

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

# PERMIT

PERMIT ISSUED

Permit Number: 051460

OCT 26 2005

CITY OF PORTLAND

This is to certify that Boxer-Macomber, Ethan/M

has permission to amendment to Permit #0511

AT 34 GLENWOOD AVE

Brewer Fine Woodworking

Change of interior finishes, new windows

123 A006091

provided that the person or persons of the provisions of the Statutes of the construction, maintenance and this department.

cepting this permit shall comply with all provisions of the City of Portland relating to buildings and structures, and of the application on file in

Apply to Public Works for street line and grade if nature of work requires such information.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name \_\_\_\_\_

PENALTY FOR REMOVING THIS CARD

Director - Building & Inspection Services

*Ethan Boxer-Macomber 10/26/05*

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1460		Issue Date: OCT 26 2005		CRF 123 A006001	
Location of Construction: 34 GLENWOOD AVE		Owner Name: Boxer- Macomber, Ethan		Owner Address: 144 Massachusetts	
Business Name:		Contractor Name: M R Brewer Fine Woodworking		Contractor Address: 91 Bell St Portland	
Lessee/Buyer's Name		Phone:		Permit Type: Amendment to Single Family	
Past Use: Single Family Home		Proposed Use: Single Family Home/ amendment to Permit #051188, Change scope of work, interior changes, new windows		Permit Fee: \$111.00	
Proposed Project Description: amendment to Permit #051188, Change scope of work, interior changes, new windows		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		Cost of Work: \$10,000.00	
Permit Taken By: Idobson		Date Applied For: 09/30/2005		CEO District: 3	
Special Zone or Reviews		Zoning Approval		Historic Preservation	
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>		<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Approved <input type="checkbox"/> Denied		<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	

**PERMIT ISSUED**

Signature: *JMB 10/26/05* Signature: *JMB 10/26/05*

Action:  Approved  Approved w/Conditions  Denied

INSPECTION: Use Group: R3 Type: SB

Signature: *JMB 10/26/05*

Date: *10/26/05*

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**Zoning Approval**

*See 14-389 for info to reconstr. exterior*

Date: *10/26/05*

### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	05-1460	Date Applied For:	09/30/2005	CBL:	123 A006001
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Location of Construction:	34 GLENWOOD AVE	Owner Name:	Boxer- Macomber, Ethan	Owner Address:	144 Massachusetts	Phone:	ext 8083
Business Name:		Contractor Name:	M R Brewer Fine Woodworking	Contractor Address:	91 Bell St Portland	Phone:	(207) 797-7534
Lessee/Buyer's Name		Phone:		Permit Type:	Amendment to Single Family		

**Proposed Use:** Single Family Home/ amendment to Permit #051188, Change scope of work, interior changes, new windows

**Proposed Project Description:** amendment to Permit #051188, Change scope of work, interior changes, new windows

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 10/26/2005

**Note:**      **1)** Approved using Sec. 14-385 to reconstruct the porch in the existing footprint      **Ok to Issue:**

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 10/26/2005

**Note:** 10/17/05 Ethan scheduled a same day appt. Matt from MR Brewer came in for some framing details. Need **Ok to Issue:**  to talk w/Ethan about the guardrail system. Spoke w/Ethan about guardrail codes, he will get back about design.

10/26 Matt submitted reduced plans, Ethan requested more time on the rail detail, issue w/condition

1) The design load spec sheets for any engineered beam(s) must be submitted to this office.

2) A code compliant detail of the porch guardrail system shall be submitted to this office prior to reconstruction



# Residential Building Permit Application

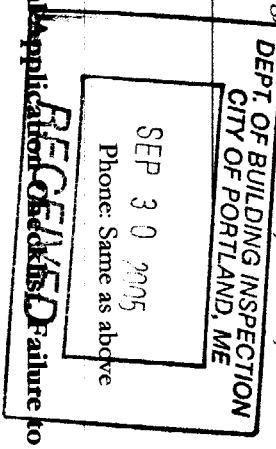
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 34 Glenwood Ave	
Total Square Footage of Proposed Structure	Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# 123 Block# A Lot# 228	Owner: Ethan Boxer-Macomber Telephone: 775-1020
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: M.R. Brewer Fine Woodworking, Inc. 91 Bell Street Portland, ME 04103
Current Specific use: <u>Vacant Residence</u>	Cost Of Work: \$ 10,000.00 Fee: \$ 1111.00
Proposed Specific use: <u>Primary Residence</u>	

Project description: We are applying for an addendum to an existing Building Permit for changes to the scope of work to our project at 34 Glenwood Ave. These changes include the demolition to existing interior walls as shown on the attached plans, installation of a new structural steel beam to replace a load bearing wall that is to be removed, and the removal of six existing windows and the installation of five new windows as shown on the attached drawings.

*Front back structural beams are also to be made.  
Amendment to permit # 05 1188*

Contractor's name, address & telephone: M.R. Brewer Fine Woodworking, Inc. 91 Bell Street, Portland, ME 04103  
207-797-7534 *XX call*  
Who should we contact when the permit is ready: Matthew Brewer  
Mailing address: Same as above



**Please submit all of the information outlined in the Residential Building Permit Application. Failure to do so will result in the automatic denial of your permit.**

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874.8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 9/30/05
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost  
This is not a Permit; you may not commence any work until the Permit is issued.

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. ~~NOTE: There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

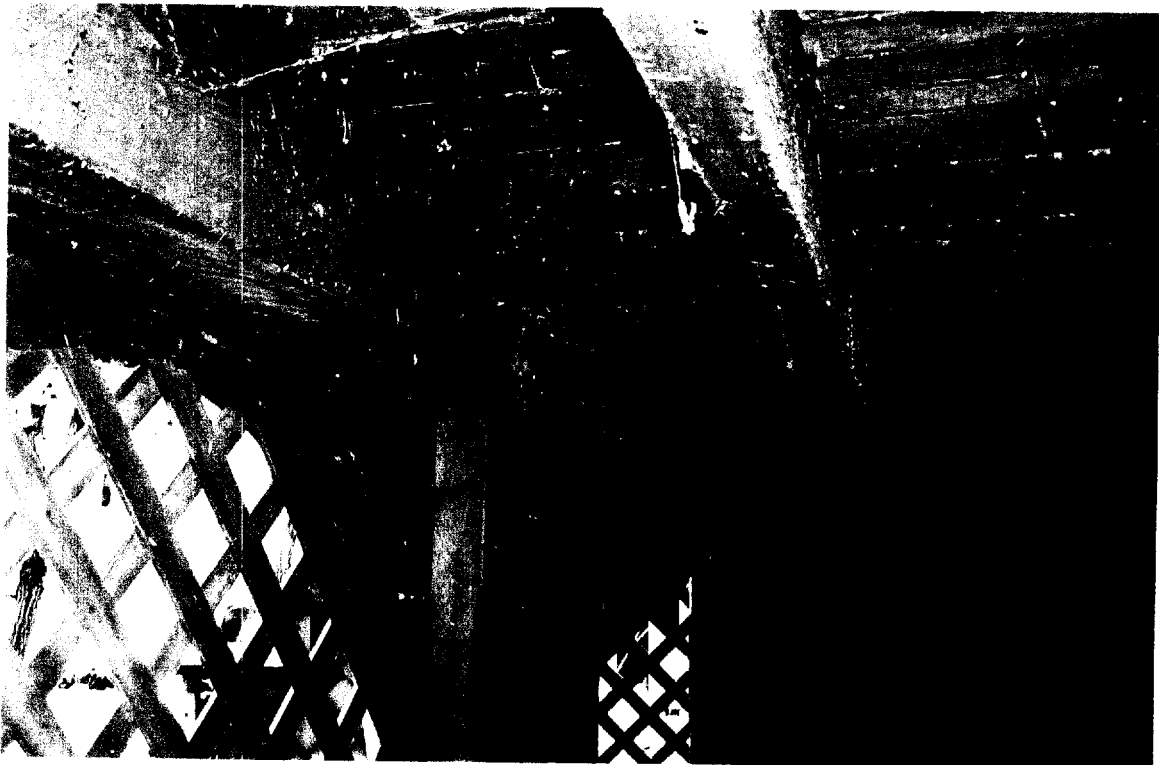
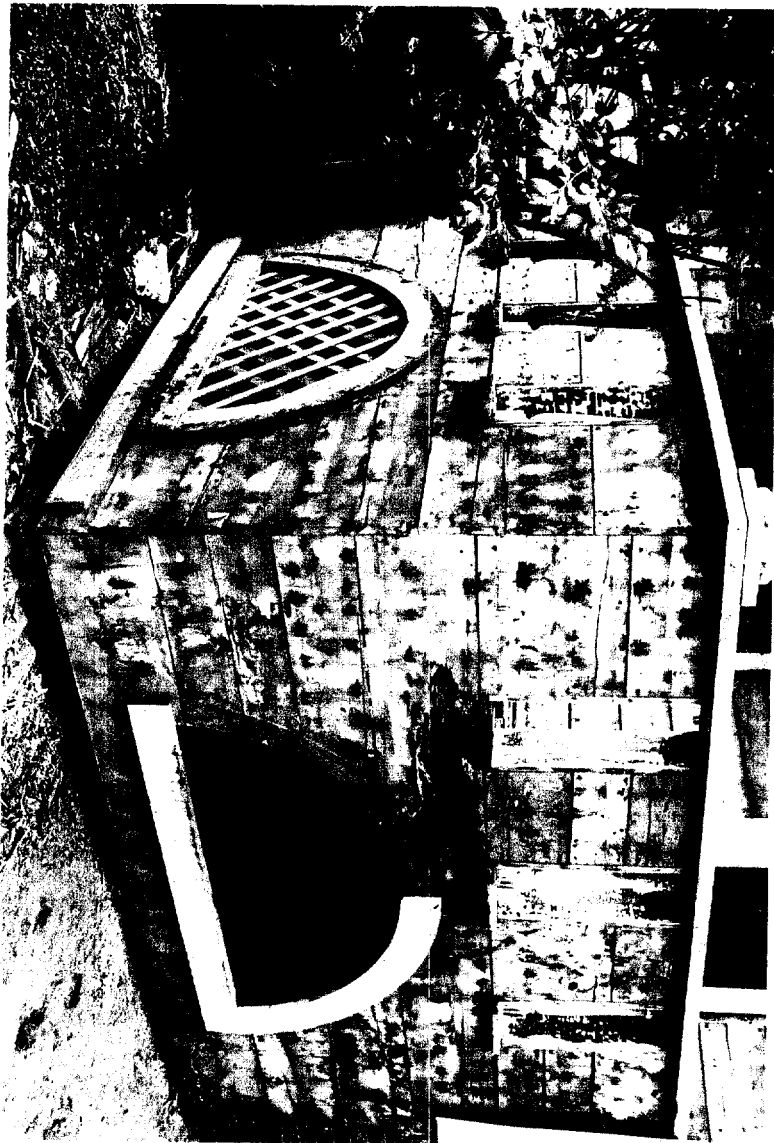
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

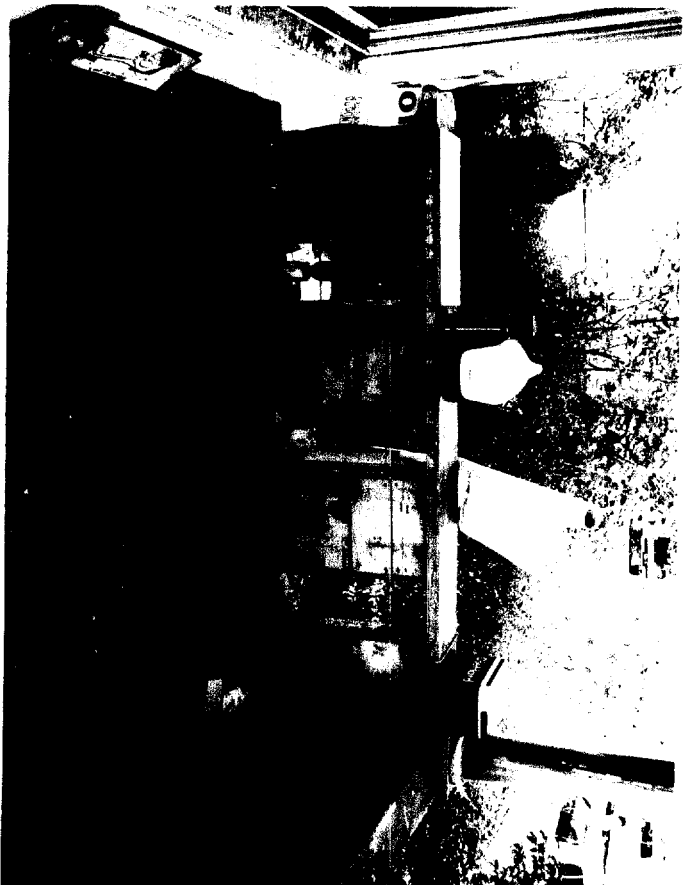
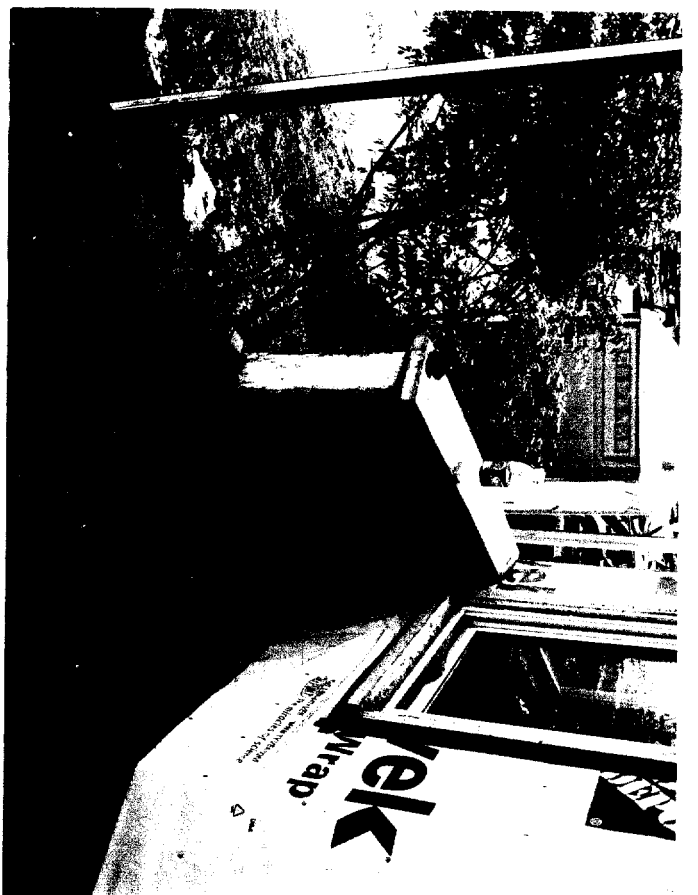
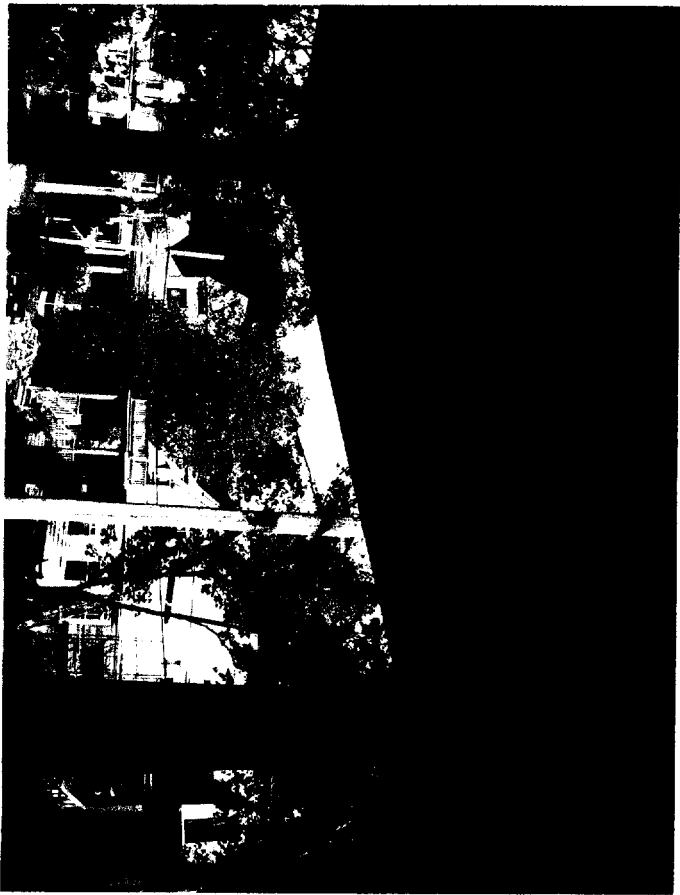
CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

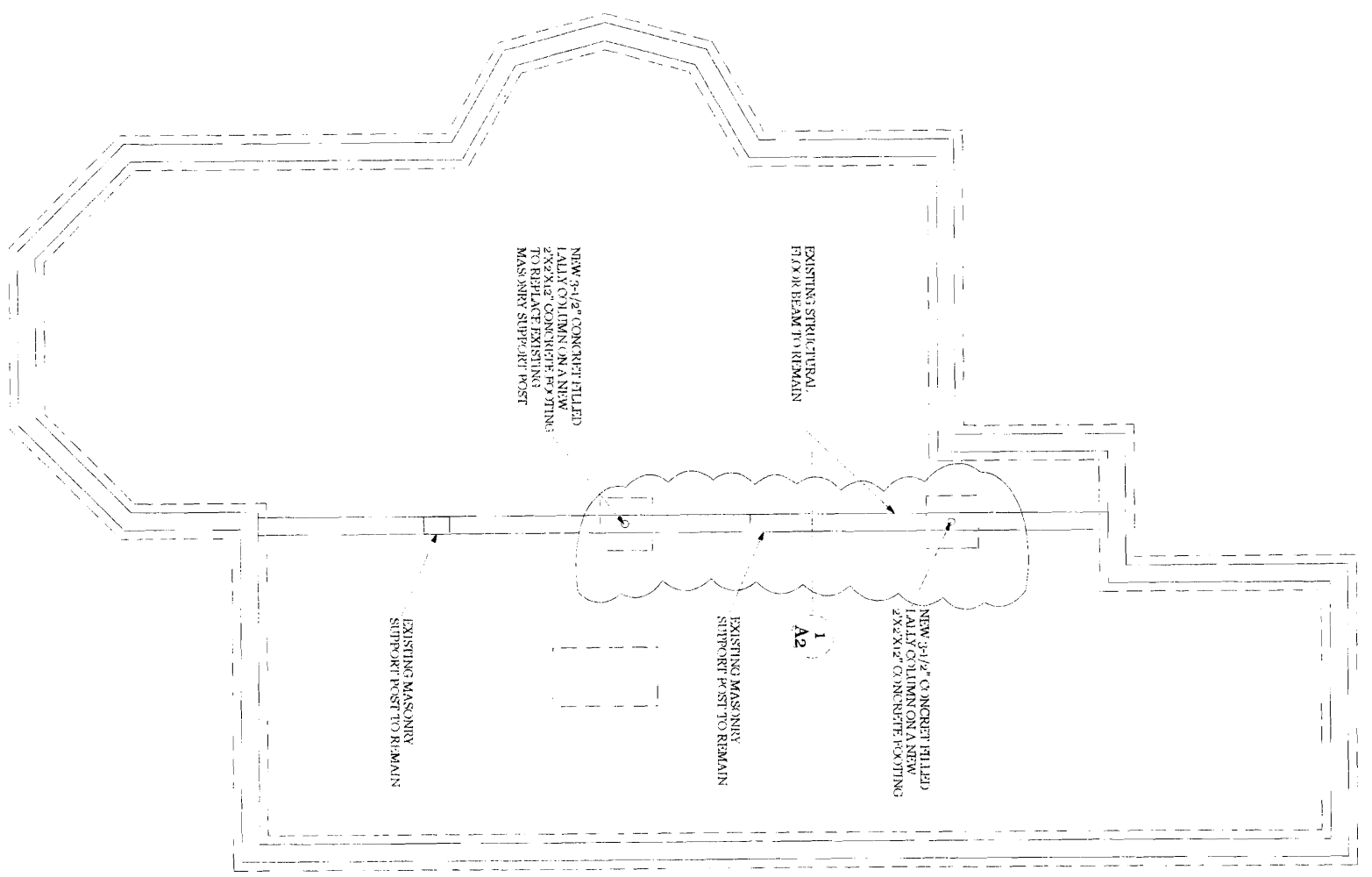
[Signature] 10/26/2005  
Signature of Applicant/Designee

[Signature] 10/26/05  
Signature of Inspections Official

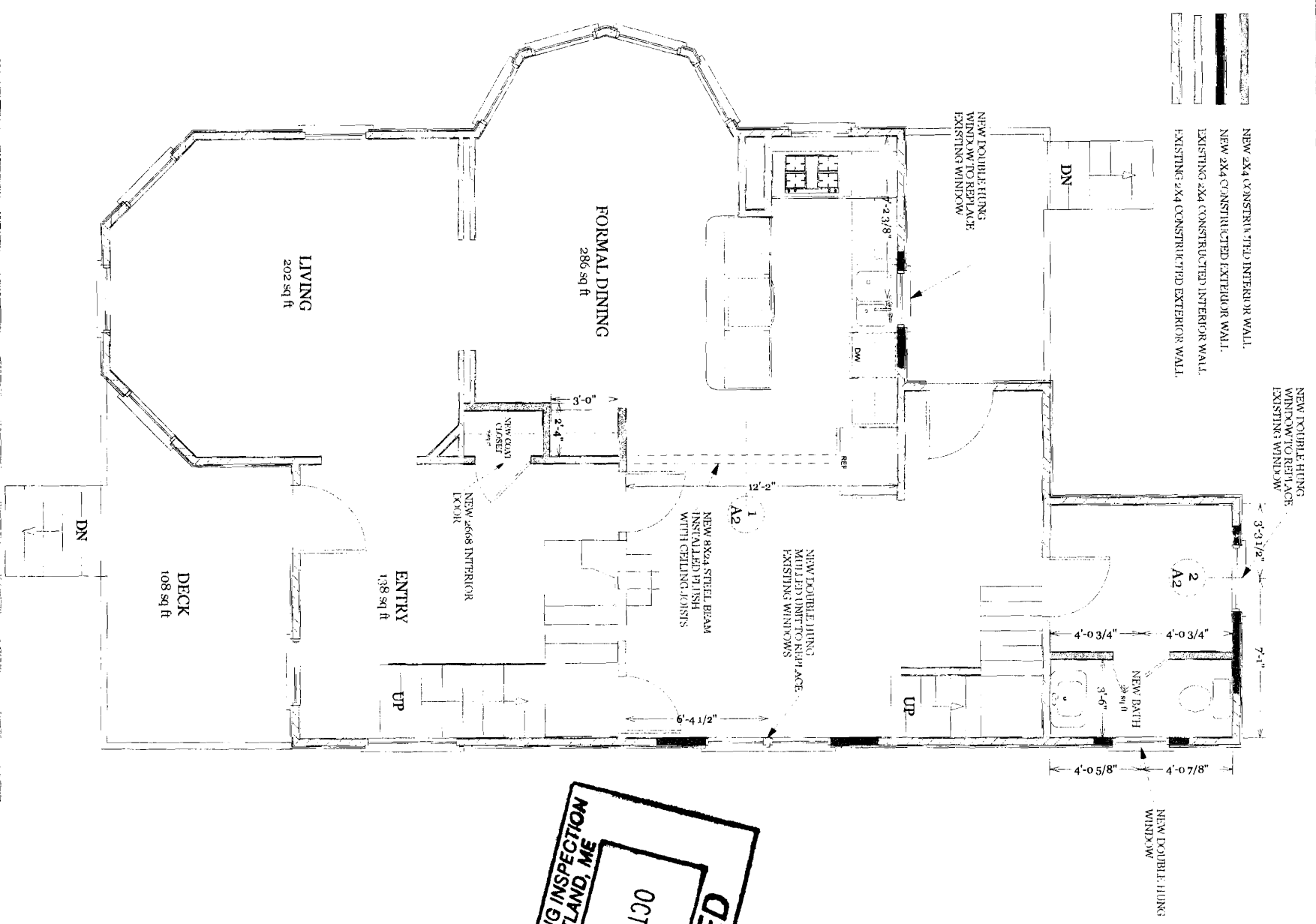
CBL: 123-A-16 Building Permit #: 05-1460





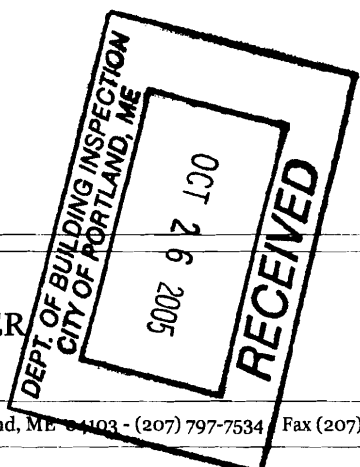


FOUNDATION PROPOSED LAYOUT



NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	DESCRIPTION	HEADER	MANUFACTURER	COMMENTS
W01	2608		30" X 44"	30" X 44"	T.W. DOUBLE HING	2X6X34 (2)	PARADIGM WINDOWS	
W02	2698		30" X 44"	30" X 44"	T.W. DOUBLE HING	2X6X34 (2)	PARADIGM WINDOWS	
W03	3057		35 1/2" X 66"	35 1/2" X 66"	T.W. DOUBLE HING	2X6X59 1/2 (2)	PARADIGM WINDOWS	
W04	5757		67" X 67"	67" X 67"	T.W. DOUBLE HING	2X10X71 (2)	PARADIGM WINDOWS	MULLED UNIT

1st FLOOR PROPOSED LAYOUT







PROPOSED NEW FLOOR LAYOUT  
 ETHAN & LAURI BOXER-MACOMBER  
 34 GLENWOOD AVE PORTLAND, ME 04103

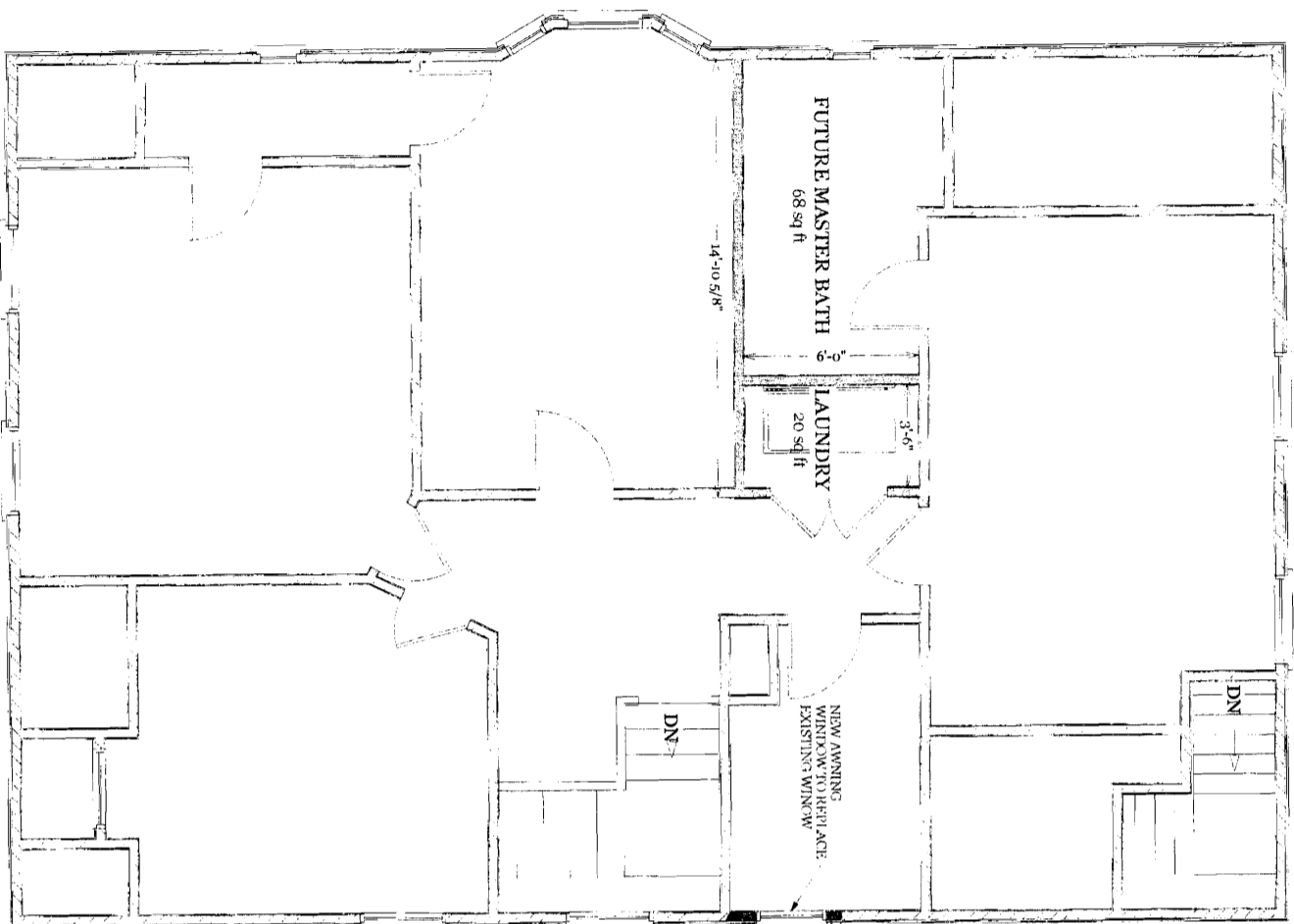
M.R. Brewer Fine Woodworking, Inc. - 91 Bell Street, Portland, ME 04103 - (207) 797-7534 Fax (207) 797-0973

Scale: 1/4" = 1'  
 Date:  
 Drawn by: MRB  
 Job: 8062  
 Page #: A1

REVISIONS	By

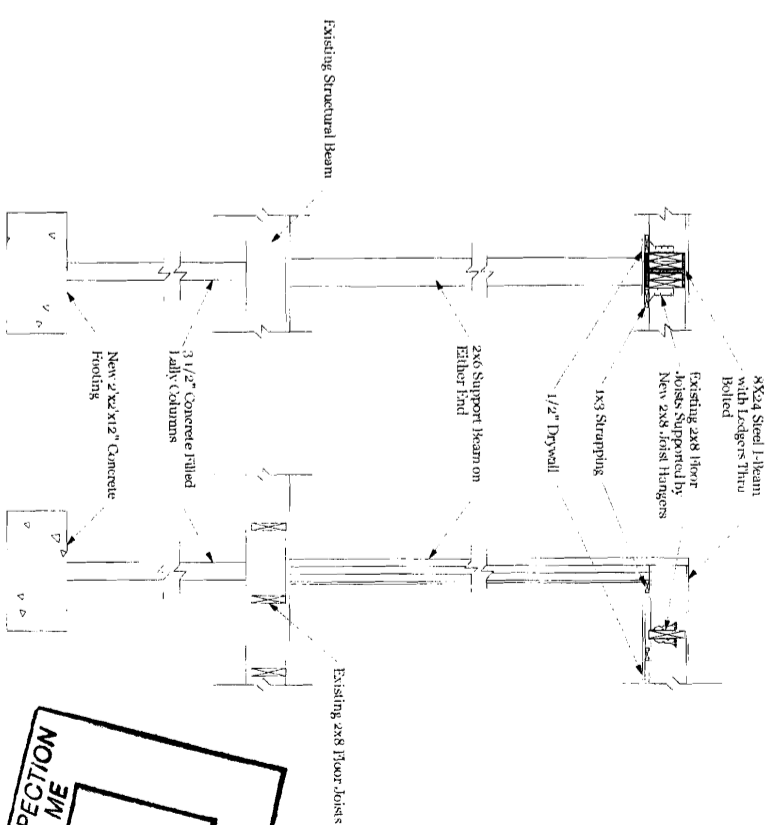


-  NEW 2x4 CONSTRUCTED INTERIOR WALL.
-  NEW 2x4 CONSTRUCTED EXTERIOR WALL.
-  EXISTING 2x4 CONSTRUCTED INTERIOR WALL.
-  EXISTING 2x4 CONSTRUCTED EXTERIOR WALL.

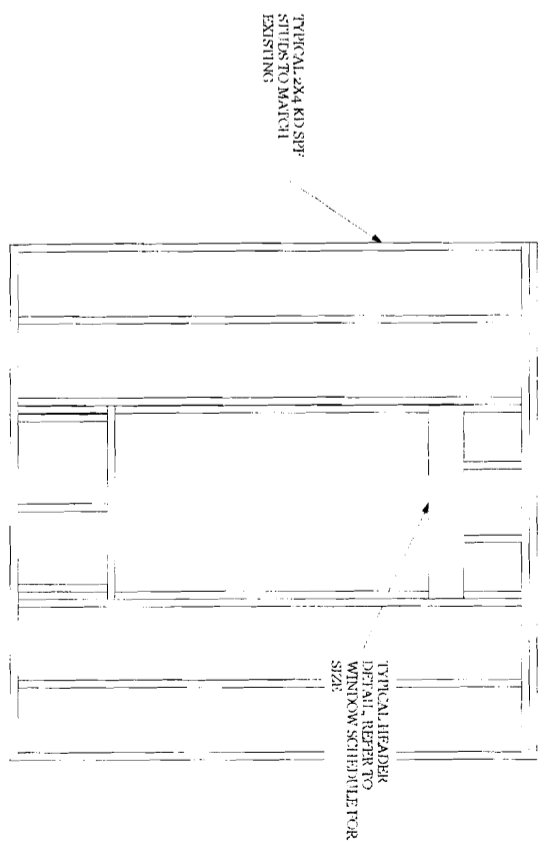


NUMBER	QTY	FLOOR SIZE	DIMENSIONS	DESCRIPTION	HEADER	MANUFACTURER	COMMENTS
1	1	2418	28'3/8" x 20'1/2"	AWNING	2X6X3/8" (2)	FRANCIS WINDOWS	

**2nd FLOOR PROPOSED LAYOUT**



**1**  
**A2** NEW STRUCTURAL BEAM • SCALE: N/A  
**CROSS SECTION**



**2**  
**A2** TYPICAL WALL/WINDOW • SCALE: N/A  
**FRAMING DETAIL**

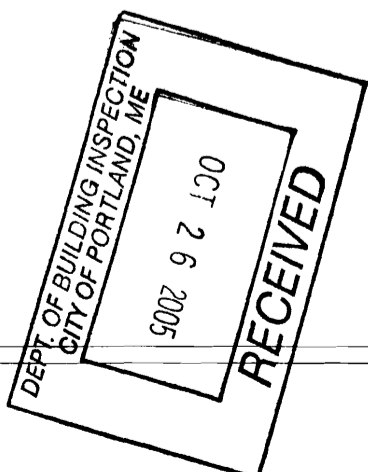
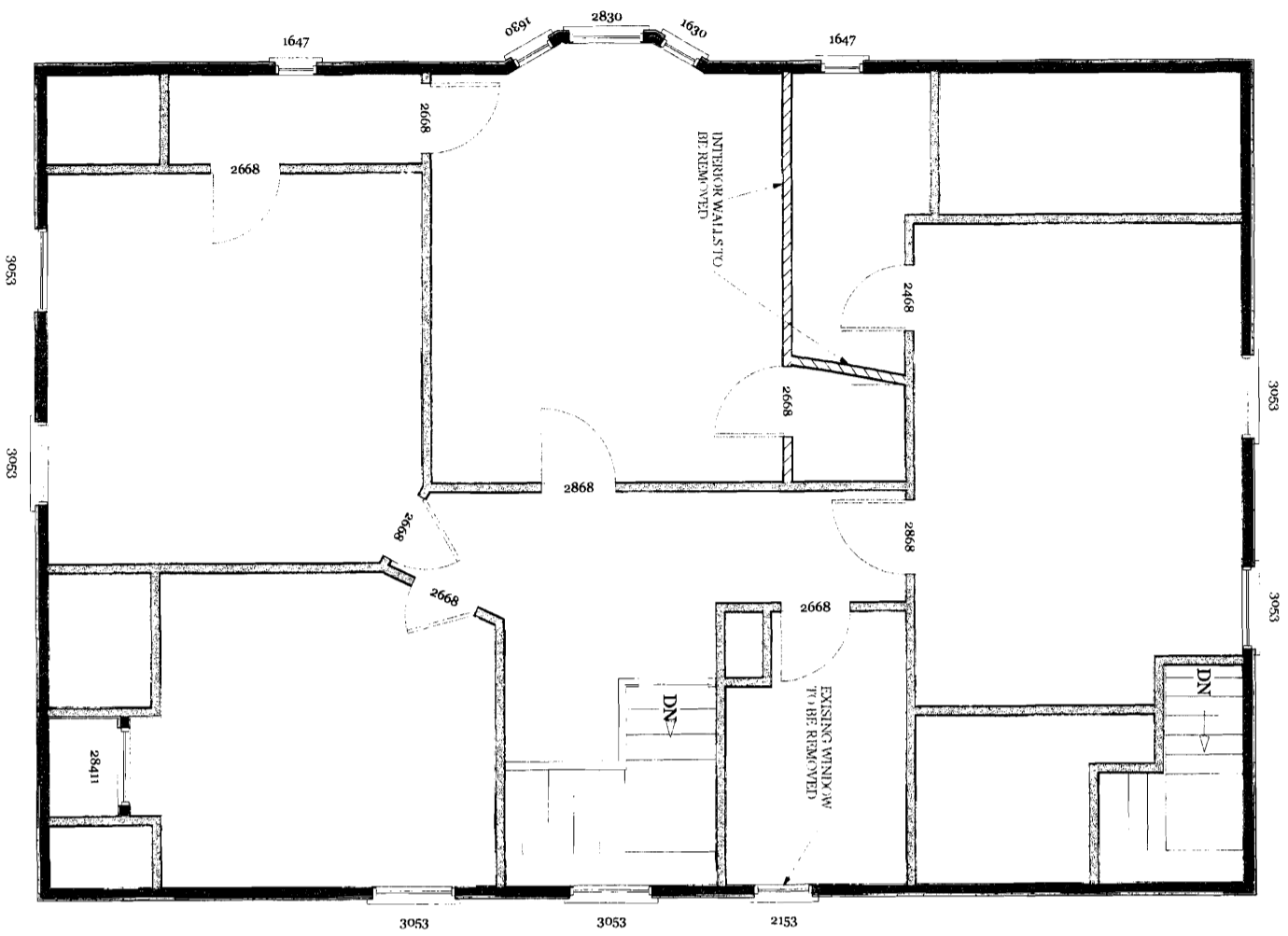
**RECEIVED**  
 OCT 26 2005  
 DEPT. OF INSPECTION  
 CITY OF PORTLAND, ME

**PROPOSED NEW FLOOR LAYOUT**  
**ETHAN & LAURI BOXER-MACOMBER**  
 34 GLENWOOD AVE PORTLAND, ME 04103

M.R. Brewer Fine Woodworking, Inc. - 91 Bell Street, Portland, ME 04103 - (207) 797-7534 - Fax (207) 797-0973

REVISIONS	By

2nd FLOOR DEMOLITION PLAN



PROPOSED NEW FLOOR LAYOUT  
 ETHAN & LAURI BOXER-MACOMBER  
 34 GLENWOOD AVE PORTLAND, ME 04103

M.R. Brewer Fine Woodworking, Inc. - 91 Bell Street, Portland, ME 04103 - (207) 797-7534 - Fax (207) 797-0973

REVISIONS

By

Date:

Scale: 1/4" = 1'

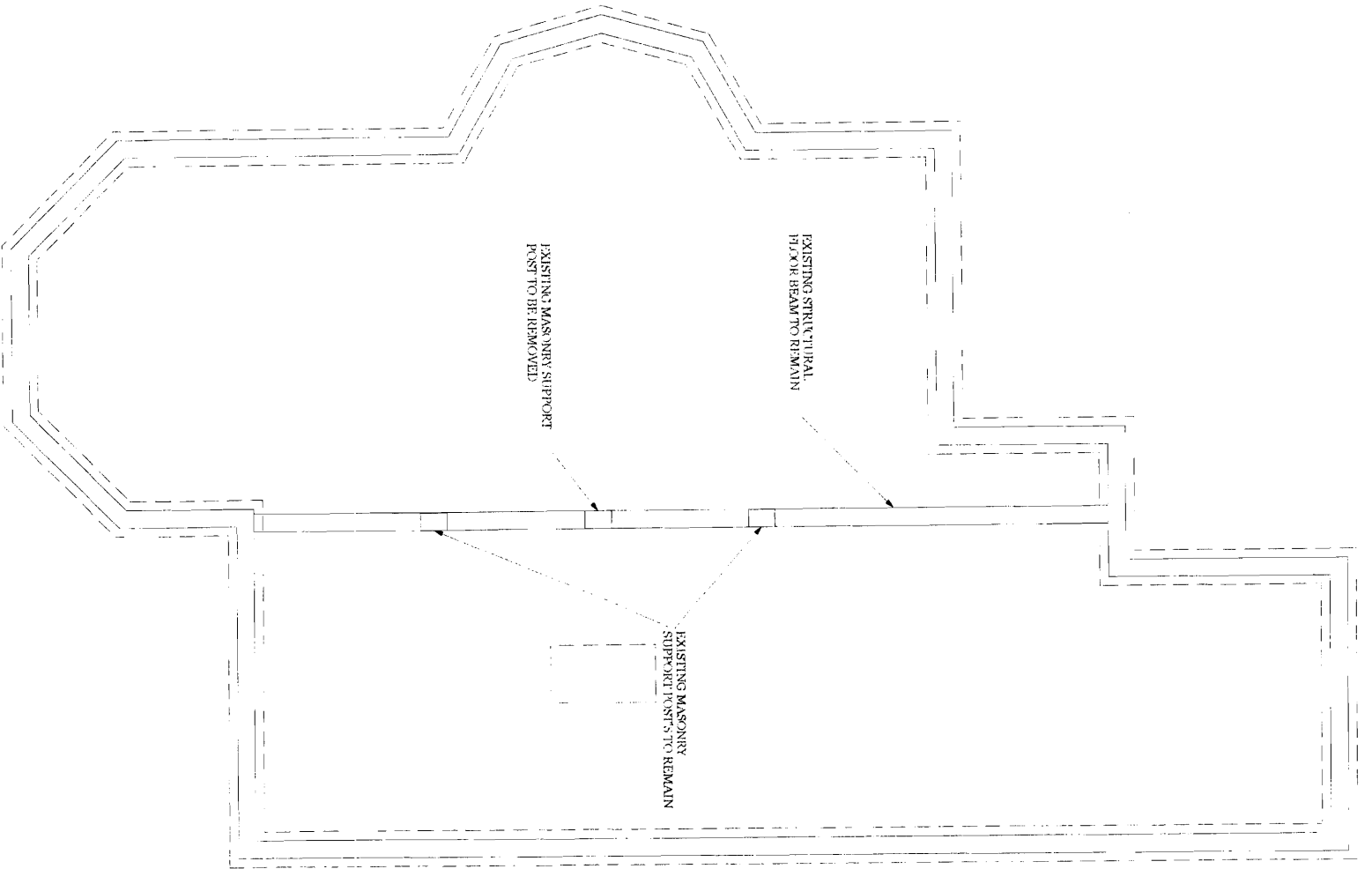
Drawn by: MRB

Job: 8062

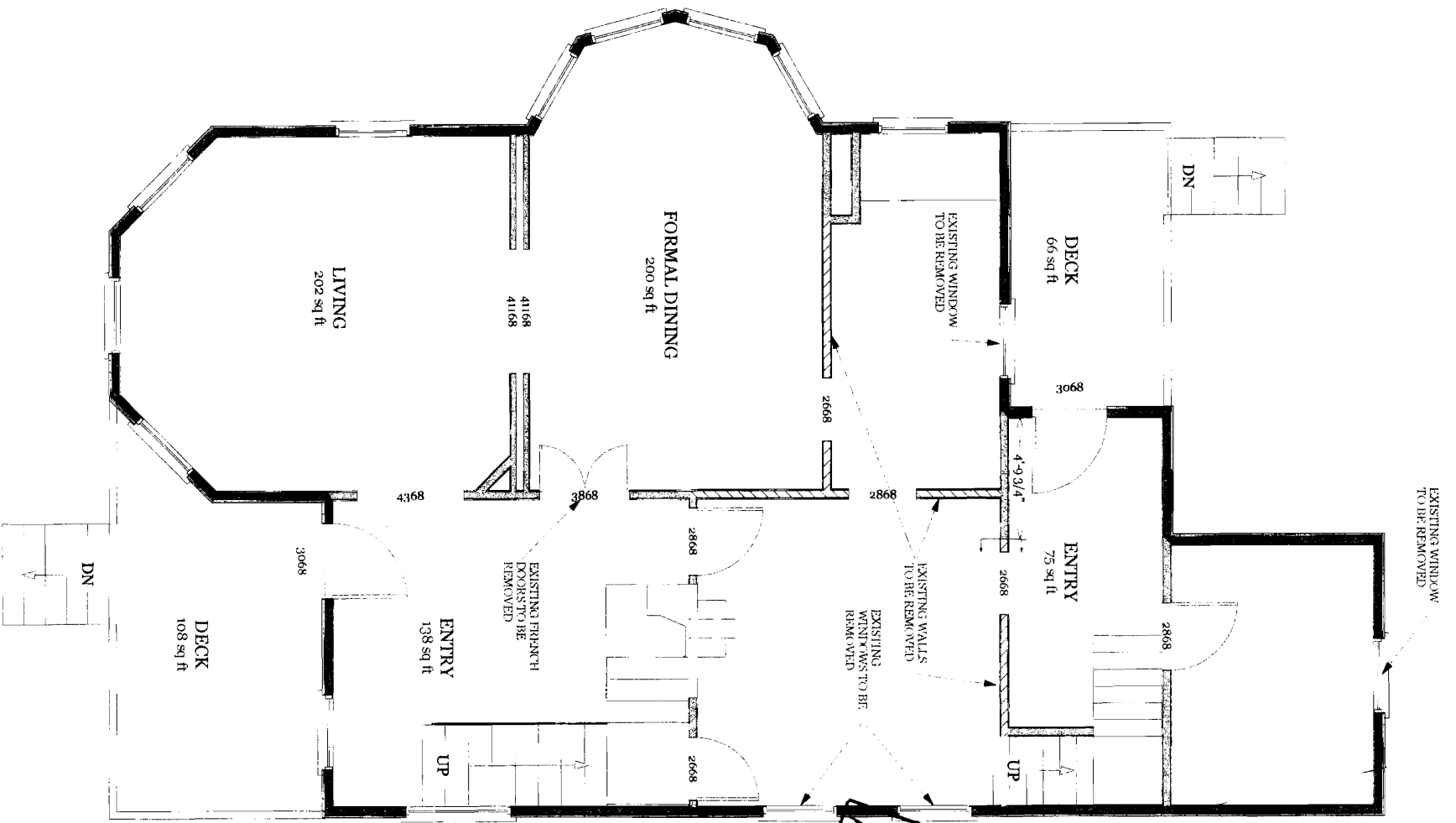
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D2

FOUNDATION DEMOLITION PLAN



1st FLOOR DEMOLITION PLAN



**RECEIVED**  
 OCT 26 2005  
 DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME

**PROPOSED NEW FLOOR LAYOUT**  
**ETHAN & LAURI BOXER-MACOMBER**  
 34 GLENWOOD AVE PORTLAND, ME 04103

M.R. Brewer Fine Woodworking, Inc. - 91 Bell Street, Portland, ME 04103 - (207) 797-8534 - Fax (207) 797-0973

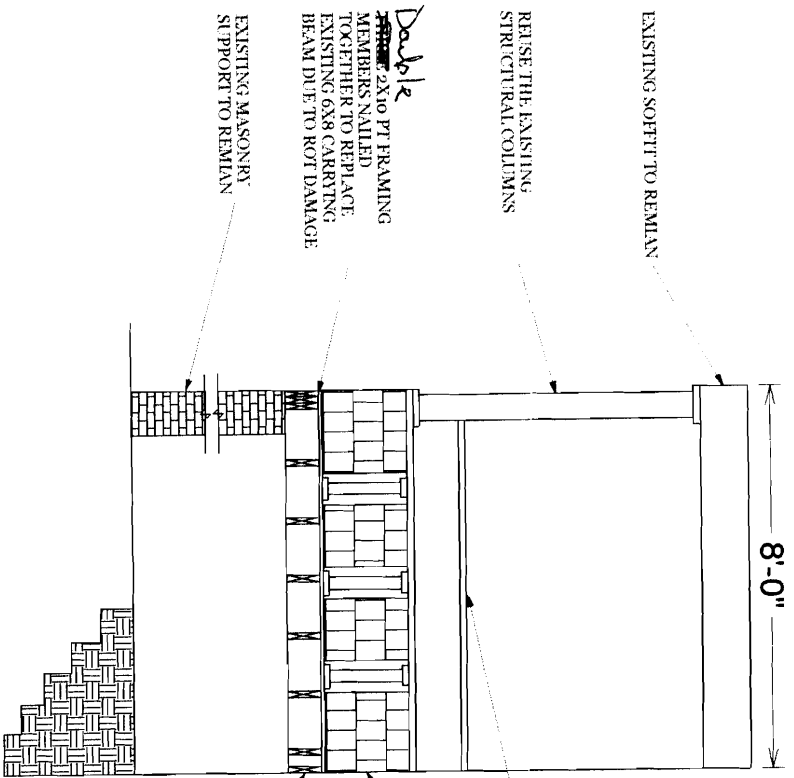
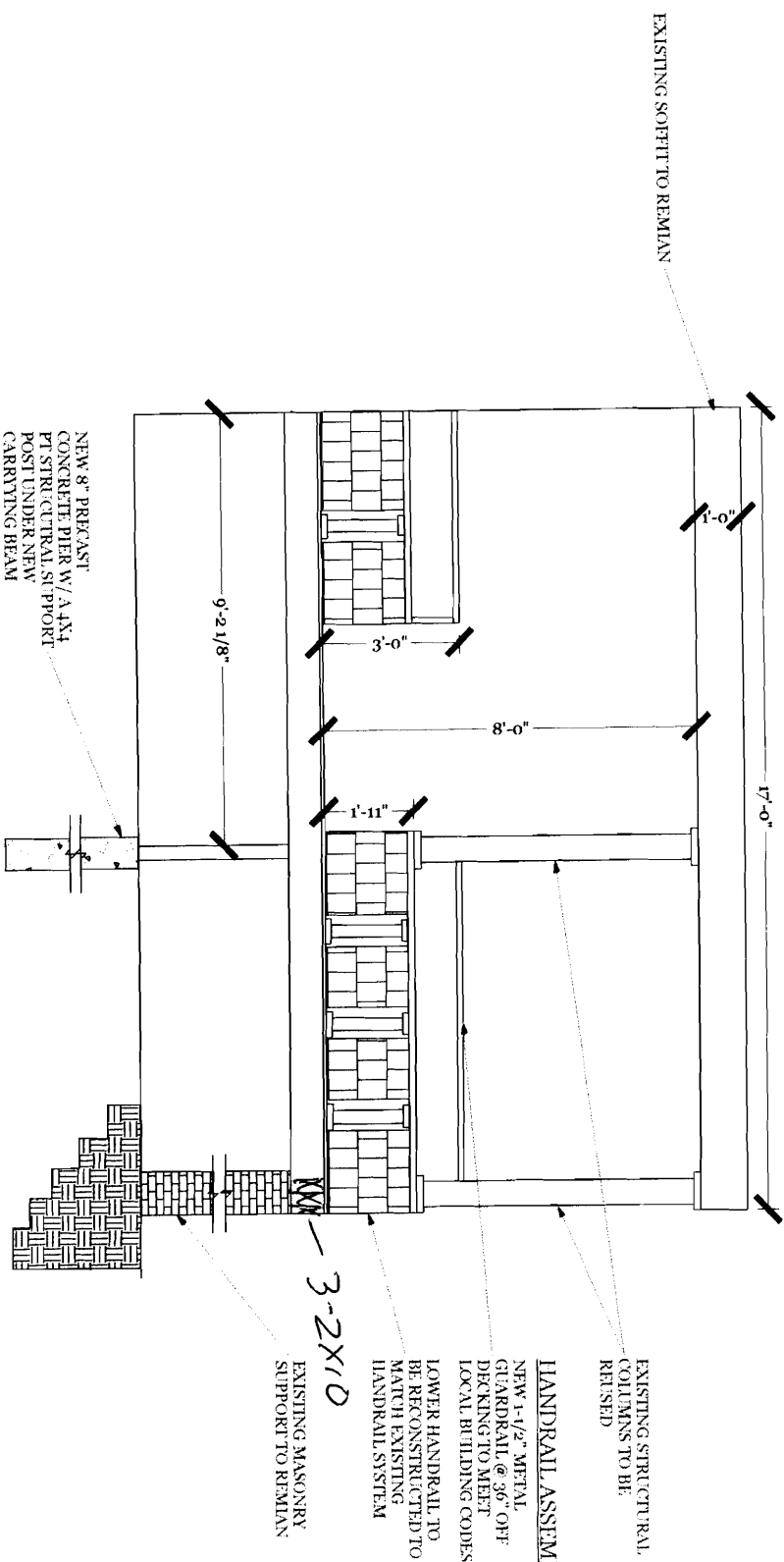
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REVISIONS

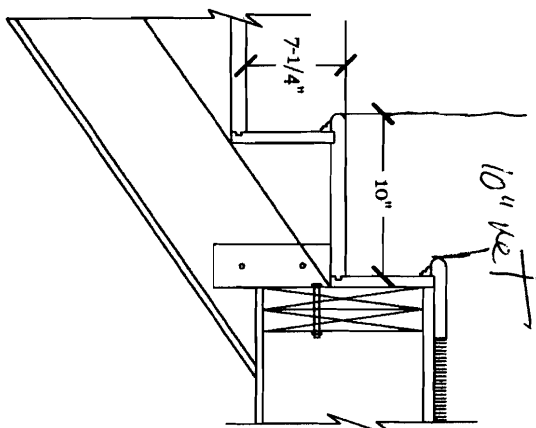
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**HANDRAIL ASSEMBLY**  
 NEW 1-1/2" METAL GUARDRAIL @ 36" ABOVE FINISH TO MEET LOCAL BUILDING CODES  
 LOWER HANDRAIL TO BE RECONSTRUCTED TO MATCH EXISTING HANDRAIL DETAIL

**DECK ASSEMBLY**  
 3/4" DECKING ON 2x10 PT FLOOR FRAMING @ 16" O.C. TO REPLACE EXISTING 2x8 FLOOR SYSTEM DUE TO ROT DAMAGE

*will need detail prior to building for meet code per Ethan B-M 10/26/05*



STAIRS TO BE CONSTRUCTED OF PRESSURE TREATED MATERIALS AND FRAMED TO MEET ALL LOCAL BUILDING CODES

REVISIONS	BY

# FRONT PORCH REPAIRS

## ETHAN & LAURI BOXER-MACOMBER

### 34 GLENWOOD AVE PORTLAND, ME 04103

M.R. Brewer Fine Woodworking, Inc. - 91 Bell Street, Portland, ME 04103 - (207)797-7534 - Fax (207) 797-0973

Date: \_\_\_\_\_  
 Scale: \_\_\_\_\_  
 Drawn: \_\_\_\_\_  
 Job: \_\_\_\_\_  
 Page # \_\_\_\_\_



# CITY OF PORTLAND, MAINE

## Department of Building Inspections

20

Received from \_\_\_\_\_

Location of Work \_\_\_\_\_

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_

Building (1L)  Plumbing (1S) \_\_\_\_\_ Electrical (1Z) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: \_\_\_\_\_

Check #: \_\_\_\_\_ Total Collected \$ 1100

# THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy