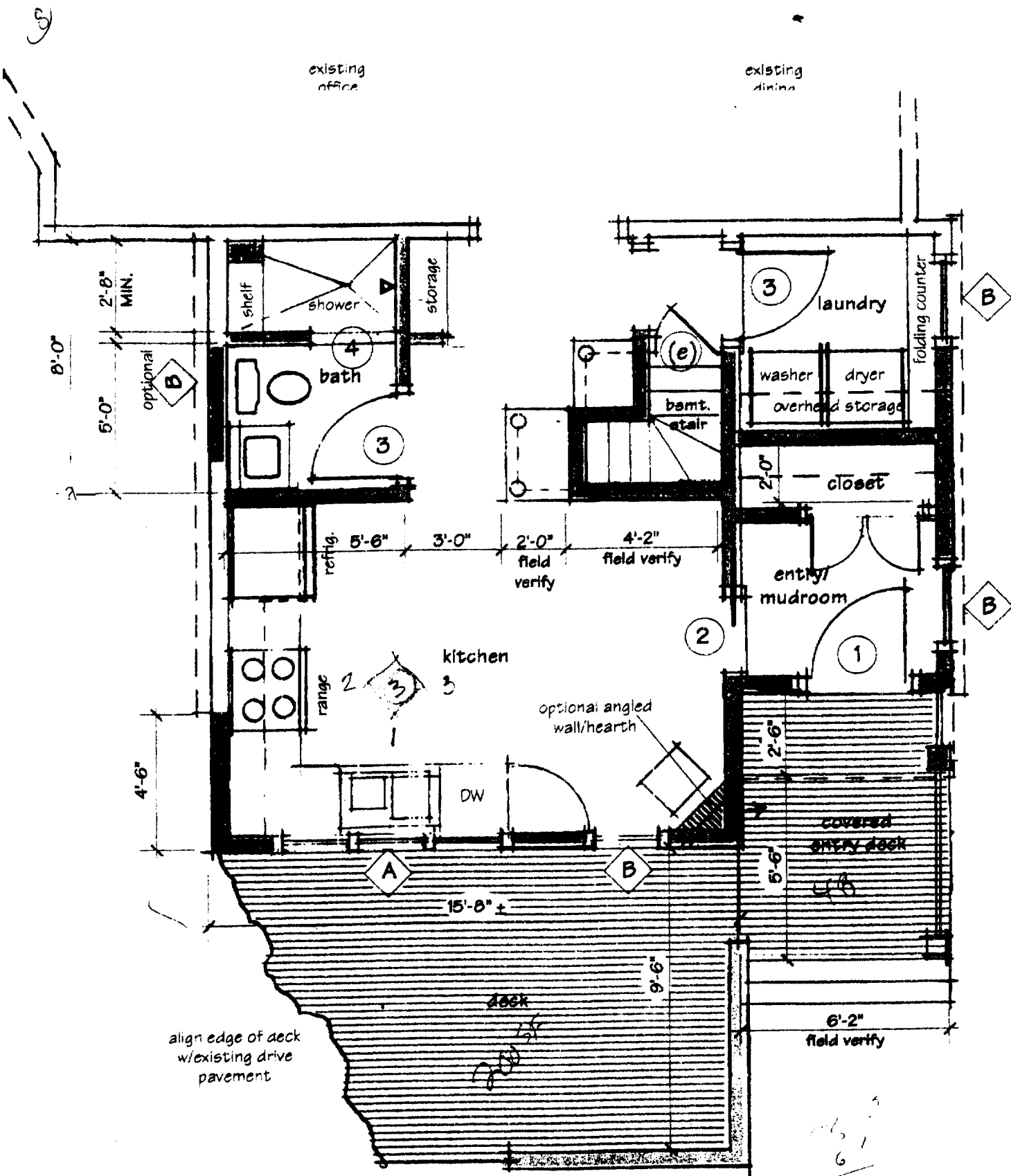
7'-3" AFF
coordinate w/ finished ceiling
align head of window
w/ finished ceiling

existing finish floor

10'-0" ± gable
coordinate w/new window
placement & roof construction



M
 Marilyn
 77Rack
 Portlan
 Phone
 mlarch



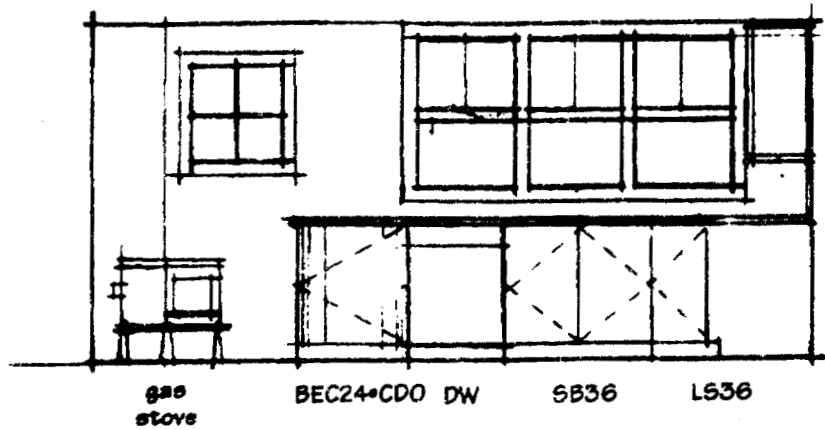
41 GLENWOOD AVENUE

KITCHEN/ENTRY PLAN
 1/4" = 1'-0"

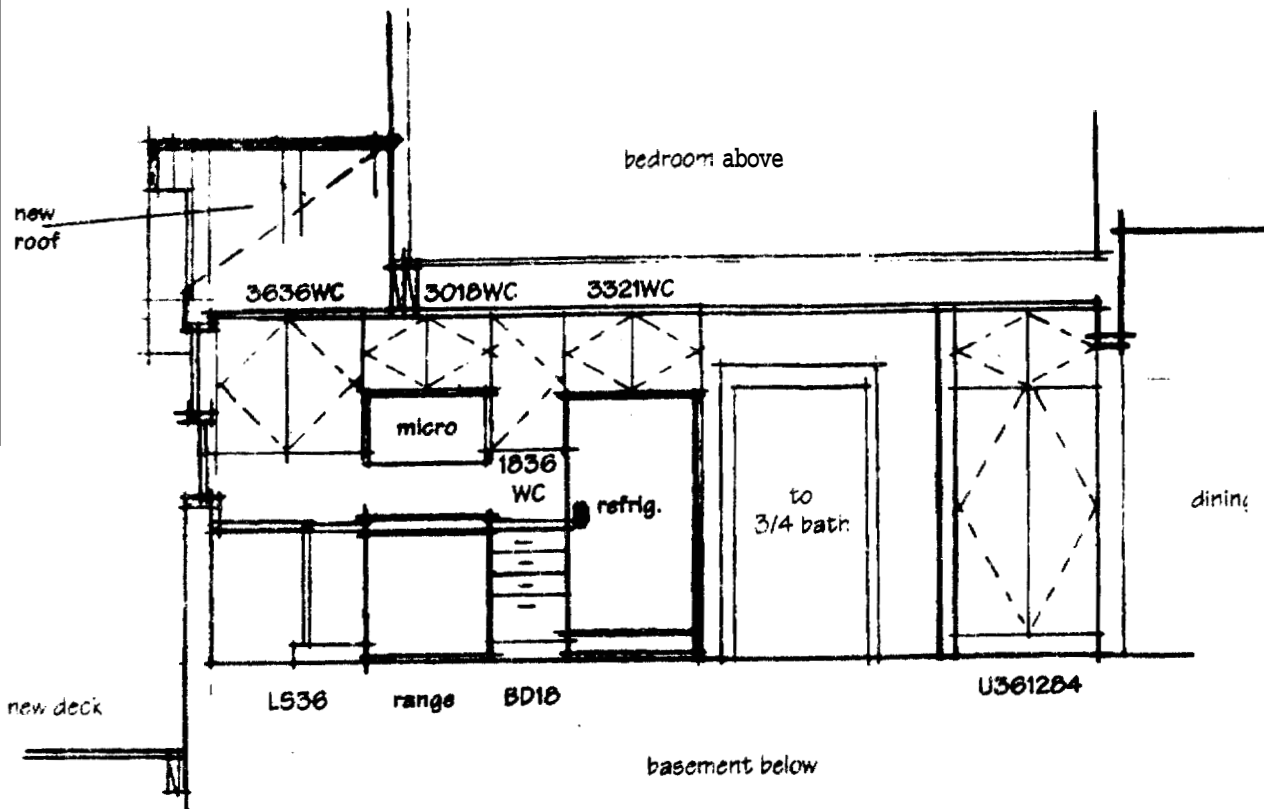
These
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9



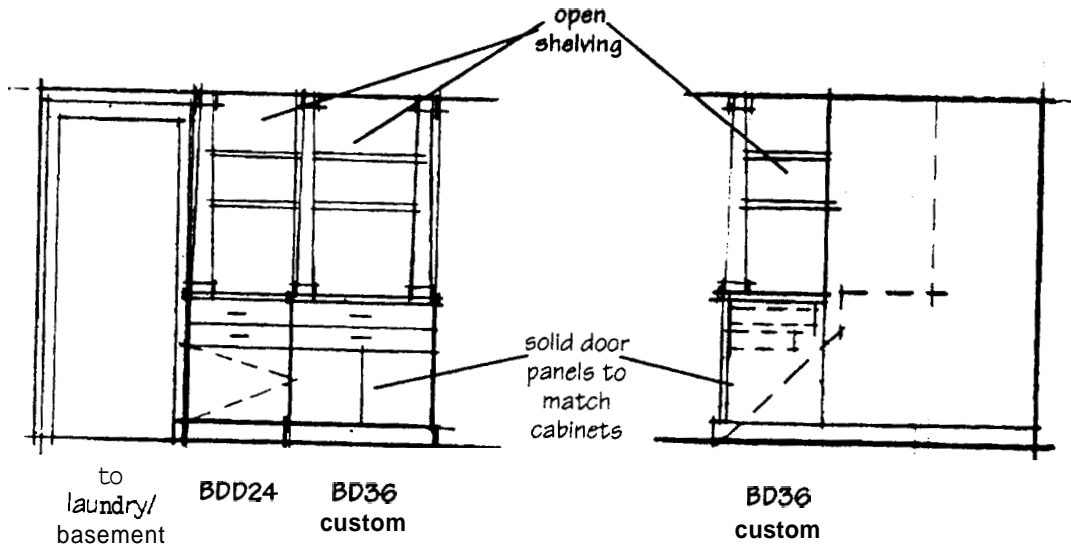
1 KITCHEN ELEVATION



2 KITCHEN ELEVATION/partial building section

M: 77 P: m:

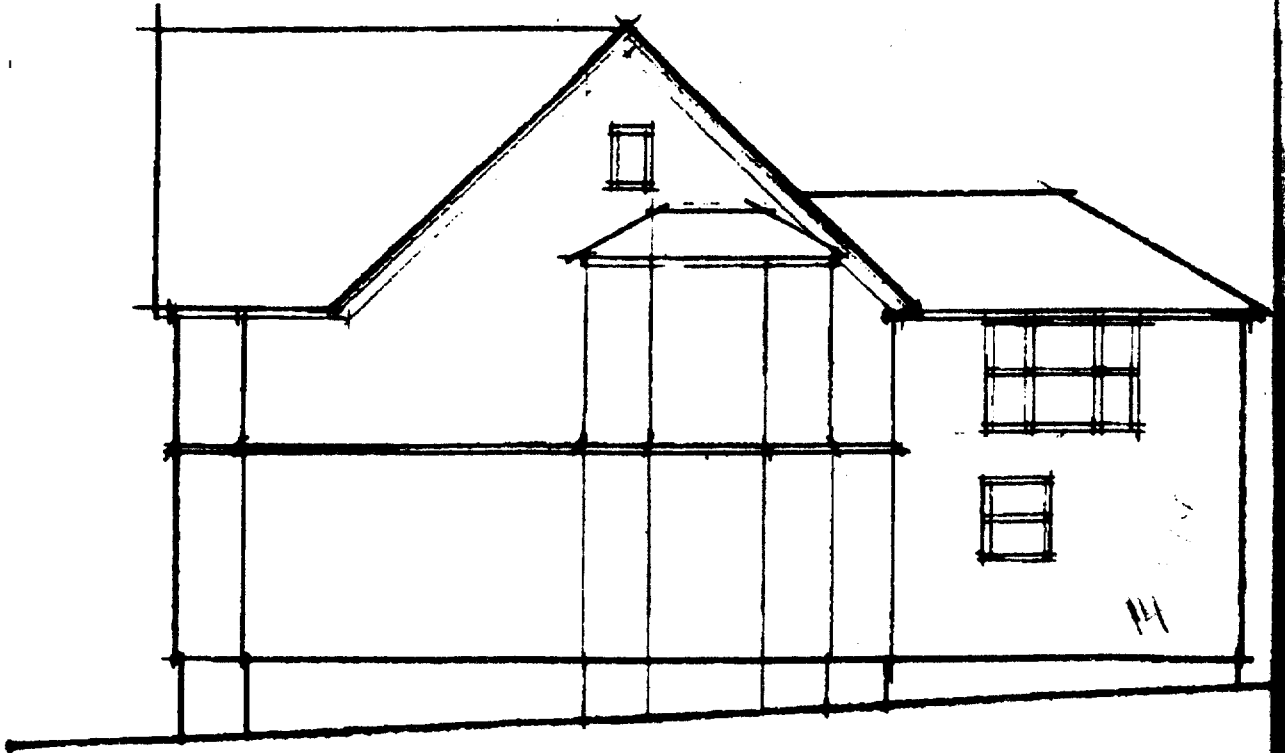
10



3 KITCHEN ELEVATION

side view of Elevation 3

11



SOUTH ELEVATION
1/8" = 1'-0"



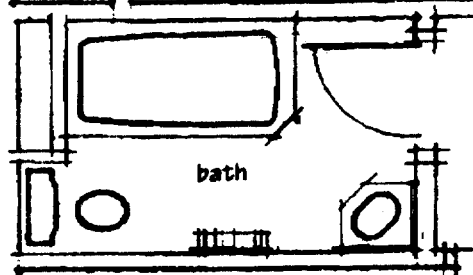
EAST ELEVATION
1/8" = 1'-0"

Existing

123

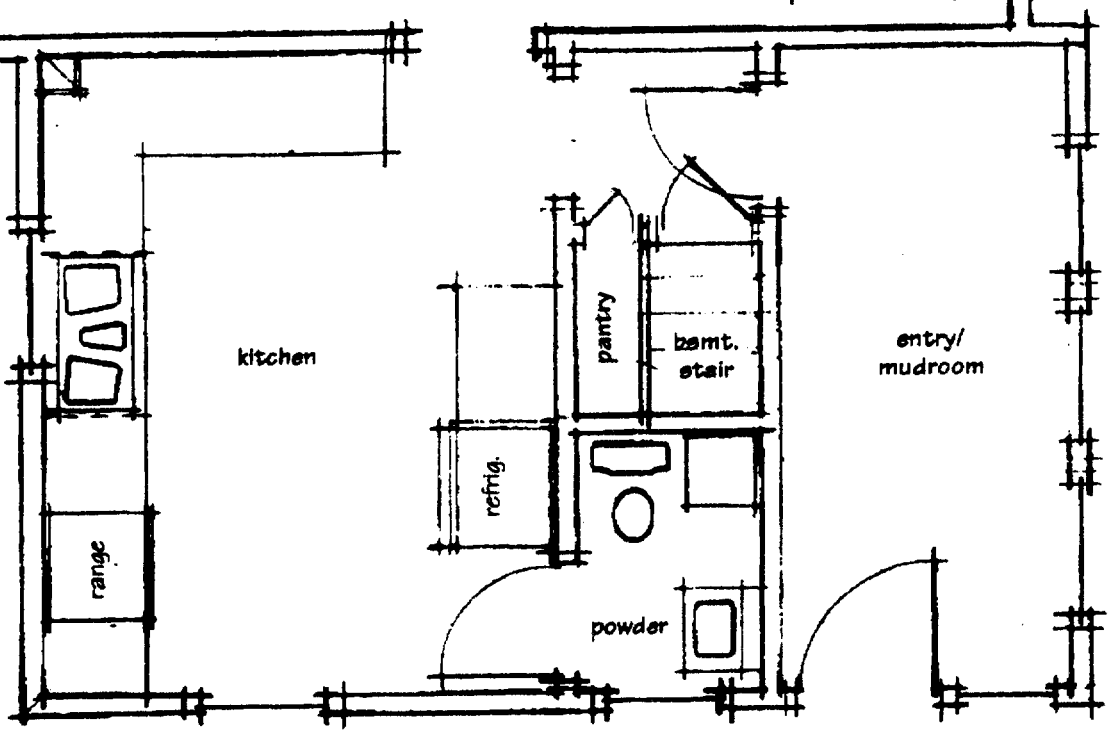
4

closet front bedroom



hall

BATH PLAN
1/4"=1'-0"



KITCHEN PLAN
1/4"=1'-0"

Existing

Map
Por
Poc
mla

FILED
00

3

DIVISION 1 • General Requirements

The project consists of renovation to an existing residence at 41 Glenwood Avenue in Portland, Maine. First Floor modifications include: a small addition to reorganize the existing Kitchen/Bath area, revising the layout of the existing mudroom/entry to accommodate a laundry room, and new (entry) deck. Second floor modifications include: renovating/revising layout of existing bath.

It is the responsibility of the Contractor to comprehensively familiarize him/herself with existing site conditions. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL EXISTING AND PROPOSED DIMENSIONS PRIOR TO SETTING ANY FOUNDATION. Any potential and/or real conflicts which may have an impact on the proposed addition/renovations shall be brought to the attention of the Owner and/or their representative, promptly.

It is the responsibility of the Contractor to meet all local building codes and regulations. It is the responsibility of the Contractor to obtain any/all permits required to perform and complete the work.

DEDUCT ALTERNATE: Pressure-treated wood decking, stained. Color as selected by Owner.

DIVISION 2 • Sitework

As required to complete the work. The contractor shall restore the site to its original condition upon completion of his/her work. The Contractor shall be responsible for coordinating utilities and any required modifications due to construction.

DIVISION 3 • Concrete

As required to complete the work.. Including • but not limited to • foundations, etc. New foundations shall be full-frost-wall depth (minimum 4'-6" below grade to top of footing).

DIVISION 4 • Masonry ... not applicable.

DIVISION 5 • Metals

As required to complete the work. Including • but not limited to • metal fasteners, flashing, etc.

DIVISION 6 • Wood and Plastic

As required to complete the work. Including • but not limited to • rough carpentry, finish carpentry, architectural woodwork, etc. (See Division 10 for cabinet/casework specifications)

- Exterior Studs: 2x6 Interior Studs: 2x4
- Exterior Siding: White cedar shingles, profile and finish to match existing.
- Exterior Trim: Corner and window trim to match existing in profile and finish.
- Exterior Deck (@ Main Floor): Framing shall be pressure treated with composite decking material. Color as selected by Owner
- Interior Wood Trim: Profile and finish to match existing. Painted, color as selected by Owner.

DIVISION 7 • Thermal and Moisture Protection

As required to complete the work. Including • but not limited to • waterproofing, dampproofing, foundation drains(s), vapor barrier(s), insulation, fire stopping, roofing, flashing/sheet metal, joint sealers, etc.

- Sloped Roof: Fiberglass roof shingles: color and style to match existing. Vent roofs as required by manufacturer's recommendations and contemporary construction practices
- Roof Insulation: Full-thickness batt insulation with air venting panels at roof deck and moisture barrier on interior.
- Exterior Wall Insulation: Full-thickness batt insulation with moisture barrier on interior.
- Interior Wall Insulation: Full-thickness batt insulation at bathroom and utility walls, and other locations as directed by Owner.
- Floor Insulation: Where floor is exposed to exterior (crawl spaces, etc.), provide full-thickness batt insulation.
- Air Barrier: Exterior walls sheathing shall be covered with air barrier similar to Tyvek

VISION 8 • Door and Windows

As required to complete the work. Including • but not limited to • doors, frames, hardware, windows, screens, etc., hardware as selected by Owner.


DOORS: Reuse existing doors, where possible. New interior doors to match existing in profile and finish.

- 1 Entry Door/Sidelights: Similar to Thermo-Tru Smooth Star S92 w/removeable grilles.
 - 2 Interior Pocket Door: Similar to Thermo-Tru Smooth Star S101 w/removeable grilles.
 - 3 Interior Passage Door: match existing in profile and finish.
 - 4 Shower Door: Frameless Tempered Glass shower doors, hardware as selected by Owner.
 - 5 Interior Bifold Door: match existing in profile and finish. Coordinate w/radiator @ window.
- (e) existing doors: reuse where possible, finish to match existing.

3'-0" x 6'-8" \$200
 - 2'-6" x 6'-8" - 400
 - 2'-4" x 6'-8" - 200
 - field measure - 400
 - 2'-6" x 6'-8" - 400
 reuse existing

WINDOWS: Windows similar to Anderson Tilt-wash white vinyl clad, wood windows w/full divided lites. Include all hardware and insect screens. Hardware style/finish as selected by Owner.

- A Double-Hung (2/1) ANDERSEN TW2032-3 -
- B Awning (4) ANDERSEN AW251

6'-5" x 3'-4 7/8" → 1000⁰⁰ per
 2'-4 3/8" x 2'-4 3/8" - 425⁰⁰ 

DIVISION 9 • Finishes

As required to complete the work. Including • but not limited to • gypsum wallboard, floor coverings, painting, etc. selection of colors and finishes shall be by the Owner.

Walls/Ceilings: Gypsum wallboard, painted.

Interior Wood Trim: Finish to match existing in profile and finish.

Floor Finishes: KITCHEN/LAUNDRY/BATHROOMS: ceramic tile as selected by Owner.

MUDROOM/ENTRY: entry rug, similar to Mats, inc. roll goods, Imperial Collection, as selected by Owner.

DIVISION 10 • Specialties

As required to complete the work. Including • but not limited to • kitchen cabinets and countertops (see plans for general layout information). Appliances provided by Owner, coordinated by Contractor/kitchen cabinet supplier/installer.

CABINETS AND COUNTERTOPS: as selected by Owner.

DIVISION 11 • Equipment ... not applicable.

DIVISION 12 • Furnishings ... not applicable.

DIVISION 13 • Special Construction ... not applicable.

DIVISION 14 • Conveying systems ... not applicable.

DIVISION 15 • Mechanical Systems

As required to complete the work. Including • but not limited to • basic mechanical materials and methods for plumbing and heating/ventilation. Heating/ventilation shall be compatible with existing system.

PLUMBING FIXTURES: as selected by Owner.

DIVISION 16 • Electrical

As required to complete the work. Including • but not limited to • basic electrical materials and methods, lighting, controls, etc. Coordinate electrical layout with Owner PRIOR to rough-in.

- Light Fixtures: As selected by Owner. Provide allowance, assume new lighting in all areas.
- Switch/Wall Plates: Color/finish to match existing or as directed by Owner. Provide allowance.

MILA

Marilyn Leivian Architect
 77 Rackleff Street
 Portland • Maine 04106
 Phone 207 • 774 • 3666
 mlarch@maine.rr.com

41 GLENWOOD AVENUE

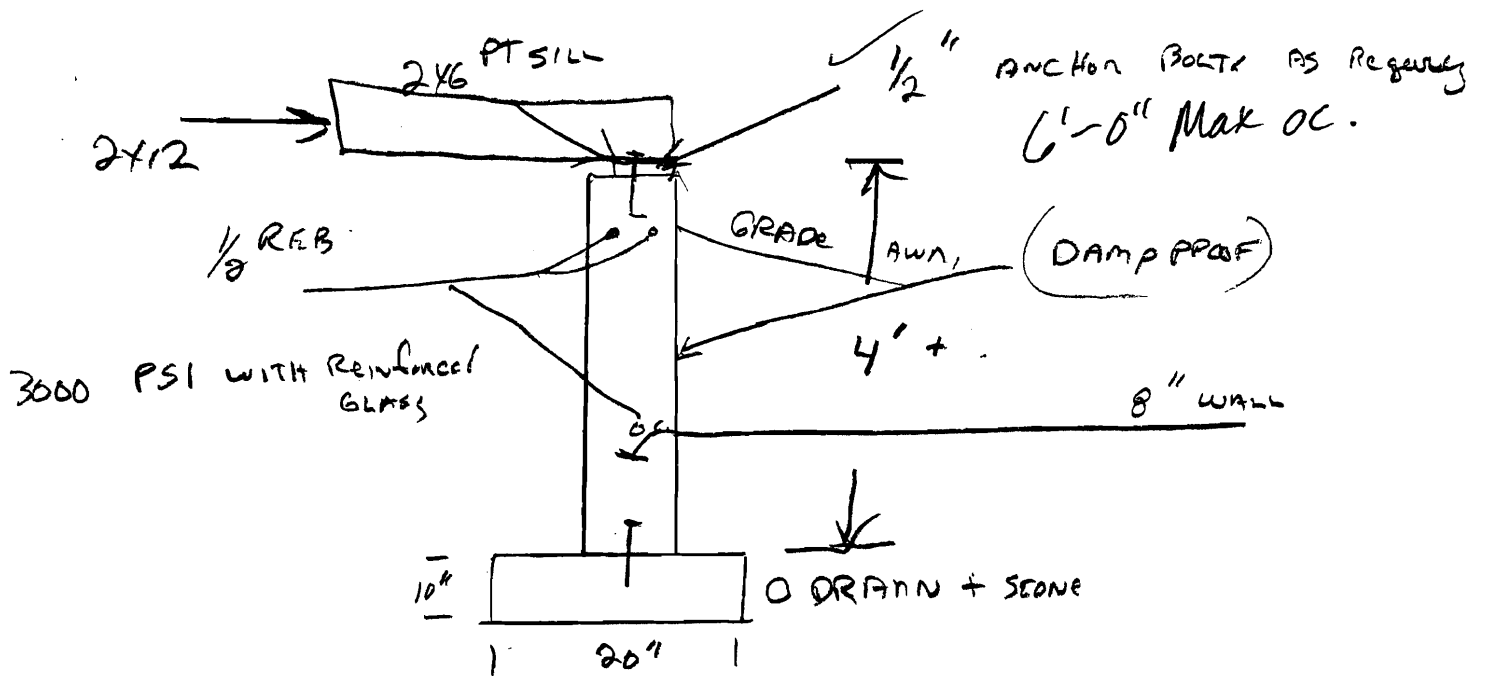
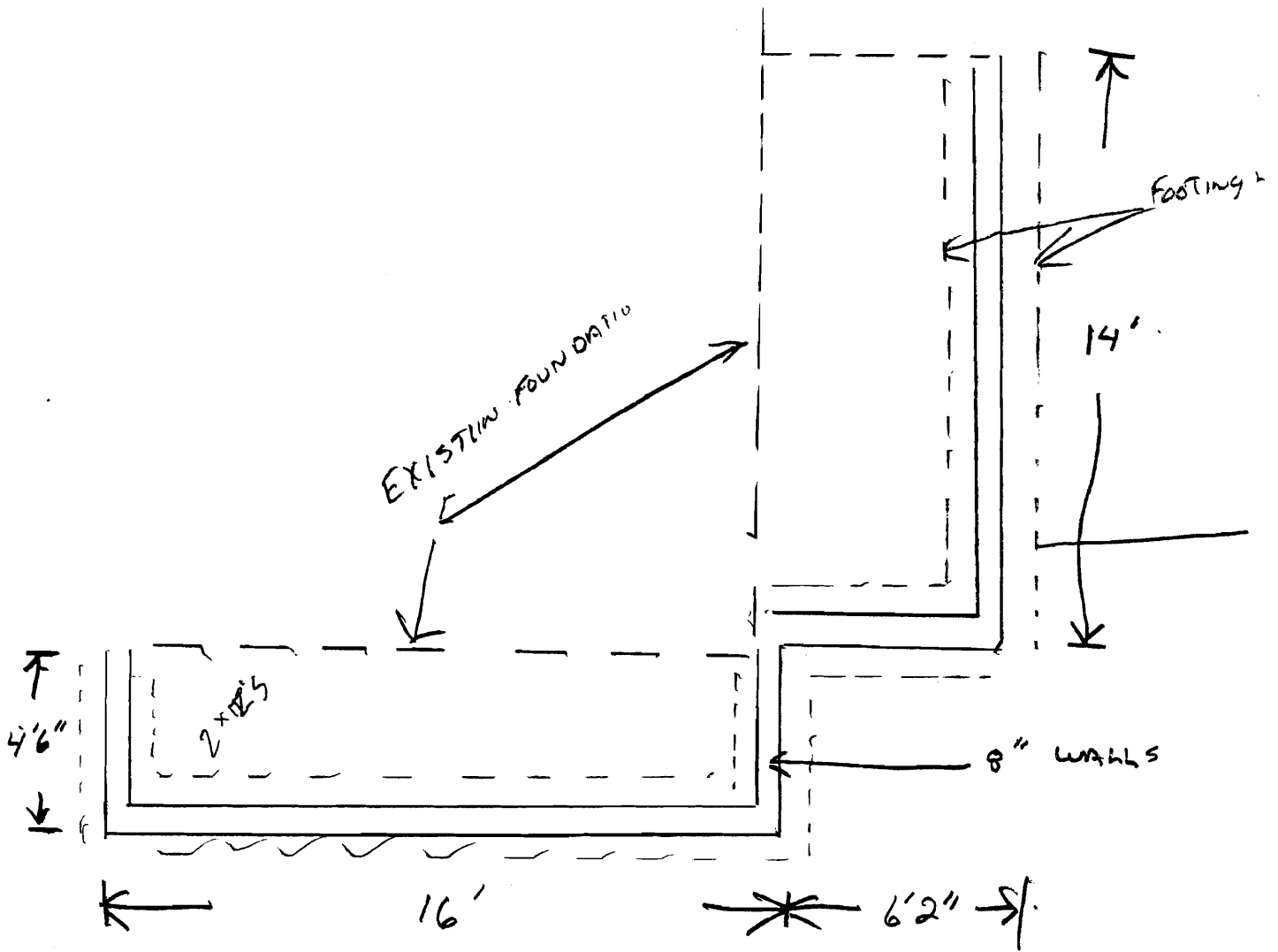
January 14, 2005

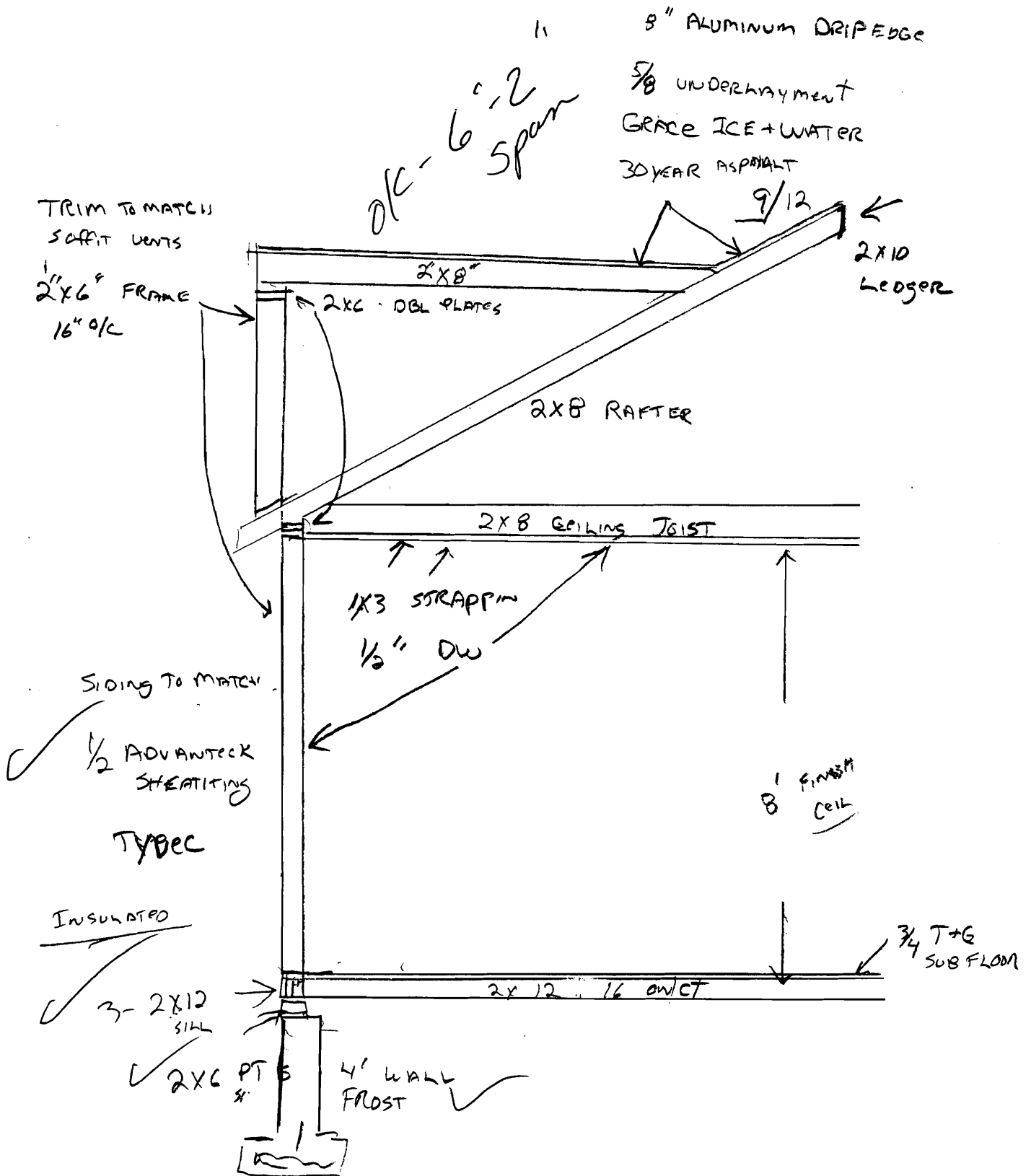
Portland, Maine

SCHEMATIC DESIGN • South Elevation

These drawings are schematic in nature and a layout information. All working conditions shall be verified by the contractor. These drawings are the exclusive property of the Architect.

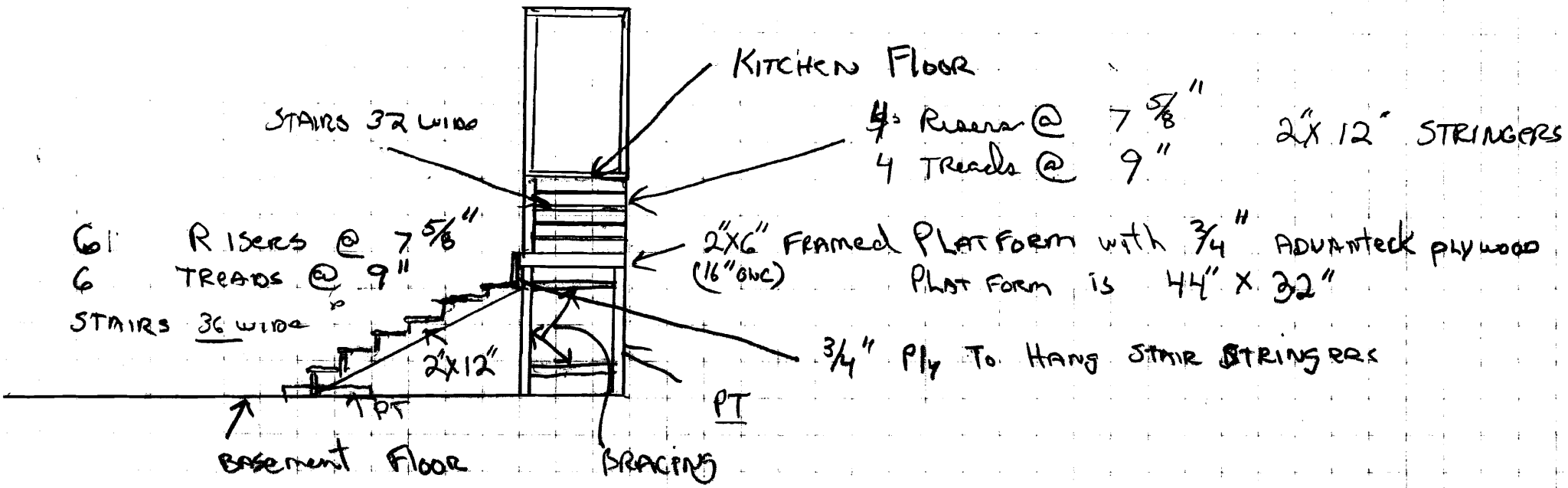
Sheet No. 61





NOT TO SCALE

W. Glenwood



STAIRS 36 WIDE

KITCHEN FLOOR

4 RISES @ 7 5/8"
4 TREADS @ 9"

2x12 STRINGERS

6 RISES @ 7 5/8"
6 TREADS @ 9"
STAIRS 36 WIDE

2x6 FRAMED PLATFORM WITH 3/4" ADVANTEK PLYWOOD
PLATFORM IS 44" X 32"
(16" O.C.)

3/4" PLY TO HANG STAIR STRINGERS

Basement Floor

BRACING

123010

1/4" = 1'

EXISTING STRUCTURE.

LAG BOLTED 16" ONCTR

2"x8" PT"

2"x8" 16" ONCTR

4'8" H - ~~bullet~~
less than 4'0" ~~bullet~~
1/2" R 1 1/2"

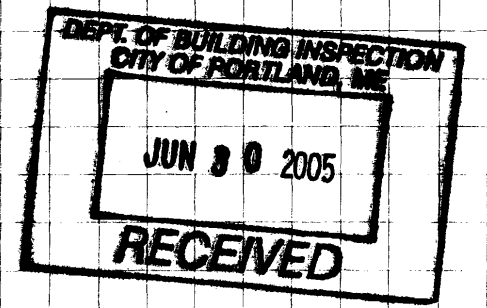
TO CODE

- 1) RAILINGS TO CODE
- 2) STAIRS TO CODE
- 3) ? ON DECKING AS OF 05/30/05 (COARA)
- 4) FRAMING 2"x8" 16" ONCTR ✓
- 5) WITH JOIST HANGERS ON ALL CARRIERS

TRIPLE 2x8 CARRIER Tied TO FRAMING

12" SINO TUBE
40' min below -

APPLY 12'



RE: 41 Glenwood

ELECTRICAL PERMIT

City of Portland, Me.



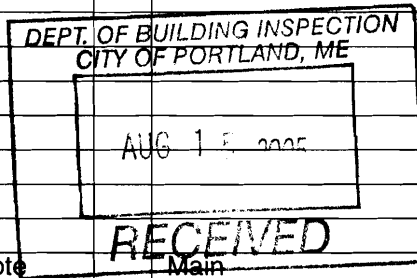
To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,
 National Electrical Code and the following specifications:

Date 8/15/05
 Permit # 2005-4837
 CBL# 123 D10

LOCATION: 41 Glenwood METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER _____
 TENANT _____ PHONE # _____

Glchy Permit # 050659

							TOTAL	EACH FEE	
OUTLETS	<u>4</u>	Receptacles	<u>8+</u>	Switches	<u>6</u>	Smoke Detector		.20	
FIXTURES		Incandescent	<u>6+</u>	Fluorescent		Strips		.20	
SERVICES		Overhead		Underground		TTL AMPS <800		15.00	
		Overhead		Underground		>800		25.00	
Temporary Service		Overhead		Underground		TTL AMPS		25.00	
								25.00	
METERS		(number of)						1.00	
MOTORS		(number of)						2.00	
RESID/COM		Electric units						1.00	
HEATING		oil/gas units		Interior		Exterior		5.00	
APPLIANCES		Ranges		Cook Tops		Wall Ovens		2.00	
		Insta-Hot		Water heaters		Fans		2.00	
		Dryers		Disposals		Dishwasher		2.00	
		Compactors		Spa		Washing Machine		2.00	
		Others (denote)						2.00	
	MISC. (number of)		Air Cond/win						3.00
			Air Cond/cent				Pools		10.00
		HVAC		EMS		Thermostat		5.00	
		Signs						10.00	
		Alarms/res						5.00	
		Alarms/com						15.00	
		Heavy Duty(CRKT)						2.00	
		Circus/Carnv						25.00	
	Alterations						5.00		
	Fire Repairs						15.00		
	E Lights						1.00		
	E Generators						20.00		
PANELS		Service		Remote		Main		4.00	
TRANSFORMER		0-25 Kva						5.00	
		25-200 Kva						8.00	
		Over 200 Kva						10.00	
TOTAL AMOUNT DUE									
MINIMUM FEE/COMMERCIAL 45.00							MINIMUM FEE	35.00	



CONTRACTORS NAME Twitchell Electric MASTER LIC. # 18740015190
 ADDRESS 14 Hamilton St LIMITED LIC. # _____
 TELEPHONE 762-5851

SIGNATURE OF CONTRACTOR [Signature] ck# 1108



CITY OF PORTLAND, MAINE
Department of Building Inspections

_____ 20 _____

Received from _____

Location of Work _____

Cost of Construction \$ _____

Permit Fee \$ _____

Building (I1) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: _____

Check #: _____

Total Collected \$ _____

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy