

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE PERMITS WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

OCT 9 2002  
Permit Number: 020761  
CITY OF PORTLAND

# DBD PERMIT

This is to certify that Mmc Reatly Corp /MCE Mechanical Services  
has permission to Conversion from electric to gas heat  
AT 142 Prospect St Call 121 C033001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or occupied. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

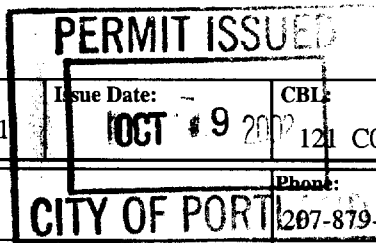
Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*Jeanie Bourke* 10/9/02  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0761	Issue Date: <b>OCT 9 2002</b>	CBL: 121 C033001
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Location of Construction: 142 Prospect St	Owner Name: Mmc Reatly Corp	Owner Address: 22 Bramhall St	Phone: 207-879-8065
Business Name:	Contractor Name: MCE Mechanical Services	Contractor Address: Cumberland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: <b>R-3</b>

Past Use: Residential  <i>legal: single family</i>	Proposed Use: Residential  <i>single family</i>	Permit Fee: \$65.00	Cost of Work: \$6,000.00	CEO District: 3
Proposed Project Description: Conversion from electric to oil heat  <i>No change</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>R-3</b> Type: <b>JB</b> <b>BOCA 1999</b> Signature: <i>JMB 10/9/02</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: jmy	Date Applied For: 07/12/2002	<b>Zoning Approval</b>	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Minor <input type="checkbox"/> Major	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Date: <i>9/27/02</i>		Date: _____

*No permit on file for fear of side deck - we need that first -*

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE	

11/6/02 on site (w/ RICHARD SPICER) checked electrical and  
framing where furnace will be placed. OK. to proceed for

02-0761

# All Purpose Building Permit Application

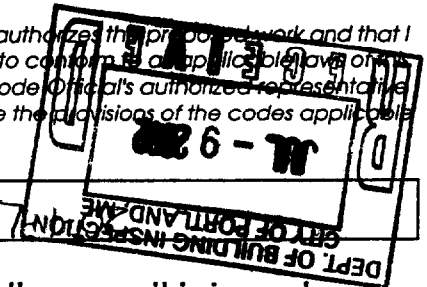
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>142 PROSPECT ST</u>		
Total Square Footage of Proposed Structure <u>1140</u>	Square Footage of Lot <u>11431</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>121</u> Block# <u>C</u> Lot# <u>22</u>	Owner: <u>MAINE MEDICAL CENTER</u> <u>REALY CORP</u>	Telephone: <u>879-8065</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>879-8065</u> <u>335 BRIGHTON AVE</u> <u>PORTLAND, ME 04102</u>	Cost Of Work: \$ <u>6000.00</u> Fee: \$ <del>72.00</del> <u>65.00</u>
Current use: <u>Residential</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>No change in use.</u>		
Project description: _____		
Contractor's name, address & telephone: <u>MCE Mechanical Services (Jim McCord)</u> <u>Cumberland, Me. 829-4663</u>		
Who should we contact when the permit is ready: <u>Richard Spicer</u>		
Mailing address: <u>335 Brighton Ave.</u> <u>Portland, Me. 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>879-8065</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Richard H Spicer</u>	Date: _____
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

RHS **Footing/Building Location Inspection:** Prior to pouring concrete

NH **Re-Bar Schedule Inspection:** Prior to pouring concrete

RHS **Foundation Inspection:** Prior to placing ANY backfill

RHS **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

RHS **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per~~ inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

X **If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

NH **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Kicki Spicer  
Signature of applicant/designee

Date

Gene Banko  
Signature of Inspections Official

Date

CBL: 121-C-33 Building Permit #: 02-0761

Application ID Number: 2-0761

Delete Save Close

Department: Building Status: Approved Reviewer: Jeanine Bourke

Comments: 10/3/02 spoke with Jim Mcord about exterior stair. He said they may use the existing stairway and it will meet all code requirements. 10/7/02 left v-mail w/Richard Spicer about combustible air exchange in the furnace room. Approval Date: 10/09/2002

Given On Date: 09/30/2002

OK to Issue Permit Name: Jeanine Bourke Date: 10/09/2002 Date 2:

**Conditions Section:**

Add New Condition From Add New Condition Delete Condition

Installation shall comply with 1993 BOCA Mechanical Code and State of Maine Oil and Solid Fuel Board Laws and Rules. See submittal for combustion air system being installed

Create Date: 07/12/2002 By: jimy Update Date: 10/09/2002 By: jimb

Application ID Number: 2-0761

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Address: 142 Prospect St.

Approved Date: 09/27/2002

Issue Date: 07/15/2002

OK to Issue Permit Name: Marge Schmuckal Date: 09/27/2002

Conditions Section

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Separate permits shall be required for future docks, sheds, pools, and/or garages.

It is understood that the side deck that was over the property line has been removed. As pointed out previously, your rear shed is also nonconforming and should be made to conform to the City ordinances by way of proper permits and setbacks.

Created Date: 07/12/2002 By: jmy Update Date: 09/27/2002 By: mes

Zoning Division  
Marge Schmuckal  
Zoning Administrator

Department of Urban Development  
Lee Urban, Director



**CITY OF PORTLAND**

July 17, 2002

MMC Realty Corp.  
335 Brighton Ave  
Portland, ME 04103  
Att: Richard Spicer

RE: 142 Prospect Street – 121-C-033 – R-3 Zone

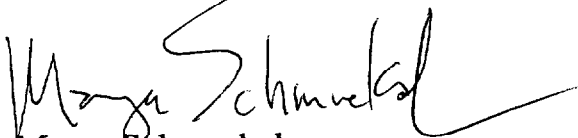
Dear Mr. Spicer,

I am in receipt of your building permit to convert this single family dwelling from electric heat to oil heat. This would be achieved by creating a furnace/oil tank storage room underneath the existing rear deck and stairs. Our files show that no permits have ever been taken out nor approved for such a deck and stairs.

Before this permit for conversion may be issued, this office requires a building permit to allow the deck and stairs. Your permit is on hold until such time that a separate permit is approved for the rear deck and stairs.

If you have any questions, please do not hesitate to contact this office.

Very truly yours,

  
Marge Schmuckal  
Zoning Administrator

9/27/02 - <sup>illegal</sup> Deck has been removed  
AS shown on Newly  
Submitted Plans dated  
9/17/02

CC: File





# Maine Medical Center

22 Bramhall Street, Portland, Maine 04103

## FAX TRANSMITTAL

**ENGINEERING SERVICES**  
**Brighton Facility**

TELEPHONE NUMBER (207) 879-8006  
FAX NUMBER (207) 879-8066

DATE: September 26, 2002

TO: Jeanie Bourke

FROM: Richard Spicer

Re: Combustion Air System for 142 Prospect St.

Number of pages including cover sheet   3  

### Message

**Jeanie, If you have any questions, please don't hesitate to call me in the office @ 879.8006 Thank You Richard**



147 ST. JOHN STREET  
PORTLAND, MAINE 04102  
TEL: 207-871-1441 FAX: 207-871-0057

Tuesday, October 08, 2002

To: Richard Spicer  
Brighton Medical Center

FAX #: 878-8066

# Pages: 2 total

Subject: Combustion air kit

Richard,

Jim McCoid asked me to fax the following information to you. Please call if you need anything else or if you have questions.

Thank you.

Willie Ham  
Heating Department  
The Granite Group  
Voice 207-871-1441  
FAX 207-871-0057  
Email [wham@thegrانitegroup.com](mailto:wham@thegrانitegroup.com)  
<http://www.thegrانitegroup.com>  
147 St. John Street  
Portland, ME. 04102

# Combustion Air Systems

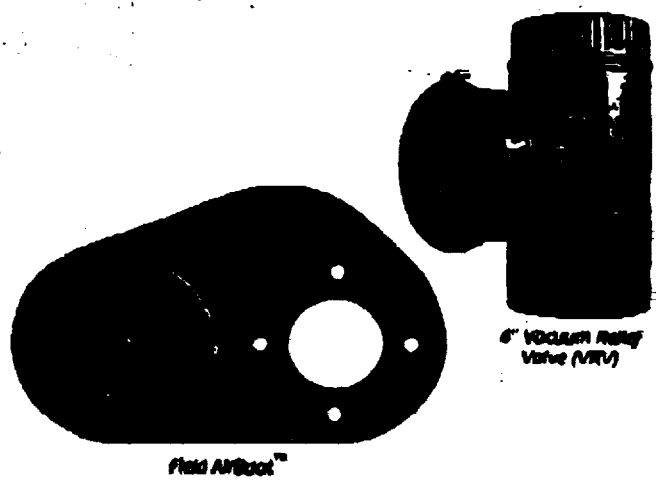
## CAS-1 and CAS-2

### Direct Connect

The Field Combustion Air System (CAS) provides controlled amounts of outside air for proper combustion of oil or gas heating appliances. There are four models designed to work with a variety of gas or oil appliances. Including models designed specifically for use with Beckett, Carlin, Wayne and Well-McLain burners.

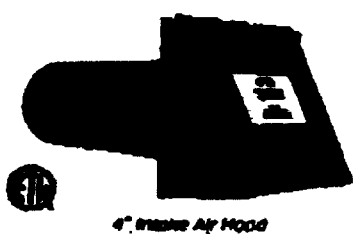
### When to use the CAS:

- Too tight construction.
- Provide source of fresh air for combustion.
- CAS-1 and CAS-2 connect directly to oil burners.
- CAS-3 and CAS-4 are for multiple appliances or when direct connection is not possible.
- CAS-5 is for oil or gas warm air furnaces located in confined spaces.



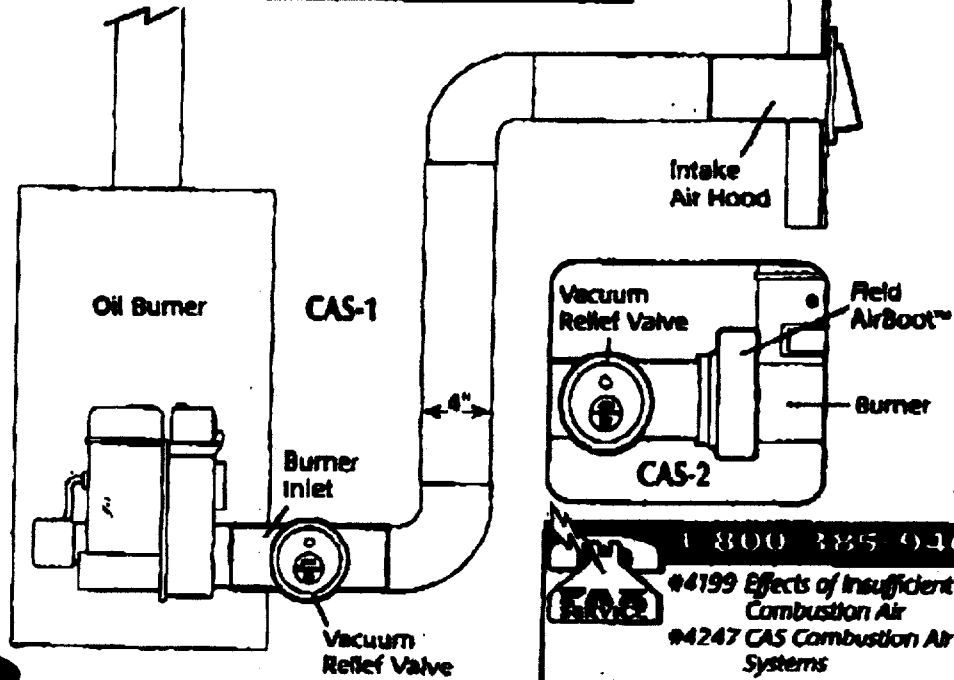
Field AirBoot™

4" Vacuum Relief Valve (VRV)



4" Intake Air Hood

Model Number	Fuel	Application	Appliance Input	Components
CAS-1	Oil	Appliances with Beckett AF II Burners	Up to 2 gph	4" Intake Air Hood 4" Vacuum Relief Valve
CAS-2 (B,C,W, WM)	Oil	Appliances with Beckett AFG or AF, Carlin EZ-1, Wayne MSR, or Well-McLain QB-100 or QB-300 burners.	Up to 2 gph	4" Intake Air Hood 4" Vacuum Relief Valve Field AirBoot™



1 800 385 9460  
 #4199 Effects of Insufficient Combustion Air  
 #4247 CAS Combustion Air Systems





July 8, 2002

City of Portland  
Planning Dept.  
Portland, ME

Re: 142 Prospect St addition

To Whom It May Concern:

Please find our accompanying paperwork for the proposed addition of a furnace room at 142 Prospect Street. We are converting the residence from electric to oil heat and need to space for the oil furnace. We want to place the furnace room at the back of the house where it will not be visible from the street.

We believe that our plans are in keeping with the neighborhood and will have minimum impact on the appearance of the house. If you have any questions or concerns, please call me at 879-8006.

Thank you for giving this matter your attention.

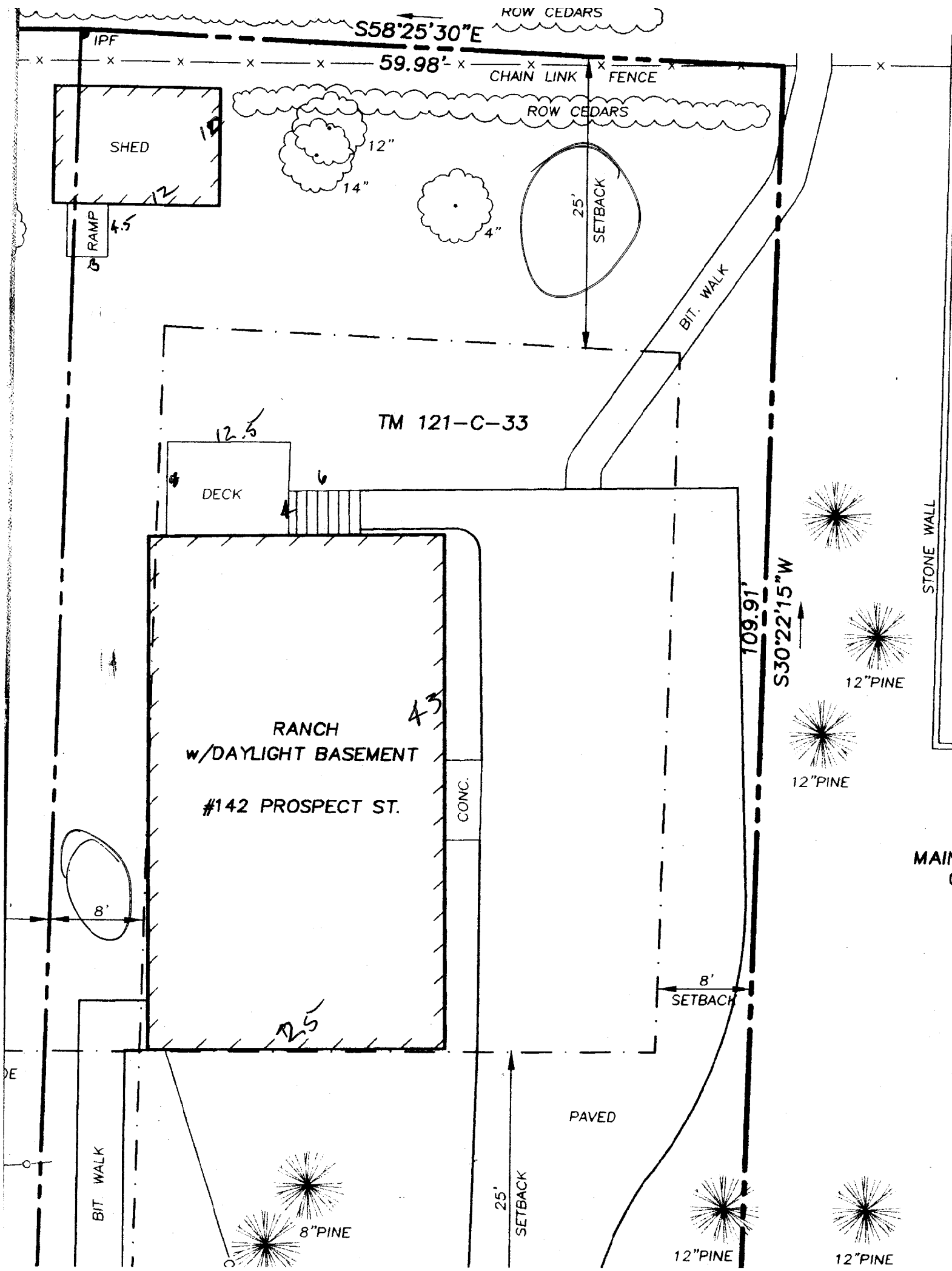
Sincerely,

A handwritten signature in cursive script that reads "Richard Spicer".

Richard Spicer

RHS/ms

Enclosures

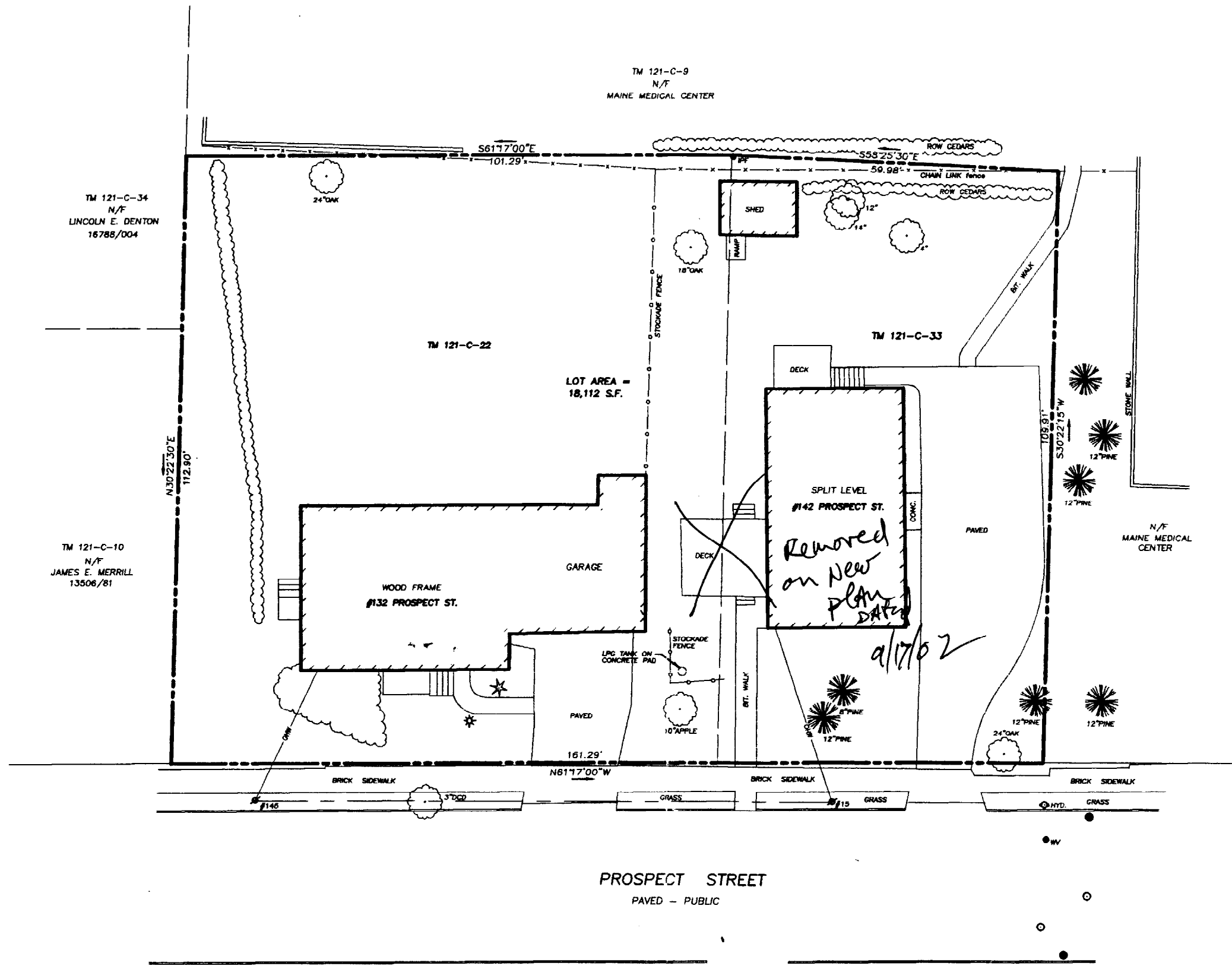
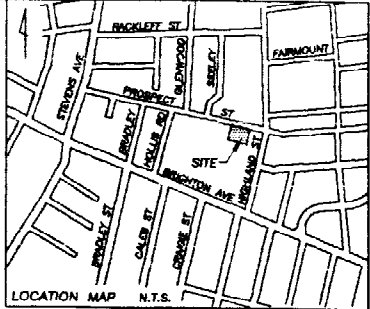
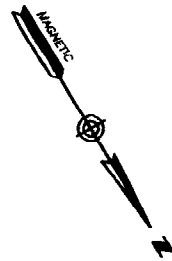


**R-3**  
 Rear: 25' reg 25' + stair  
 Side: 8' reg - 8' + stair  
 Front: N/A

- LEGEND:**
- IRON PIPE FOUND
  - ⊗ WATER VALVE
  - ⊙ HYDRANT
  - ⊘ UTILITY POLE
  - MANHOLE
  - ⊖ CATCH BASIN
  - ☁ DECIDUOUS TREE
  - ☼ CONIFEROUS TREE
  - FENCE
  - ==== CURB
  - OHW— OVERHEAD WIRES
  - TM 121-C-9 TAX MAP-BLOCK-LOT NO.

$6681 \times 25\% = 1670.25$   
 $25 \times 43 = 1075$   
 $8 \times 12.5 = 100$   
 $4 \times 6 = 24$   
 $10 \times 12 = 120$   
 $3 \times 4.5 = 13.5$   
1332.5

N/F  
 MAINE MEDICAL CENTER



- LEGEND:**
- IRON PIPE FOUND
  - WATER VALVE
  - HYDRANT
  - UTILITY POLE
  - MANHOLE
  - CATCH BASIN
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - FENCE
  - CURB
  - OVERHEAD WIRES
  - TM 121-C-8 TAX MAP-BLOCK-LOT NO.

**PLAN REFERENCES**

1. SURVEY PLAT OF MAINE MEDICAL CENTER-BRIGHTON CAMPUS CONDOMINIUM, 336 BRIGHTON AVENUE, PORTLAND, MAINE FOR MAINE MEDICAL CENTER DATED JUNE, 10, 1988, REVISED MARCH 27, 2007 BY OWEN HASKELL, INC.

**NOTES**

1. OWNER OF RECORD: MMC REALTY CORP., C.G.R.D. BOOK 18145 PAGE 277-278.
2. PROPERTY IS SHOWN AS LOTS 22 & 34 BLOCK C ON CITY OF PORTLAND'S ASSESSORS MAP 121.
3. BEARINGS ARE MAGNETIC 1947.



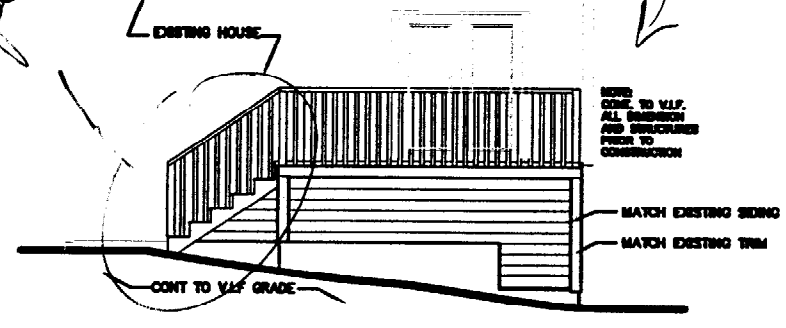
**EXISTING CONDITIONS PLAN**  
 AT  
 #132 & #142 PROSPECT STREET, PORTLAND, MAINE  
 MADE FOR  
**MAINE MEDICAL CENTER**  
 BRANHALL STREET, PORTLAND, MAINE

**OWEN HASKELL, INC.**  
 18 CASCO ST., PORTLAND, ME 04101 (207) 774-0484  
 PROFESSIONAL LAND SURVEYORS

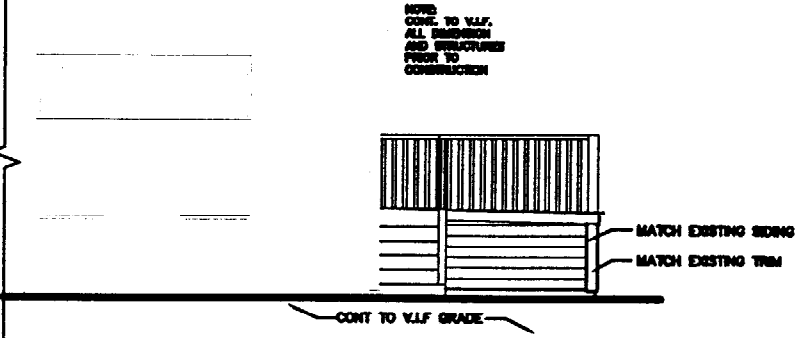
Drawn By: RR	Date: JUNE 8, 2002	Job No.: 98128P
Trace By: J.L.W.	Scale: 1" = 10'	Drawn No.: 1A
Check By: JWS		
Book No.: 942		

*Per contractor will meet BOA 1994 codes stairs/rails & HR.*

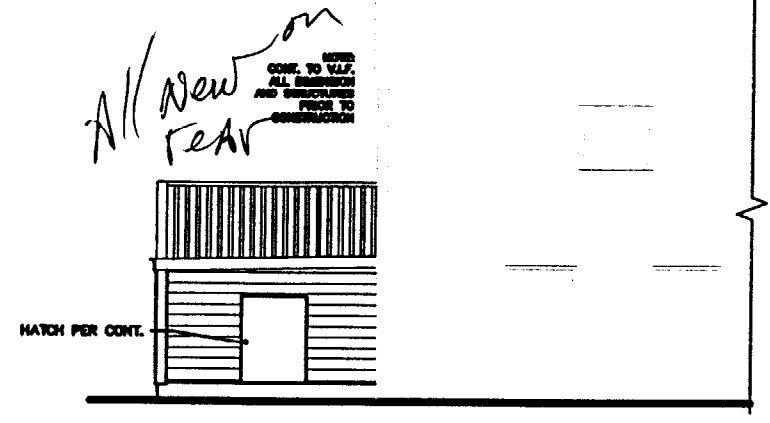
*All new on rear*



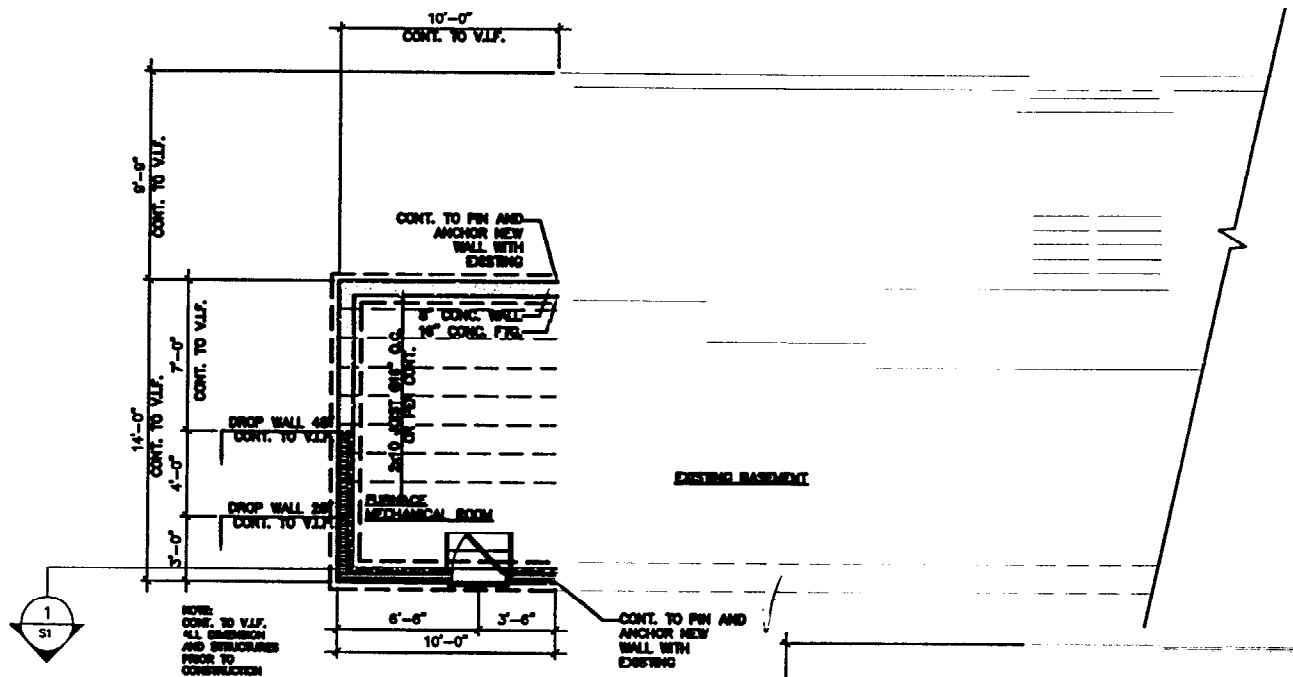
1 RIGHT ELEVATION  
1/4" = 1'-0"



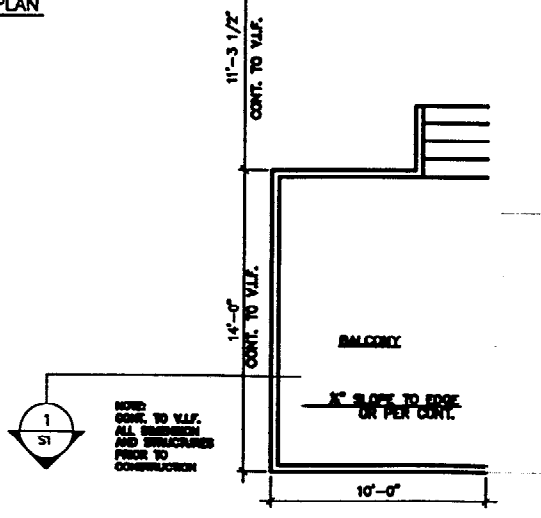
1 FRONT ELEVATION  
1/4" = 1'-0"



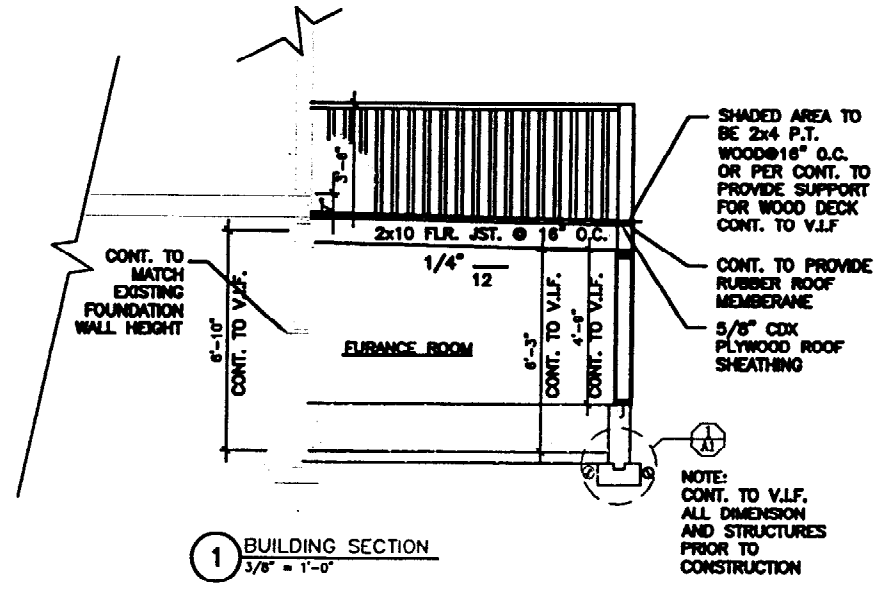
1 RIGHT ELEVATION  
1/4" = 1'-0"



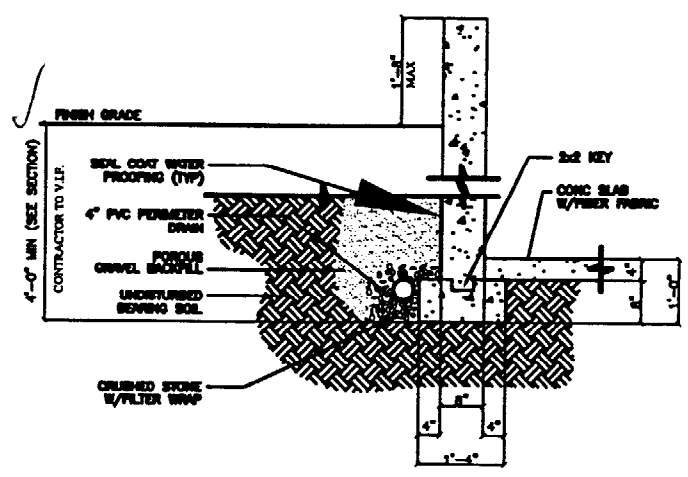
B BASEMENT PLAN  
1/4" = 1'-0"



1 FIRST FLOOR PLAN  
1/4" = 1'-0"



1 BUILDING SECTION  
3/8" = 1'-0"



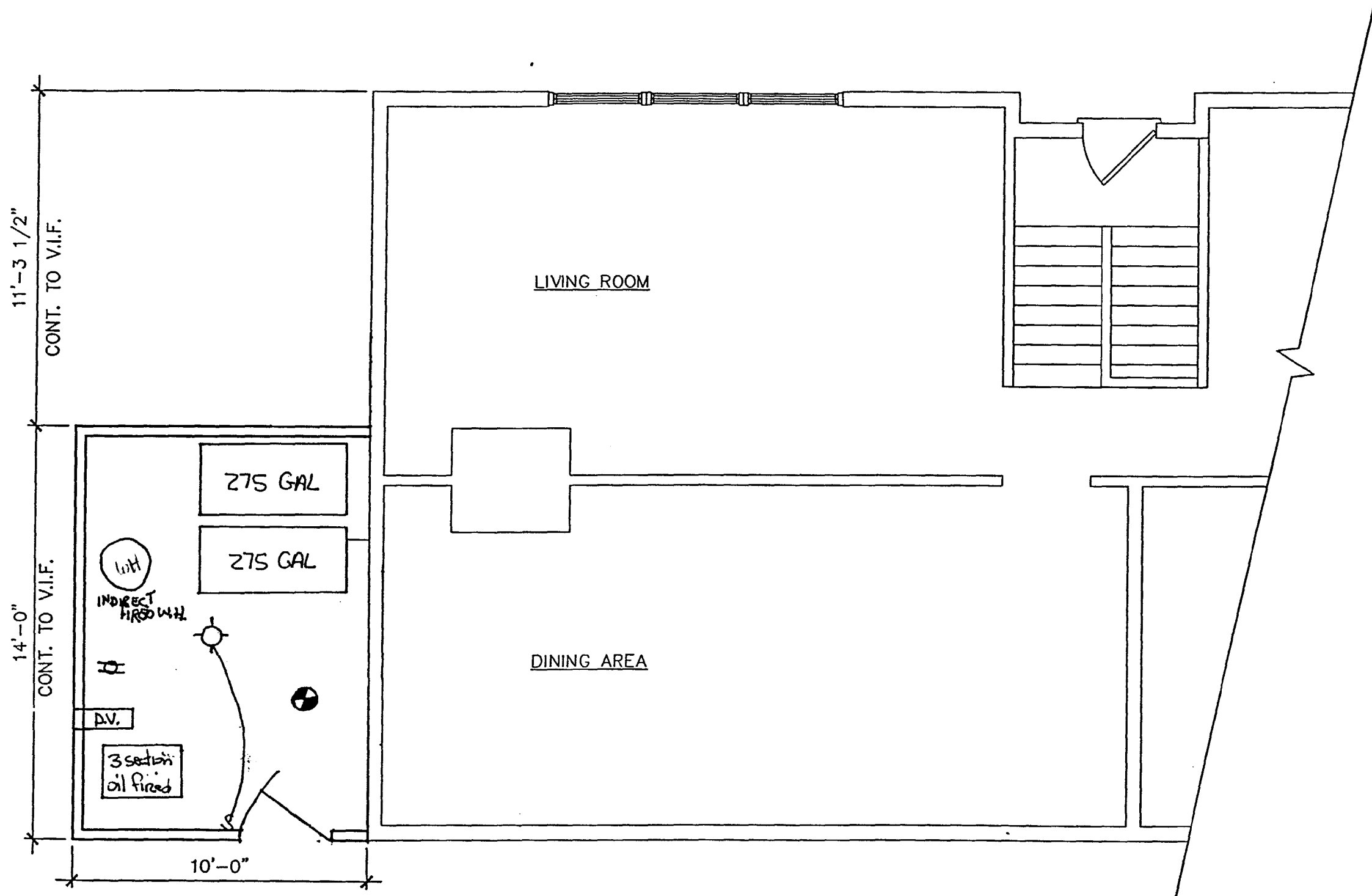
1 FOOTING DETAIL  
SCALE: 3/4" = 1'-0"

NOTE: SUBMIT FOOTING AND WALL SIZES WITH PLAN CALL-OUT.

**BOILER ROOM ADDITION**  
**M.M.C. REALTY**  
**PORTLAND, ME**

REVISIONS	
CODE:	
DATE:	6/18/02
SCALE:	1/4" = 1'-0"
DRAWN:	FMC/JR
FILE:	02-0508
SHEET:	A1





**Mechanical Plan**

1/4" = 1'-0"



# CITY OF PORTLAND, MAINE

## Department of Building Inspections

7/17 2002

Received from MARINE INDUSTRIAL

Location of Work 142 PROSPECT

Cost of Construction \$ 6,000

Permit Fee \$ 75-

Building (I1)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 101-C 083

Check #: 1502571 Total Collected \$ 75-

# THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy