

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that SCOTT ELLIOTT

Located At 40 GLENWOOD AVE

Job ID: 2012-04-3669-ALTR

CBL: 123- A-009-001

has permission to Enclose porch and install new bulkhead (Single Family Residence).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer



Code Enforcement Officer / Plan Reviewer

05/04/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
 1. Footings/Setbacks prior to pouring concrete
 2. Close In Elec/Plmb/Frame prior to insulate or gypsum
 3. Insulation prior to Close-In
 4. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-04-3669-ALTR

Located At: 40 GLENWOOD AVE CBL: 123- A-009-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted including the revised plans submitted 4/10/12. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Fire

1. All construction shall comply with City Code Chapter 10.
2. All smoke detectors and smoke alarms shall be photoelectric.
3. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
4. A sprinkler system is recommended but not required based on the following:
 - a. Plans indicate the addition will not exceed _50_% of the total completed structure.

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
3. Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level. A field inspection will verify your current smoke detector arraignment and the City's minimal code requirements.
4. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
5. The maximum riser height shall be 7 3/4 inches; the minimum tread depth shall be 10 inches.

6. R312.3 Opening limitations. Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches in diameter.
7. R311.7.1Width. Stairways shall not be less than 36 inches in clear width at all points above the permitted handrail height and below the required headroom height.
8. Insulation shall comply with the IECC, 2009 (Maine State Energy Codes).
9. Window (non-egress) sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
10. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches (38 mm) of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
11. See attached documentation (TABLE R502.2.2.1) for fastening spacing for deck ledgers.
12. R502.2.2.4Exteriorwood/plastic composite deck boards. Wood/plastic composite deck boards shall be installed in accordance with the manufacturer's instructions.
13. **Pressure Treated.** Section R317 Protection of Wood and Wood Based Products against decay. All wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from the exposed ground.
14. R408.4 Access. Access shall be provided to all under-floor spaces. Access openings through the floor shall be a minimum of 18 inches by 24 inches. Openings through a perimeter wall shall be not less than 16 inches by 24 inches. When any portion of the through-wall access is below grade, an areaway not less than 16 inches by 24 inches shall be provided. The bottom of the areaway shall be below the threshold of the access opening. Through wall access openings shall not be located under a door to the residence.
15. Note: Owner will utilize a (3) 2 X 8 inch beam with a max span of 7 foot 5 inches (between each concrete pier) for the deck. Foundation Anchor Bolts (1/2 inch minimal extending a minimal of 7 inches into the concrete or grouted) will be 1 foot from the corners and a max span of 6 feet on center. The 2 by 8 inch deck joist 16 inches on center will have a max span of 12 foot three inches.

R-1, R-3

Entered 4/3/12 (50)



General Building Permit Application

Job # 2012-04-3669-ALTR

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 40 GLENWOOD AVE. PORTLAND, ME 04103		
Total Square Footage of Proposed Structure/Area 6 x 12 72 SF	Square Footage of Lot 442	Number of Stories 1
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# CBL 123 A009001 BLOCK: 48-66 Book/Page 23227/252	Applicant: (must be owner, lessee or buyer) Name SCOTT ELLIOTT Address 40 GLENWOOD AVE. City, State & Zip PORTLAND, ME 04103	Telephone: 207-899-0783
Lessee/DBA RECEIVED APR 03 2012 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name Address 31,000 30 City, State & Zip 340.00	Cost of Work: \$31,600 C of O Fee: \$ Historic Review: \$ Planning Amin.: \$ Total Fee: \$ 340
Current legal use (i.e. single family) SINGLE FAMILY Number of Residential Units 1 If vacant, what was the previous use? Proposed Specific use: Is property part of a subdivision? If yes, please name Project description: ENCLOSE REAR PORCH TUCKED UNDER SECOND STORY TO EXPAND INTERIOR FLOOR SPACE AND ELIMINATE HEAT LOSS ON SECOND FLOOR. + install new basement deck/bulkhead.		
Contractor's name: _____ Email: _____		Address: _____
City, State & Zip _____ Telephone: _____		Who should we contact when the permit is ready: SCOTT ELLIOTT Telephone: 899-0783
Mailing address: 40 GLENWOOD AVE, PORTLAND, ME 04103		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

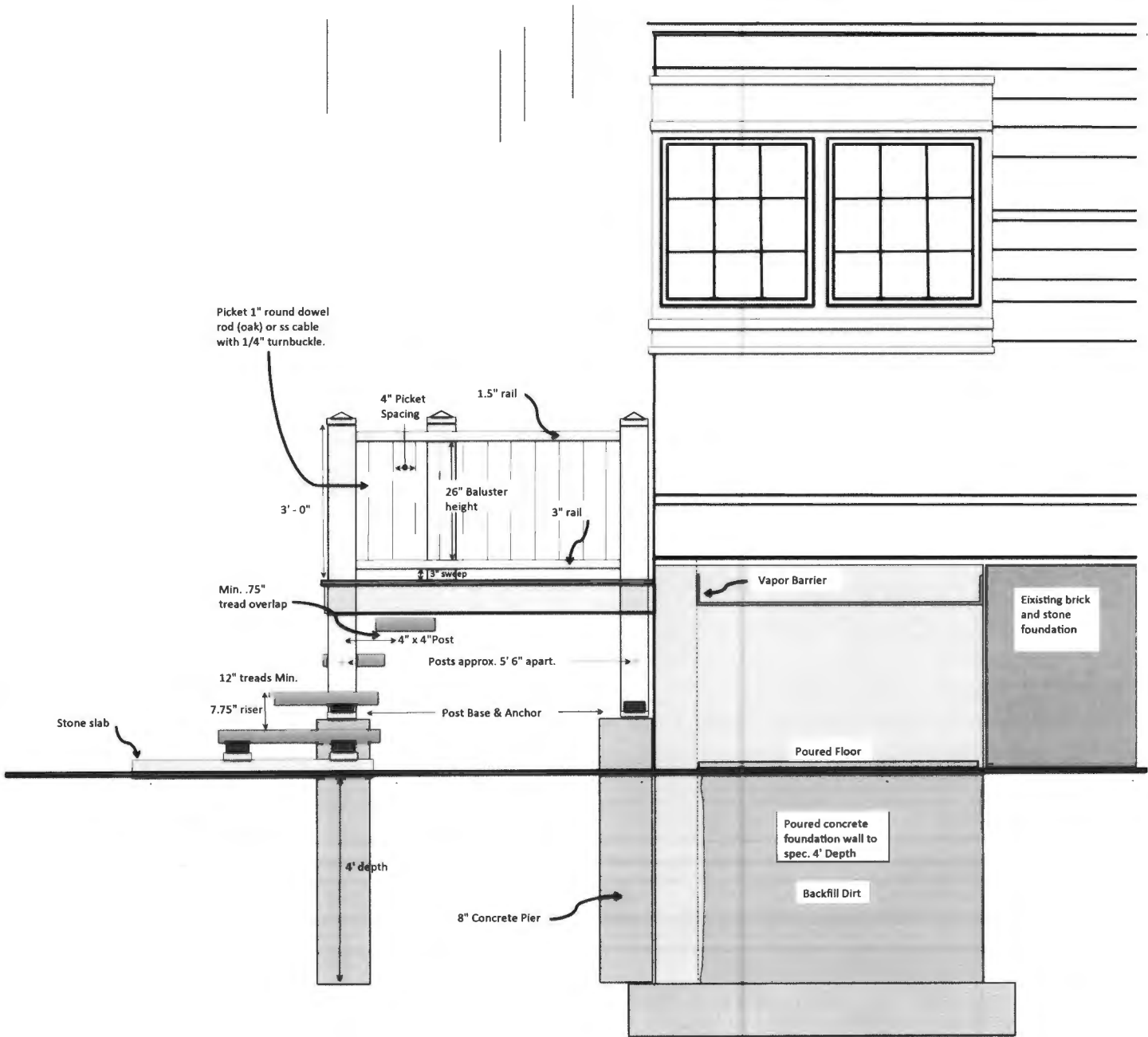
Signature: _____ Date: 4/3/2012

This is not a permit; you may not commence ANY work until the permit is issued



EXISTING BACK PORCH
VIEW FACING SIDE OF HOUSE

ELLIOTT/FOX RESIDENCE
40 GLENWOOD AVENUE
PORTLAND, MAINE 04103



PROPOSED FOUNDATION PORCH PLAN WITH STAIR DETAIL
VIEW FACING SIDE OF HOUSE - REVISED 4/10/2012

ELLIOTT/FOX RESIDENCE
40 GLENWOOD AVENUE
PORTLAND, MAINE 04103

RECEIVED

APR 10 2012

Dept. of Building Inspections
City of Portland Maine



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Receipts Details:

Tender Information: Check , Check Number: 468

Tender Amount: 340.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 4/3/2012

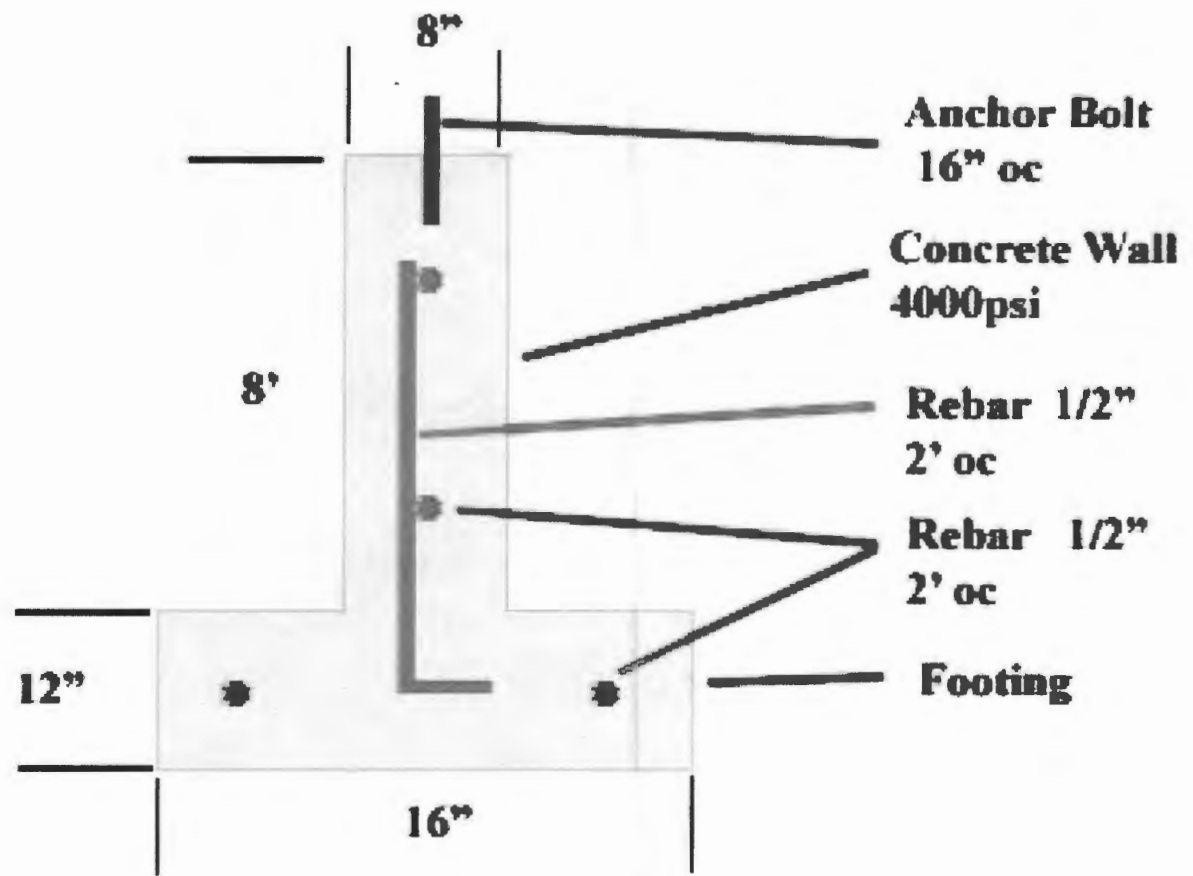
Receipt Number: 42471

Receipt Details:

Referance ID:	5917	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	340.00	Charge Amount:	340.00
Job ID: Job ID: 2012-04-3669-ALTR - Enclose porch and install new bulkhead			
Additional Comments: 40 Glenwood			

Thank You for your Payment!







Descriptor/Area

- A: ---
977 sqft
- B: ---
13 sqft
- C: FBAY/B
30 sqft
- D: 1Fr/DP
72 sqft
- E: WD
144 sqft
- F: ---
24 sqft
- G: OFF
112 sqft
- H: FBAY/B
6 sqft
- I: RS1
64 sqft

= 1442.



DOOR & WINDOW SCHEDULE

NOTE 1. MARVIN WOOD ULTIMATE OUT-SWING DOOR. FULL GLASS INTERIOR. OBSCURED GLAZE. SCREEN DOOR COMBINATION. ULTREX SILL. HARDWARE AND FINISH TO BE DETERMINED. U -.30.

NOTE 2. MARVIN WOOD AWNING WINDOWS. U -.30.

PROPOSED BACK PORCH & WINDOW/DOOR PLAN
VIEW FACING BACK OF HOUSE

ELLIOTT/FOX RESIDENCE
40 GLENWOOD AVENUE
PORTLAND, MAINE 04103

Cost of Work:

Foundation/Cement	Seaside Landscaping & Excavation	\$4,400.00
Exterior Framing/Finishing	TBD	\$15,000.00
Interior Framing and Finishing	TBD	\$5,000.00
Landscaping	owner	\$0.00
Porch	TBD	\$3,200.00
Windows/Doors/Hardware		<u>\$4,000.00</u>
	Total	\$31,600.00

City of Portland Permit Fee

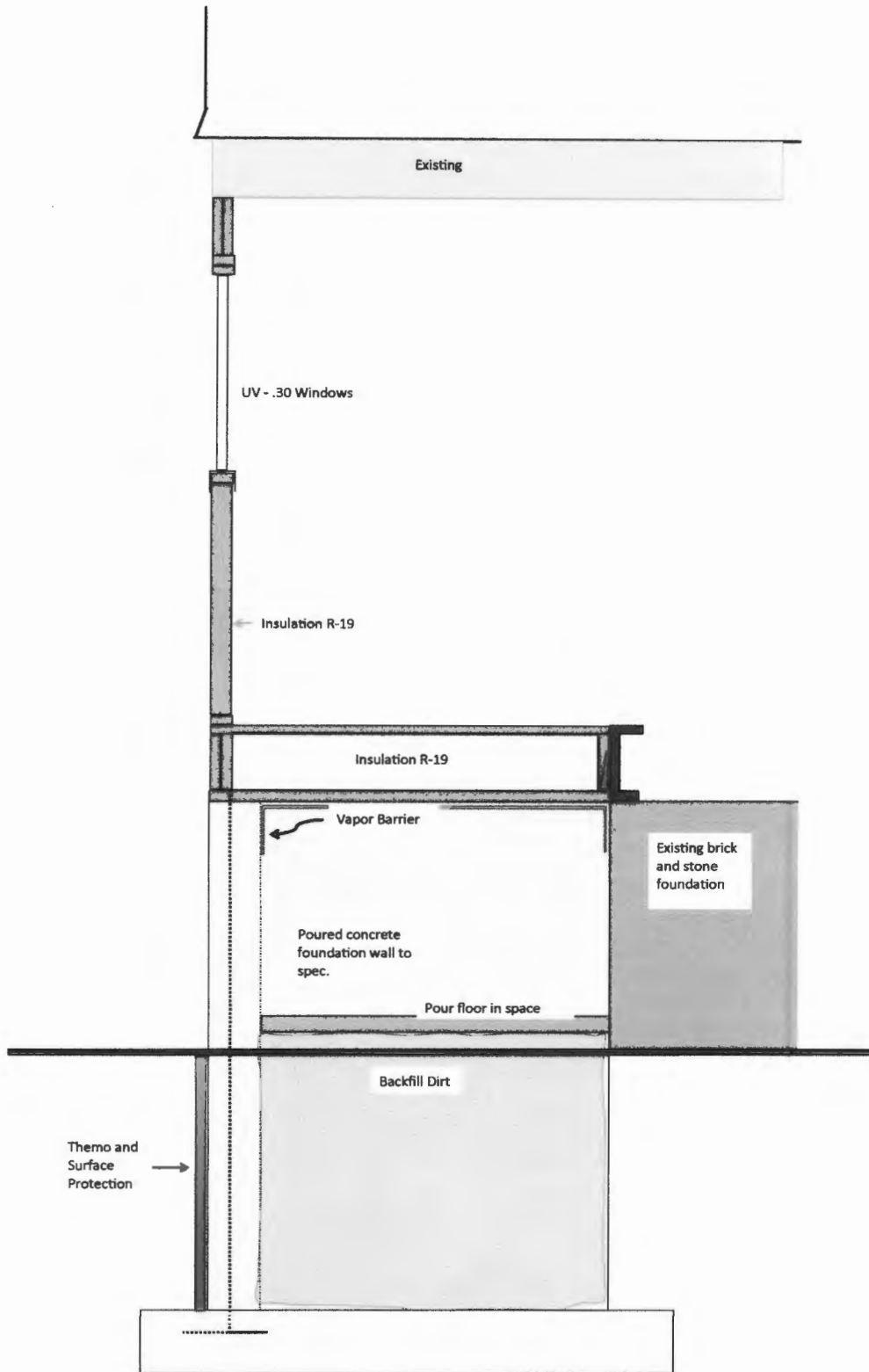
First 1000		30
Balance	10/1000	306
Total Permit Cost		336



*Porch to be removed, footer installed
and space framed in. New porch
within dimensions of old deck.*

4

**ELLIOTT/FOX RESIDENCE
40 GLENWOOD AVENUE
PORTLAND, MAINE 04103**



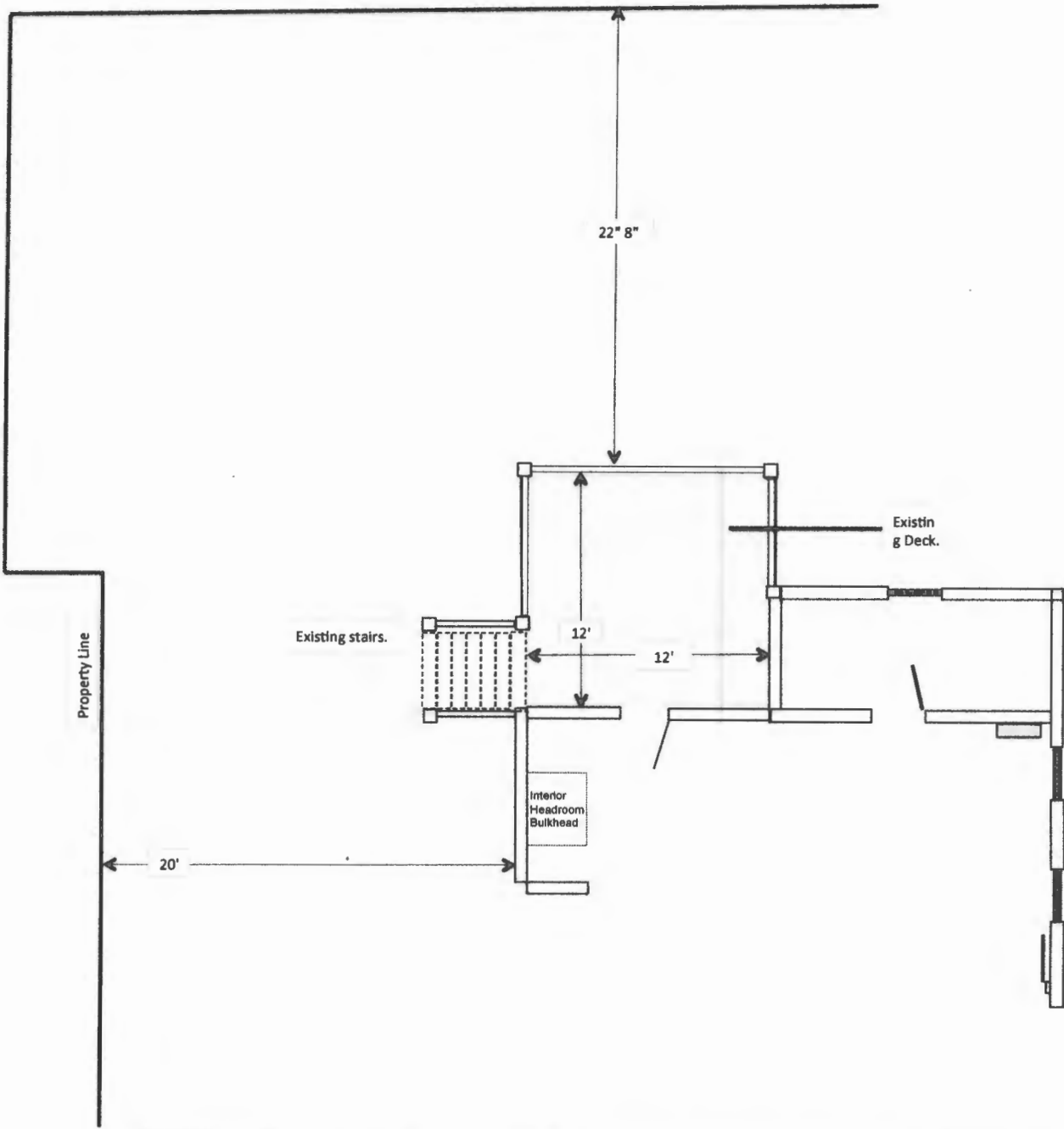
FRAMING DETAILS

ELLIOTT/FOX RESIDENCE
 40 GLENWOOD AVENUE
 PORTLAND, MAINE 04103

R-

rear.

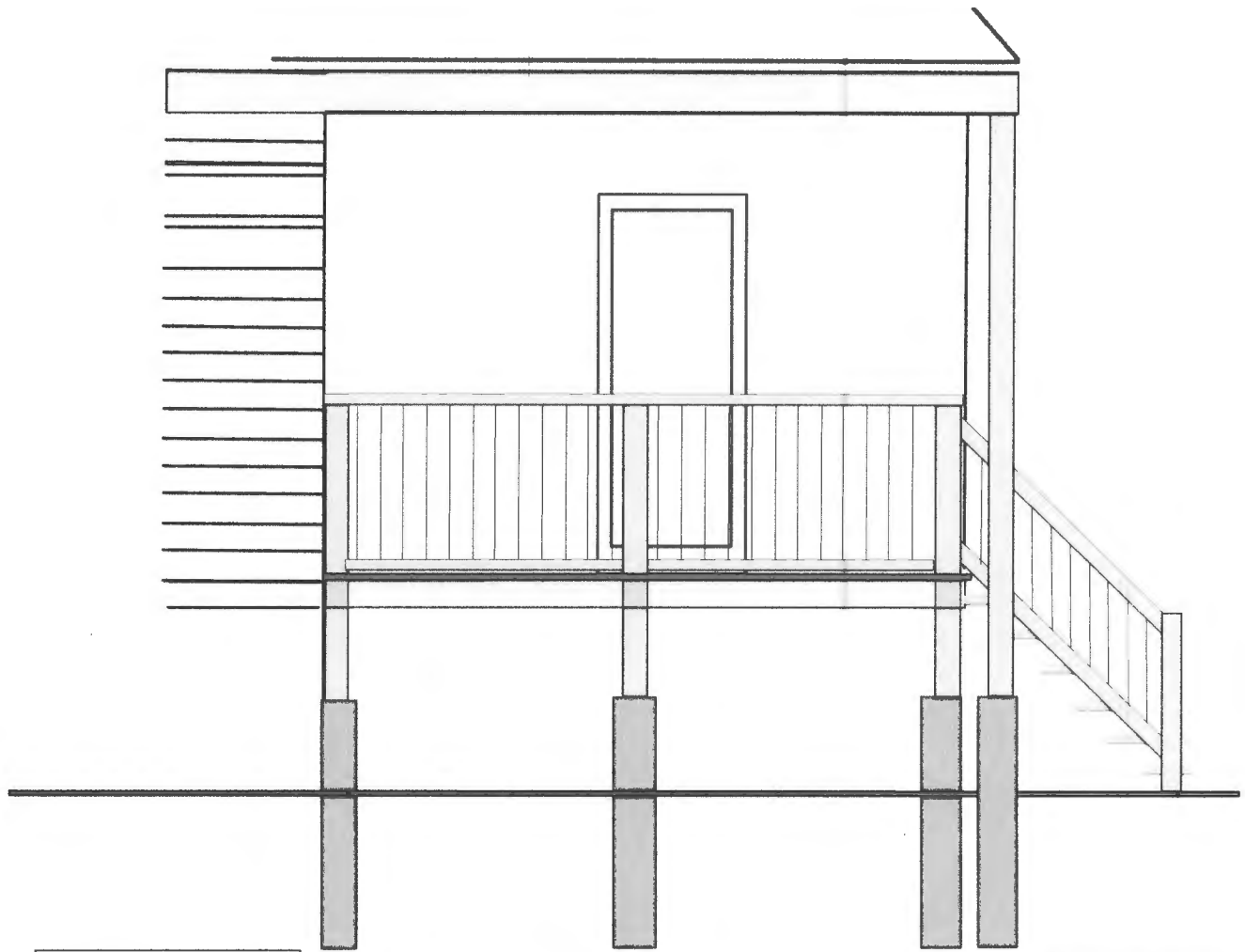
left side.



EXISTING CONDITIONS

**ELLIOTT/FOX RESIDENCE
40 GLENWOOD AVENUE
PORTLAND, MAINE 04103**

↓
front.

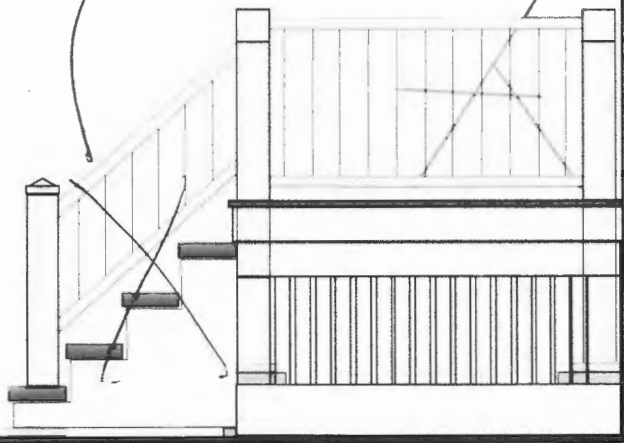
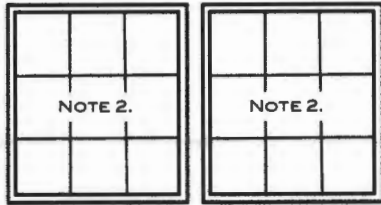


EXISTING BACK PORCH
VIEW FACING BACK OF HOUSE

ELLIOTT/FOX RESIDENCE
40 GLENWOOD AVENUE
PORTLAND, MAINE 04103

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Suvarindphos



PROPOSED BACK PORCH & WINDOW/DOOR PLAN
VIEW FACING SIDE OF HOUSE





1

ELLIOTT/FOX RESIDENCE
40 GLENWOOD AVENUE
PORTLAND, MAINE 04103

R-5

lot size - 4,472 sq ft

front - N/A

side - 2 stairs - 14.6' min. - 14.6' to bulkhead (OK)

rear - 20' min - 20.5' to stairs (OK)

lot coverage - 40% = 1788.8 sq ft

house # 443

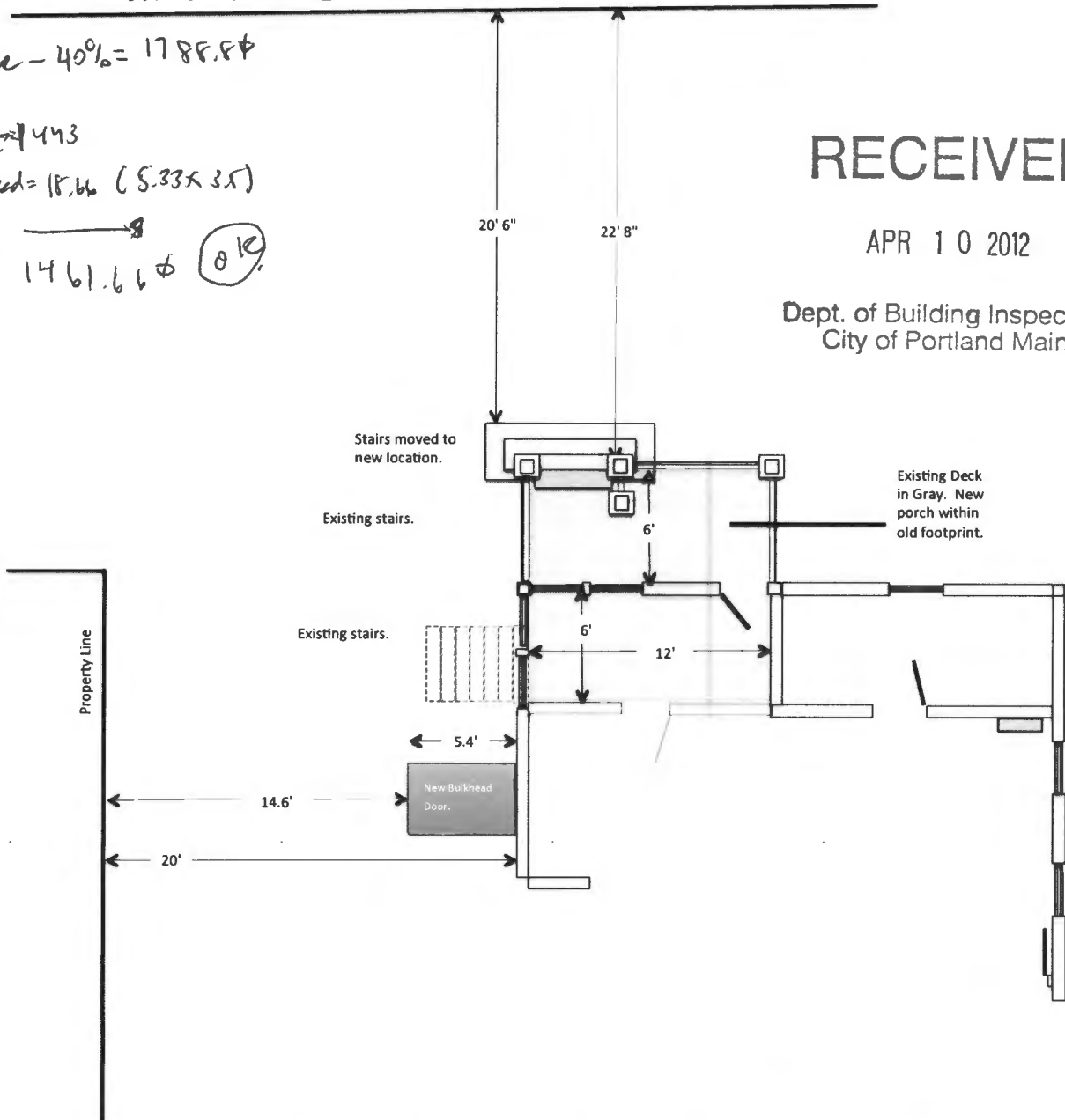
bulkhead = 18.66 (5.33 x 3.5)

steps 14.61.66 sq ft (OK)

RECEIVED

APR 10 2012

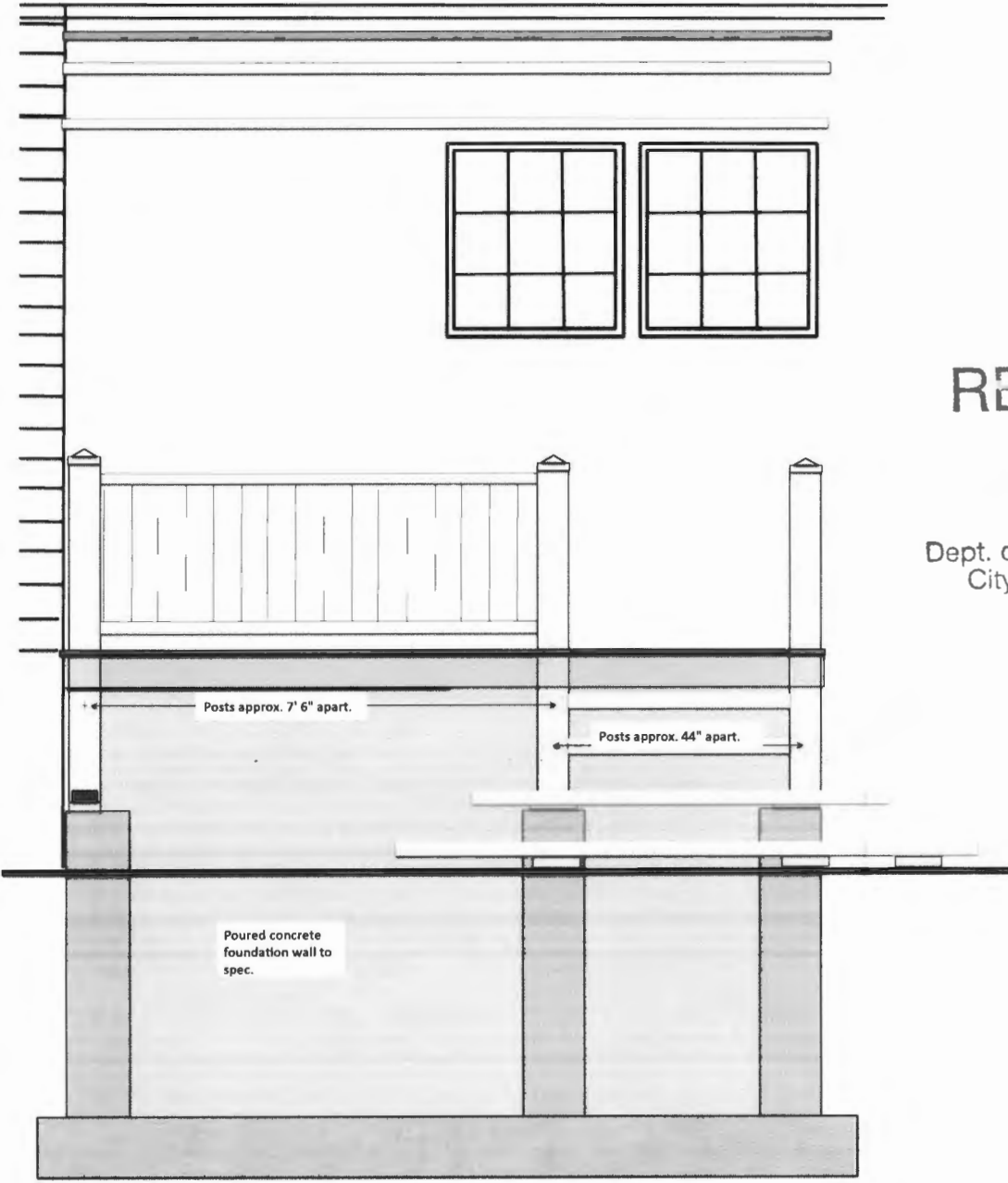
Dept. of Building Inspections
City of Portland Maine



PROPOSED IMPROVEMENTS: REVISED 4/10/2012

ELLIOTT/FOX RESIDENCE
40 GLENWOOD AVENUE
PORTLAND, MAINE 04103

↓ Front



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APR 10 2012

Dept. of Building Inspections
City of Portland Maine

PROPOSED FOUNDATION PORCH PLAN
VIEW FACING BACK OF HOUSE: REVISED 4/10/2012

ELLIOTT/FOX RESIDENCE
40 GLENWOOD AVENUE
PORTLAND, MAINE 04103



2

ELLIOTT/FOX RESIDENCE
40 GLENWOOD AVENUE
PORTLAND, MAINE 04103



*Approach up side of house.
Bulkead door to be located just
forward of trellis.*

3

**ELLIOTT/FOX RESIDENCE
40 GLENWOOD AVENUE
PORTLAND, MAINE 04103**

