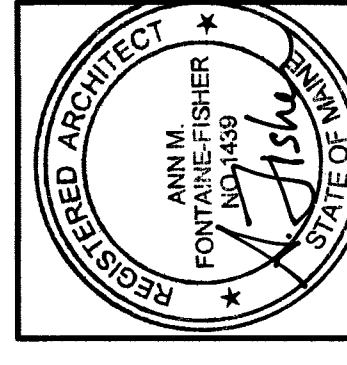


MMP - ORTHOPEDIC TRAUMA & FRACTURE CARE
 BRIGHTON CAMPUS, PORTLAND, MAINE



JOB NO.
12-110

DRWN. CHK
JKP AIF

SCALE
AS NOTED

ISSUE
NOVEMBER 26, 2012

TITLE
SECOND FLOOR
DEMOLITION PLAN
LEGEND & NOTES

SHEET
D1.0

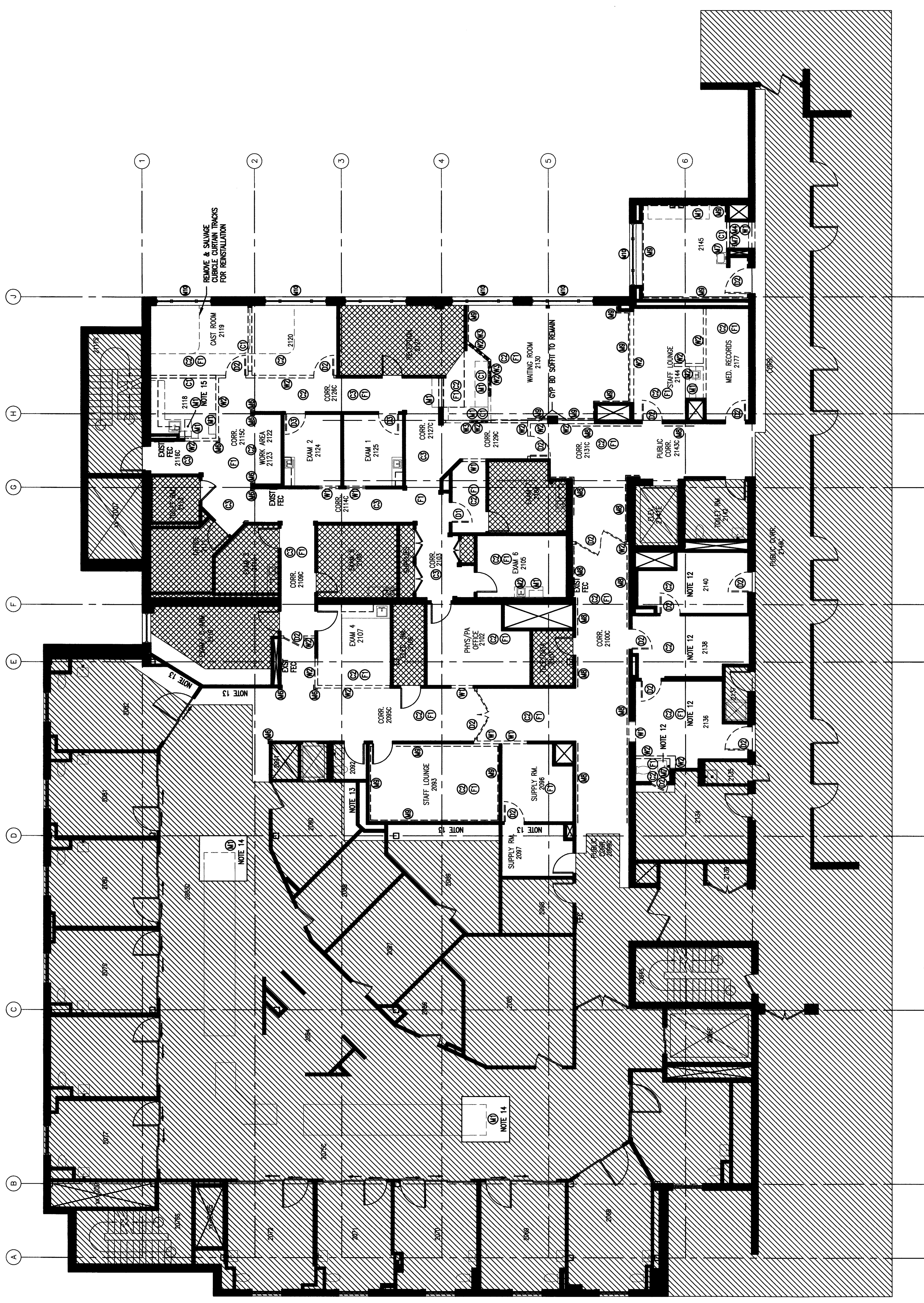
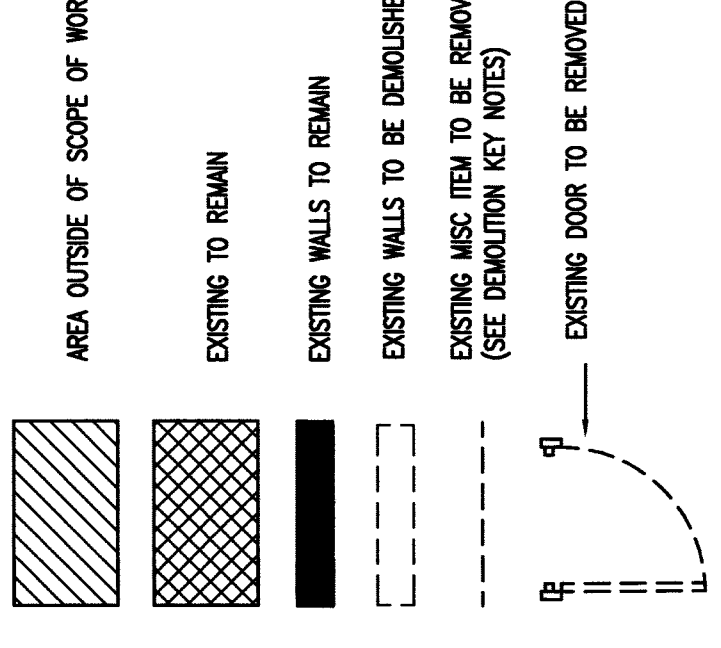
GENERAL DEMOLITION AND REMOVAL NOTES

1. THE DEMOLITION DRAWINGS PROVIDE GENERAL COORDINATION INFORMATION ONLY, AND ARE SCHEMATIC IN NATURE. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CONDITIONS OF WORK PRIOR TO DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
2. VERIFY EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION OR REMOVALS.
3. COORDINATE AND SCHEDULE ALL WORK IN EXISTING OCCUPIED PORTIONS OF THE BUILDING WITH THE OWNER.
4. CONCRETE SLAB PREVENTIONS ARE NOT SHOWN ON THE DEMOLITION DRAWINGS. COORDINATE THE EXTENT OF PREVENTIONS/REMOVALS WITH MECHANICAL, PLUMBING AND ELECTRICAL WORK.
5. REMOVAL OF THE MATERIALS AS INDICATED SHALL BE DONE WITH MINIMUM DISTURBANCE OF ADJACENT SURFACES TO REMAIN OF THE CURRENT CONDITION OF THE BUILDING ELEMENTS. SEE GENERAL PACKING & REPAIR NOTES.
6. THE OWNER SHALL REMOVE FURNITURE AND OTHER MOVABLE AND/OR FIXED EQUIPMENT PRIOR TO NEW WORK IN ANY AREA, EXCEPT FOR MECHANICAL, ELECTRICAL OR PLUMBING WORK NOT REQUIRING THE OWNER TO COMPLETELY REMOVE THE EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND CARE OF REMAINING EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND CARE OF REMAINING EQUIPMENT.
7. REMOVE ALL DAMAGED AND/OR EXPOSED BUILDING CONSTRUCTION MATERIAL FROM CONVEYED SPACES PRIOR TO CLOSING OR SHUT-OFF. THE CONTRACTOR SHALL ALLOW FOR AN INSPECTION OF COMPONENTS WHICH WILL NOT BE VISIBLE WHEN THE SPACES HAVE BEEN SEALED.
8. ALL DEMOLITION/REMOVAL ITEMS IS THE PROPERTY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE.
9. SALVAGE: SALVAGE CERTAIN COMPONENTS FOR LIMITED REUSE TO MATCH EXISTING CONDITIONS FOR PATCH AND REPAIR AS INDICATED.
10. THE CONTRACTOR MAY REPLACE SALVAGED ITEMS WITH NEW AND IDENTICAL MATERIALS ONLY WITH THE OWNER'S PRIOR APPROVAL.
11. LOCATIONS OF ALL TEMPORARY PARTITIONS SHALL BE COORDINATED WITH OWNER. AREAS OF WORK WITHIN TEMPORARY PARTITIONS SHALL BE SEALED OFF BY PLASTIC PARTITIONS FOR DURATION OF WORK (SEE GENERAL PACKING & REPAIR NOTES).
12. MAKE CEILING ABANDONED BY OWNER.
13. PARTIAL REMOVAL OF CEILING TILES AND GIRDERS AS REQUIRED FOR PACKING/SEALED EXISTING PENETRATIONS IN FRIEZE AREAS SHALL BE AS SHOWN.
14. NOTES EXISTING MILLWORK SEE DETAIL 14/M1.
15. REMOVE SECTION OF COUNTERTOP, CUT BACK, REINSTALL.

DEMOLITION KEY NOTES:

- FLOOR NOTES**
- F1 REMOVE EXISTING FLOORING TO SLAB BELOW.
- WALL NOTES**
- W1 REMOVE WALL AS REQUIRED FOR NEW OPENINGS
 - W2 REMOVE STUCCO WALL AND FINISH
 - W3 REMOVE WINDOW SYSTEM
- CEILING NOTES**
- C1 REMOVE GIRDERS ABOVE
 - C2 REMOVE CEILING TILES AND GIRDERS
 - C3 REMOVE CEILING TILE GRID TO REMAIN
- DOOR NOTES**
- D1 REMOVE DOOR & HINGERS; FRAME TO REMAIN; SEE DOOR SCHEDULE FOR EXTENT.
 - D2 REMOVE DOOR & HINGERS; FRAME TO REMAIN; SEE DOOR SCHEDULE FOR EXTENT.
 - D3 REMOVE DOOR & FRAME; SALVAGE FOR OWNER; REINSTALL.
- MISCELLANEOUS DEMOLITION NOTES**
- M1 REMOVE BUILT-IN CASEWORK OR SHELVING & ATTACHMENTS
 - M2 REMOVE BUILT-IN CASEWORK OR SHELVING & ATTACHMENTS
 - M3 REMOVE MISCELLANEOUS RELATED ITEMS ON WALLS INCLUDING, BUT NOT LIMITED TO, TOWEL BARS, MIRRORS, DISPENSERS, TV BRACKETS, CLOCKS, CORNER GUARDS
 - M4 REMOVE LIGHTING FIXTURES, MECHANICAL DIFFUSERS AND/OR SPRINKLERS; SALVAGE FOR OWNER; REINSTALL
 - M5 REMOVE HAND RAILS, CORNER GUARDS AND/OR WALL BUMPERS
 - M6 REMOVE FURNITURE; SALVAGE FOR OWNER; REINSTALL
 - M7 REMOVE CHAIR RAILS
 - M8 REMOVE WINDOW SINKS; SALVAGE FOR OWNER

GRAPHIC LEGEND:



1 DEMOLITION PLAN
 1/8" = 1'-0"

