							1					
City of Portland, Ma	ine - Bui	lding or Use	Permi	t Applicatio	n Permi	it No	and a	Issue Date:		CBL:		
389 Congress Street, 04		_		* *	1	02-	0430	MAY 2	:	121	C009	9011
Location of Construction:		Owner Name:			Owner A	ddr	ss:			Phone:	-	
335 Brighton Ave		Mmc Realty C	Corp	22 Bramhall(\$1					10.00		147	
Business Name:		Contractor Name			Contract		-	A STATE OF THE STA	A Herrina	207-871-2447		
		Hebert Constr	uction L	LC	9 Goule	d Ro	l. Lew	riston		20778	33209	1
Lessee/Buyer's Name	·	Phone:			Permit T							Zone:
				Altera	tion	s - Coi	mmercial		R-3			
Past Use:	Proposed Use:		· · · · · · · · · · · · · · · · · · ·	Permit F	ee:		Cost of Wor	 k:	CEO Distri	ct:	<u> </u>	
Patient Care	nlarge i	reception area,			8.00	\$55,00		3				
		new lighting (FIRE DI			Approved		CTION:		
								Denied	Use Gr			Гуре:
							L	_ Delileu		BOLA I	سادس	2 <i>C</i>
									L	SOLA 1	177	77
Proposed Project Description:					1				•		11.	
enlarge reception area, nev	w lighting				Signature	e:	H	MW7	Signatu	ıre:	Mir	~
					PEDEST	'RIA	NACT	IVITIES DIST	RICT (P.A.D.)		
					Action:		Appro	ved App	roved w	/Conditions		Denied
					Signature	e:			Date:			
Permit Taken By: jodinea	1	pplied For: 8/2002				Z	oning	g Approva	ıl			
			Sne	cial Zone or Revi	awe		Zoni	ing Appeal		Historic	Drocor	votion
1. This permit application		preclude the										
Applicant(s) from me Federal Rules.	eung appno	cable State and	∐ Sh	oreland Ch	meg	Variance			Not in District or Landm			
2. Building permits do n septic or electrical wo		plumbing,	□ w	Vetland to Herica Conditional Use Shoreland Wariance Wetland to Herica Conditional Use			aneous		Does Not Require Review			
3. Building permits are within six (6) months		k is not started of issuance.	☐ Flo	ood 2012 Sep	Conditional Use Requ			Require	s Revie	w		
False information may permit and stop all wo		a building	☐ Su	Interpretation				Approved				
			Sit	te Plan			Approv	ed		Approve	ed w/Co	onditions
			Maj [Minor MM			Denied			Denied		
			Date:	K 5/2	1020	ate:			D	Pate:	5	>
I hereby certify that I am th I have been authorized by t jurisdiction. In addition, if shall have the authority to e	he owner to a permit fo	o make this appli or work describe	med pro ication a d in the	as his authorized application is is	ne propos d agent ar ssued, I c	nd I ertif	agree y that	to conform the code off	to all ap icial's a	pplicable la authorized	aws of	f this sentative
such permit.												
SIGNATURE OF APPLICANT				ADDRES	S			DATE			PHONI	Ē

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK **CITY OF PORTLAND**

Please Read

Application And Notes, If Any,	B
Attached	PERMIT Permit Number: 020430
This is to certify thatMmc Realty Corp/He	ehert Conjuction I
has permission toenlarge reception are	a, new l
AT _335 Brighton Ave	- 121 C009011
provided that the person or person of the provisions of the Statute the construction, maintenance at this department.	s of Name and of the same ances of the City of Portland regulation
Apply to Public Works for street line and grade if nature of work requires such information.	N ication inspect in must git and wron permission procule be eithis to bling or at thereo laid or of the land o
OTHER REQUIRED APPROVALS Fire Dept. Children Health Dept.	
Appeal Board	
Other Department Name	Director - Building & Induction Services
	ENALTY FOR REMOVING THIS CARD

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 335 Brighton Avenue, Portland, ME 04102								
Total Square Footage of Proposed Structure N/A Square Footage of Lot N/A								
Tax Assessor's Chart, Block & Lot Number Chart# Dock# Lot# Coog	Owner: Maine Me	dical Center	Telephone#: (207)871-2447					
Lessee/Buyer's Name (If Applicable) N/A	Owner's/Pu	rchaser/Lessee Address: N/A	Cost Of Work: Fee: \$55,000 \$ 10 8.0					
Current use: Patient Care If the location is currently vacant, what was prior use: N/A Approximately how long has it been vacant: N/A								
Proposed use: Patient Care								
Project description: Enlarge reception office, new lighting, flooring & painting								
Contractor's Name, Address & Telephone:								

Hebert Construction Corp. (207) 783-2091 9 Gould Road, Lewiston, ME 04240 Applicants Name, Address & Telephone: Hebert Construction Corp. (207)783-2091

9 Gould Road, Lewiston, ME 04240

Who should we contact when the permit is ready: Daniel R. Hebert Telephone: (207)783-2091 Page 564-6333

If you would like the permit mailed, what mailing address should we use:



Rec'd By:

OUTLINE MATERIAL SPECIFICATIONS FOR:

MAINE MEDICAL CENTER PainCare RENOVATIONS

Portland, Maine
DIVISIONS 2 THROUGH 16

Project No. 02026-00

DATED: April 23, 2002

ISSUED FOR CONSTRUCTION



ARCHITECTURE ENGINEERING PLANNING

144 Fore Street
PO Box 618
Portland, Maine 04104
www.smrt.com
☎ 207 772-3846
➡ 207 772-1070

MAINE MEDICAL CENTER
PainCare RENOVATIONS
PORTLAND, MAINE
OUTLINE MATERIALS SPECIFICATION

DIVISION 2- DEMOLITION AND SITE WORK

SECTION 02050- SELECTIVE DEMOLITION

- 1. Conform to applicable code for demolition work, dust control, products requiring electrical disconnection and reconnection.
- 2. Obtain permits required from authorities.
- 3. Do not close or obstruct egress from any building exit.
- 4. Do not disable or disrupt building fire or life safety systems without 3 days' prior written notice to Owner.
- 5. Provide fire watch as directed by hospital safety director when life safety systems are disrupted and during and following welding.
- 6. All materials are to be removed from the site and disposed of in a legal manner. Care is to be taken to avoid damage to adjacent materials.
- 7. Prevent movement of structure. Provide bracing and shoring if necessary.
- 8. Where interior materials contain asbestos, the owner intends to contract for removal of these materials prior to the start of construction.
- 9. Erect and maintain temporary partitions to prevent spread of dust, odors, and noise. Locate partitions as directed by Owner.

DIVISION 3- CONCRETE

Not Used

DIVISION 5- METALS

SECTION 05120 - STRUCTURAL STEEL

- 1. Steel framing members shall be ASTM A36 for rolled shapes
- 2. Fabrication and erection shall conform to "Standard Specifications for Structural Steel for Buildings" of the AISC.

02026-00

DIVISION 6- WOOD AND PLASTICS

06100 ROUGH CARPENTRY

- 1. All dimension lumber specified shall be Spruce-Pine-Fir, Eastern Spruce, Eastern Hemlock Tamarack (North), Southern Pine, or Douglas Fir-Larch.
- 2. Lumber used for blocking may be number 3 grade. All blocking is to be fire-rated.
- 3. All lumber shall have maximum moisture content of 19%.
- 4. Anchors and Fasteners: Non-corrosive, suitable for load and exposure.

06402 INTERIOR ARCHITECTURAL WOODWORK

- 1. Running trim: Provide Birch running trim, with clear finish, where indicated on drawings.
- 2. All plastic laminate casework is to be American Woodwork Institute (AWI) "Architectural Woodwork Quality Standards "custom quality, laminate clad.
 - A. Countertops to be plastic laminate with Birch edge trim, clear finish.
 - B. Casework shelves to be plastic laminate with matching PVC edge trim.
 - C. Laminate: High pressure decorative laminate, NEMA LD-3
 - D. Grade: Premium.
 - E. Face Style: Flush overlay.
 - F. Core: Plywood as allowed by grade.
 - G. Colors:
 - Reception counter, horizontal and vertical surfaces: Formica #505-58 Dusty Jade Grafix Storage Cabinet, interior and exterior surfaces: Formica 918-58 Neutral White
- 3. Set and secure materials and components in place, plumb and level. Carefully scribe work abutting other components.

4. Cabinet Hardware:

- A. Hinges: Blum 170 degree snap-on series, self-closing with doweled hinge cup. Provide quantity of hinges recommended by hinge manufacturer for weight and size of door.
- B. Shelves at cabinets: Provide Knape and Vogt 255 standards and 256 supports or millworkers system utilizing line borings and metal shelf clips.
- C. Pulls: Ives wire pulls No 37 (3 ½")

D. Sliding Window Hardware: Provide Knape and Vogt sliding door track assembly Model P1092 with Model 965NP adjustable lock.

E. Cabinet Hardware Finishes: US 26D

DIVISION 7- THERMAL AND MOISTURE PROTECTION

07270 FIRESTOPPING

- 1. Provide firestopping materials at penetrations through fire-resistance-rated floor and roof construction.
- 2. Provide firestopping materials at penetrations through fire-resistance-rated walls and partitions.
- 3. Install firestopping materials in conformance with UL Through-Penetration Firestop System requirements for each type of wall or floor construction and type of penetration (cables, pipes, ducts, conduits and other penetrating items).

07900 JOINT SEALANTS

- 1. Joint sealers interior applications at all vertical and horizontal joints.
- 2. Latex Joint Sealants:
 - a. Type: Acrylic-emulsion, ASTM C 834.
 - b. Application: Interior joints in vertical and overhead surfaces with limited movement.
 - a. Provide the following or equal:
 - 1) "AC-20", Pecora Corp.

DIVISION 8- DOORS AND WINDOWS

08100 HOLLOW METAL DOORS & FRAMES (WELDED ASSEMBLIES)

- 1. Interior standard hollow metal frames.
- 2. Standards: ANSI/SDI-100, Recommended Specifications for Standard Steel Doors and Frames.

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- 3. Hollow metal frames to be welded for doors and borrowed lites, 18 ga. steel minimum.
- 4. Frames to be factory primed and field painted.

08210 WOOD DOORS

- 1. Solid core, 5 ply, hot pressed to core with exterior Type 1 glue. Flush wood doors, rotary cut Birch.
- 2. Provide glazed lites.
- 3. Doors to be factory finished. Clear finish to match existing doors.
- 4. All doors to be prepared for hardware.

08710 DOOR HARDWARE

- 1. Fire-Rated Openings: Provide door hardware for fire rated openings that complies with NFPA Standard No. 80 and requirements of authorities having jurisdiction. Provide only items of door hardware that are listed and are identical to products tested by UL, Warnock Hersey, FM, or other testing and inspecting organization acceptable to authorities having jurisdiction for use on types and sizes of doors indicated in compliance with requirements of fire-rated door and door frame labels.
- 2. Handicapped Accessibility: Provide door hardware that complies with the requirements of A.N.S.I. A117.1, most current addition, and the requirements of authorities having jurisdiction. Door hardware shall be installed in compliance with A.N.S.I. A117.1. Omissions or discrepancies in the documents which would prevent the installation of door hardware in compliance with A.N.S.I. A117.1 shall be brought to the attention of the architect, accompanied with alternatives which do comply with above standards, at or prior to the closing date for issuance of addenda. After this date the bid price will be understood to include hardware which complies with A.N.S.E. A117.1.
- 3. The finish hardware specified for this project shall be guaranteed against defects in material and workmanship for a period of (1) year from date of completion and acceptance of this building. In addition, door closers shall carry a guarantee of five (5) years from date of completion and acceptance of this building.
- 4. If an item of hardware is found to be defective by reasons of defects in material and workmanship, it shall be replaced by the hardware supplier at no charge to the owner. The installation of the replacement item shall be the responsibility of the general contractor if

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within the building guarantee period specified under general conditions, or by the owner if beyond the building guarantee period.

5. PRODUCTS

A. DOOR HARDWARE:

- 1. Quality Level: Heavy duty commercial type.
- 2. Locksets and Latchsets: Mortise type. Sargent 8200 Series L Style Handle Design with LN rose.
- 3. Lock Cylinders: Interchangeable type.

The following is a list of lock functions as indicated under "hardware sets":

FUNCTION		ANSI	SARGENT		
Α	Storage	F07	04		
В	Office	F04	05		
C	Passage	F01	15		
D	Classroom	F05	37		
E	Entrance	F09	16		
F	Privacy	F22	65		

4. Keying: Owner's requirements. Match existing keying and key control system. Provide (3) keys for each cylinder.

B. HINGES

- 1) All hinges for this project shall be, stainless steel, solid bronze, ball bearing or oil impregnated bearing type, except as noted.
- 2) The following is a guide for hinge size (height) and type required for this specification.

a. MANUFACTURER

1 3/4" Doors up	Stanley	FBB179-4 1/2"
to 3'-0" wide	Hager	BB1279-4 1/2"
.134 gauge	McKinney	TA-TB2714-4 1/2"
1 3/4" Doors	Stanley	FBB168-4 1/2"
over 3'-0" wide	Hager	BB1168-4 1/2"
.180 gauge	McKinney	T4A-T4B3786-4 2"

- b. The width of hinges shall be sufficient to clear all trim.
- c. Hinges of foreign manufacture shall not be considered acceptable for this project.
- 3) Two hinges shall be provided for each door leaf up to and including five feet (5'-0") in height. An additional hinge shall be required for each additional two and one half feet (2'6") or fraction thereof in height.

E. DOOR CLOSERS:

- 1) All door closers for this project shall be the product of one manufacturer, and shall have cast iron or cast aluminum body with full cover. Door closers shall be full rack and pinion type construction, non-handed and non-sized with adjustable back-check effective at 70 degrees for both standard and parallel arm mounting. Door closer size shall be approximately 12 1/4" x 2" x 2 3/8" projection.
- 2) The following products will be considered acceptable for this project:

LCN -4010 or 4110 Series Sargent - 1250 - 1251

- 3) Door closers mounted on corner brackets, or top jamb application, shall not be permitted.
- 4) Provide hold open arms, where specified, in accordance with the hardware set numbers.
- 5) Where door closers are noted to require delayed action feature, provide closers as specified herein, but having a separate delayed action valve, to permit adjustment of delayed action cycle. When adjusted, the door closer shall close at a controlled rate of speed, through the delayed action cycle range.
- 6) The installing contractor shall be responsible for proper installation of door closers in accordance with degree of opening indicated on hardware schedule. The installing contractor shall be responsible for adjustment of the three individual valves, for proper control of closing speed, latching speed, and delayed action, or backcheck. Spring power adjustments shall also be the responsibility of the installing contractor.
- 7) Where top rail of door is insufficient in width to mount the closer directly to the rail, please advise the Architect. Use of drop brackets shall be avoided if possible.

8) All door closers shall be listed by Underwriters Laboratories for use on self closing fire rated doors.

F. DOOR STOPS:

1) Wall type bumpers with a concealed type flange shall be used wherever possible and be one of the following:

Ives407 1/2Door Controls3211TRockwood409Hager237W

G. SILENCERS:

- 1) Provide rubber silencers for all interior pressed steel (hollow metal) frames. Silencers shall be pneumatic type 1/2" diameter with 1/8" projection.
- 2) Provide 3 silencers for the strike jamb of metal frames for single doors and two for the head for metal frames for pairs of doors.

H. ELECTROMAGNETIC DOOR HOLDERS:

1) Re-use existing hardware.

I. ELECTROMAGNETIC LOCKS:

1) Re-use existing hardware, including lock and keypad. Tie into existing fire alarm system. Hardware must unlock in case of power failure or fire alarm activation.

J. EXIT DEVICES

1) Where called for in the hardware sets, provide Sargeant 8700 series vertical rod exit device, with top and bottom strikes. Vertical rod to be operated by touch pad. No trim on opposite side.

K. PUSH PLATES

1) Manufacturer: Rockwood

2) Size: 4" x 16"

K. KICKPLATES AND ARMORPLATES

1) Armorplates shall be 0.06 inch thick rigid vinyl with factory applied adhesive backing.

a) Manufacturer: InPro Corporation

b)Color: Brittany Blue

c) Size: 36" high x 1" less door width for pairs of doors. Provide armorplates on the push side each door, as scheduled.

L. FINISH

1) All hardware items shall be furnished finish to match existing hardware except as follows:

Door Closers:

Sprayed Aluminum

M. HARDWARE SETS:

HWS1

Doors: 2165C

D0018. 2103C

Leaf A: Hinges, Push Plate, Electromagnetic Lock, Electromagnetic Door Holder, Closer, Armorplate, Stop.

Leaf B: Hinges, Exit Device, Electromagnetic Door Holder, Closer, Armorplate, Stop.

HWS2

Doors: 2147

Each to have: Hinges, Lockset Function A, Stop.

08800 GLAZING

1. Provide glass and glazing at interior windows (sliding glass) and doors.

2. Products

A. Glass:

- 1) Primary Glass Products: Clear float glass, ASTM C 1036
- 2) Heat -Treated Glass Products: Heat-strengthened, tempered, ASTM C 1048.

B. Glazing Schedule:

1) Sliding Glass Windows: 1/4" inch thick clear tempered glass with finished edges.

2) Doors: Tempered glazing as required.

DIVISION 9- FINISHES

09250 GYPSUM BOARD ASSEMBLIES

- 1. Provide 5/8" gypsum board screw attached to steel framing for interior partitions and at gypsum board soffits.
- 2. Joint treatment: 3-coat system for application of paint finishes and sheet wall protection.
- 3. Trim Accessories: Metal cornerbead, edge trim and control joints.
- 4. Steel Framing: 25 gage or as required to meet L/360 steel studs, depth as scheduled.

09511 ACOUSTICAL PANEL CEILINGS

1. ACT: Armstrong Cortega, 2' x 4' x 5/8" square edge lay-in tile in existing grid system.

09650 RESILIENT FLOORING

- 1) Vinyl Composition Tile (VCT):
 - a) Product to be Armstrong Standard Excelon.
 - b) See flooring pattern plan for location of the following colors:
 - i) VCT-1 (field color) #51899 Cool White
 - ii) VCT-2 (accent color) #51932 Lunar Blue
 - iii) VCT-3 (accent color) #51906 Teal
 - iv) VCT-4 (accent color) #52518 Band Blue
- 2) Resilient Accessories:
 - a) 4" rubber cove base, rolled goods only.
 - i) Manufacturer: Johnsonite
 - ii) Color: #18 Navy Blue
 - b) Transition strips to be located between new and existing VCT flooring at corridor door locations.

09900 PAINTING

1. All areas to receive paint finish shall have a premium 3 coat latex system. All paints are to be low odor and VOC compliant. Provide Benjamin Moor paint products listed below, or

02026-00 PAGE 9 OF 12

equal. Colors to match California Paint colors indicated.

- 2. Paint products:
 - A. Gypsum Drywall Primer: Moore Pristine Interior Latex Primer/ Sealer #211
 - B. Ferrous Metal Primer: Moore IronClad Alkyd Low Lustre Metal /Wood Enamel #163
 - C. Undercoat Material for use as primer on wood.
 - D. Drywall Finish Paint Materials
 - 1) Paint-1 Moore Pristine 100% Acrylic Interior Latex Semi Gloss #214 or Moore Pristine 100% Acrylic Eggshell #213, as selected by owner.
 - (a) Colors:
 - (i) Field Color: CW030W Apple Peel
 - (ii) Accent Color: CW0007W Blue Twinkle
 - (iii) Accent Color: 8070W Bermuda Shoal
 - 2) Paint-2 Liquid Vinyl Wallcovering: Polomix Multicolor waterbased paint system.
 - a) Colors:
 - (i) Color A: PN-00041J
 - (ii) Color B: PL-00751 W
 - E. Metal Finish Paint Materials
 - 1) Moore Satin Impervo Enamel #235
 - 2) Color: 8455D Old Amethyst
 - F. Wood Finishing Materials
 - 1) Paste Wood Filler: Benwood Wood Grain Filler tinted to match stain
 - 2) Oil Rubbing Varnish: Moore Benwood Satin Finish Varnish #404.

DIVISION 10- SPECIALTIES

10265 WALL SURFACE PROTECTION SYSTEMS

- 1. Provide wall surface protection at locations shown on plans. Wall protection to include corner guards, handrails and rolled goods (see handrail detail). Manufacturer to be InPro Corporation (IPC).
- 2. Provide wall protection as scheduled below at locations shown on plans.

CG1 – 2" x 2" x 4' Model 164. Color: Serenity

HR - Model 1200. In addition to the handrail, provide a 6 ¼" high band of rigid vinyl sheet adhered to wall at all handrail locations. Color: Brittany Blue

10522 FIRE EXTINGUISHERS AND CABINETS

1. Locate fully recessed fire extinguisher cabinet at location shown on plan. Provide hospital's standard style.

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10800 TOILET AND BATH ACCESSORIES

- 1. Toilet accessories at Procedure Rooms #4 and 5 are to include the following:
 - a. Paper towel dispenser Bobrick Model B-26212, surface mounted
 - b. Framed tilt mirror Bobrick Model B-293 18" wide x 30" high
- 2. Soap dispensers are to be provided and installed by Owner.

DIVISIONS 11-14

Not Used

DIVISION 15- MECHANICAL

15410 PLUMBING FIXTURES

A. ADA LAVATORY (P-1)

- 1. Vitreous China Basin:
 - a. Manufacturer: Eljer Signature Model 051-2104
 - b. Drilling Centers: 4 inch
- 2. Faucet:
 - a. Chicago Model 895-317-xk
- 3. Trim:
 - a. McGuire #8902 1-1/4" x 1-1/2" P-trap with clean out plug and escutcheon.
 - b. McGuire #170LK brass angle supplies and escutcheons.
 - c. Truebro Handi Lav-Guard insulation kit for all exposed piping beneath lavatory.
- 4. Wall Mounted Carrier:
 - a. Zurn Model Z-1231

DIVISION 16- ELECTRICAL

A. LIGHT FIXTURES:

- 1. Recessed Downlights:
 - a. Prescolite Model #H41C-T42C
 - b. Lamps: 50W, PAR 20 Halogen
 - c. Location: Reception counter soffit

2. Recessed Parabolic (2' x 4'):

- a. Columbia Series 45
- b. Lamps: Provide hospital's standard lamps and ballasts.
- c. Location: Office/Reception 2148
- 3. Recessed Troffer (2' x 4'):
 - a. Columbia Series J
 - b. Lamps: Provide hospital's standard lamps and ballasts.
 - c. Location: Corridors 2147C, 2157C, 2165C

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BUILDING PERMIT INSPECTION PROCEDURES Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

	By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated							
. ,	below. Pre-construction Meeting: Must be sch							
1	receipt of this permit. Jay Reynolds, Developme	nt Review Coordinator at 874-8632 must						
/	also be contacted at this time, before any site wo	rk begins on any project other than						
	single family additions or alterations.							
DAN	\sqrt{N} Footing/Building Location Inspection:	Prior to pouring concrete						
D M	Re-Bar Schedule Inspection:	Prior to pouring concrete						
D 911	Foundation Inspection:	Prior to placing ANY backfill						
om a	Framing/Rough Plumbing/Electrical:	Prior to any insulating or drywalling						
om '	/ use.	or to any occupancy of the structure or NOTE: There is a \$75.00 fee per section at this point.						
	Certificate of Occupancy is not required for certa you if your project requires a Certificate of Occu- inspection	in projects. Your inspector can advise pancy. All projects DO require a final						
0	If any of the inspections do not occur,							
•	phase, REGARDLESS OF THE NOTICE OR	CIRCUMSTANCES.						
	CERIFICATE OF OCCUPANICES M	TUST BE ISSUED AND PAID FOR.						
	BEFORE THE SPACE MAY BE OCCUPIED							
	VIII M Mari	5/81/25						
	My Multiple	<u></u>						
	Signature of applicant/designer	Date 5/21/02						
	Signature of applicant/designer Signature of Inspections Official	Date 5/21/02 Date						

ABBREVIATIONS AB ANCHOR BOLT AC, A/C AIR CONDITIONING ACCU AIR CONDITIONING CONDENSER UNIT ACPUAS ACOUSTICAL PLASTER ACT ACOUSTIC CELLING TILE AFF ABOVE FINISHED FLOOR AGG AGGREGATE ALT ALTERNATE AP ACCESS PANEL ARRON APPROXIMATE ARCH ARCHITECTURAL LEFT SHEET UNOLEUM LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL LUGHTING PANEL; LIQUIFIED BENDALLE MAYIMEN MAX MOO HECH MESC MOS MISC MOS MISC MOS MISC MAZIMUM MARICER BOARD MEDIUM DENSITY OVERLAY MEDIUM DENSITY OVERLAY MEDIUM DENSITY OVERLAY MEDIUM CITTURER MINIMUM MISCELLAVEDUS MASONRY OPPINING MOSSTURER-RESISTANT MAKE-UP AIR BOTTOM CHORD EXTENSION BOARD BITUMINOUS BUILDING BORROWED LIGHT PANEL BOTTOM OF FOOTING BOTTOM OF STEEL BOTTOM OF STEEL BOTTOM GEARING BEARING BOTH SIDES NOSING NEW CATCH BASIN NEW CATCH BASIN NEW CATCH MANHOLE NOT IN CONTRACT NEW STORM DRAIN LINE NEW SANITARY SEMER LINE NOT TO SCALE NEW WATER LINE BOTH SIDES BRICK SHELF ELEVATION CHANNEL CHANNEL CATCH BASIN; CHALKBOARD CEMENTITIOUS BACKER BOARD CUBIC FEET PER MINUTE CAST IN PLACE CONTROL JOINT; CONSTRUCTION JOINT CENTER LINE CONTRACT LIMIT LINE CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONTRIBUTION CONCRETE CONTRIBUTION CONCRETE CONTRIBUTION CONCRETE CONTRIBUTION CONCRETE CONTRIBUTION CONCRETE CONTRIBUTION CONCRETE CABINET UNIT HEATER PUBLIC ADDRESS POWDER-ACTUATED FASTENER POOL DE-HUMOPFICATION UNIT PLATE: PROPERTY UNIT PLATE: PROPERTY EN POUNDS PER LIMEAR FOOT POWER PAHEL POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE—TREATED POLYMENT, CHLORIDE PAVEMENT DIAMETER DIAMETER DOUBLE DRINKING FOUNTAIN DEAD LOAD DISPLAY RAIL DETAIL DISHWASHER DRAWING R RB RD REF REQ'D RT RO ROW RR RTU RISER: RADIUS RESILIENT BASE ROOF DRAIN REFER TO REINFORCED REQUIRED RIGHT ROUGH OPENING RIGHT OF WAY EACH EACH FACE EXPANSION JOINT ELEVATION ELECTRICAL ELECTRICAL EDGE OF PAVEMENT ETHYLENE PROPYLENE DIENE MONOMER EQUAL EACH WAY ELECTRIC WATER COOLER EXPANSION EXTERIOR RUB-RAIL ROOFTOP UNIT (HVAC) SOLID CORE SOLIARE FOOT; SUPPLY FAN SHEAT SHEAR KEY SHEAR KEY SANITARY NAPKIN (DISPENSER) SFECIAL STAINLESS STEEL STRUCTURAL FLAT BAR FURNISHED BY OTHERS FLOOR CLEAN—OUT FLOOR DRAIN FIRE DOTHINGUISHER FIRISHED FLOOR: FAR FACE FINISHED FLOOR ELEVATION FRAMED OPENING FIRE FAR SIDE FOOTHING FLAT BAR TREAD TACKBOARD TOP AND BOTTOM TEMPORARY BENCHMARK TOP CHORD EXTENSION THE JUSTST TOP OF TOP OF CONCRETE TOP OF FOOTING TOP OF MASONRY TOP OF PIER TOP OF STEEL: TOP OF SLAB TOP OF WALL TOLLT PAPER (DISPENSER); TEST PIT TUBE STEEL TYPICAL GALIGE GALVANIZED GRAB BAR GENERAL CONTRACTOR GYPSUM DROP—IN TILE GRAVITY VENT HORIZONTAL HANDICAPPED; HOLLOW CORE HORIZONTAL HOLLOW METAL HEAT RECOVERY UNIT HEATING, VENTILATING AND ABL CANDITIONISM UHO UMO UNIT HEATER UNLESS NOTED OTHERWISE VENT PIPE: VERTICAL VAPOR BARRIER VINYL COMPOSITION TILE VERTICAL INCLUDED ANGLE INSIDE DIAMETER INSIDE FACE ISOLATION JOINT VISION PANEL VENT THROUGH THE ROOF JOIST SUBSTITUTE

MAINE MEDICAL CENTER PainCare RENOVATIONS

PORTLAND, MAINE

SYMBOL LEGEND



BUILDING SECTION



WALL SECTION



DETAIL



EXTERIOR ELEVATION



INTERIOR ELEVATION



LEVEL LINE CIRCLE NOTE



WINDOW TAG PARTITION TAG



ROOM NAME ROOM NUMBER

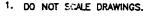
DOOR TAG



COLUMN BUBBLE AND CENTER LINE BACKER ROD AND SEALANT

GRID NO. TITLE REFERENCE SHEET SCALE

GENERAL NOTES:



- 2. THE CONTRACTOR AND ALL TRADES SHALL NOTE REQUIREMENTS OF "GENERAL NOTES"
- 3. FIELD VERIFY ALL DIMENSIONS AND LAYOUT PRIOR TO PROCEEDING WITH WORK, NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR INCONSISTENCIES. FAILURE TO REPORT ANY DISCREPANCIES WITHIN THESE CONSTRUCTION DOCUMENTS TO THE ARCHITECT WILL NOT BE GROUNDS FOR ADDITIONAL COST OR CHANGE ORDERS.
- 4. "PROVIDE" MEANS "FURNISH AND INSTALL"
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS (UNLESS NOTED OTHERWISE), AND WORKMANSHIP IN ACCORDANCE WITH FEDERAL, STATE, CITY AND LOCAL BUILDING CODES AND THEIR REQUIREMENTS.
- 6. REFER TO LARGE SCALE PLANS FOR PARTITION TYPES IN AREAS WHICH ARE DETAILED AT A LARGER SCALE.
- 7. DIMENSIONS ARE FACE OF CONCRETE, FACE OF MASONRY, AND CENTERLINE OF INTERIOR
- 8. REFER TO ALL CONSTRUCTION DOCUMENTS FOR REQUIREMENTS WHICH MAY AFFECT THE WORK IN ANOTHER AND COORDINATE WORK.
- 9. SEE ARCHITECTURAL PLANS FOR ELECTRICAL POWER, SYSTEMS, AND LIGHTING NOTES.
- 10. SEE AE101 FOR PLUMBING NOTES.

DRAWING LIST

GENERAL

GI001 COVER SHEET

ARCHITECTURAL

DEMOLITION PLAN

AE102 REFLECTED CEILING PLAN

AE201 ELEVATIONS AND SCHEDULE

CASEWORK DETAILS **AE502** CASEWORK DETAILS

AE601 SCHEDULES

FLOOR PATTERN PLAN



ISSUED FOR CONSTRUCTION 4-23-02

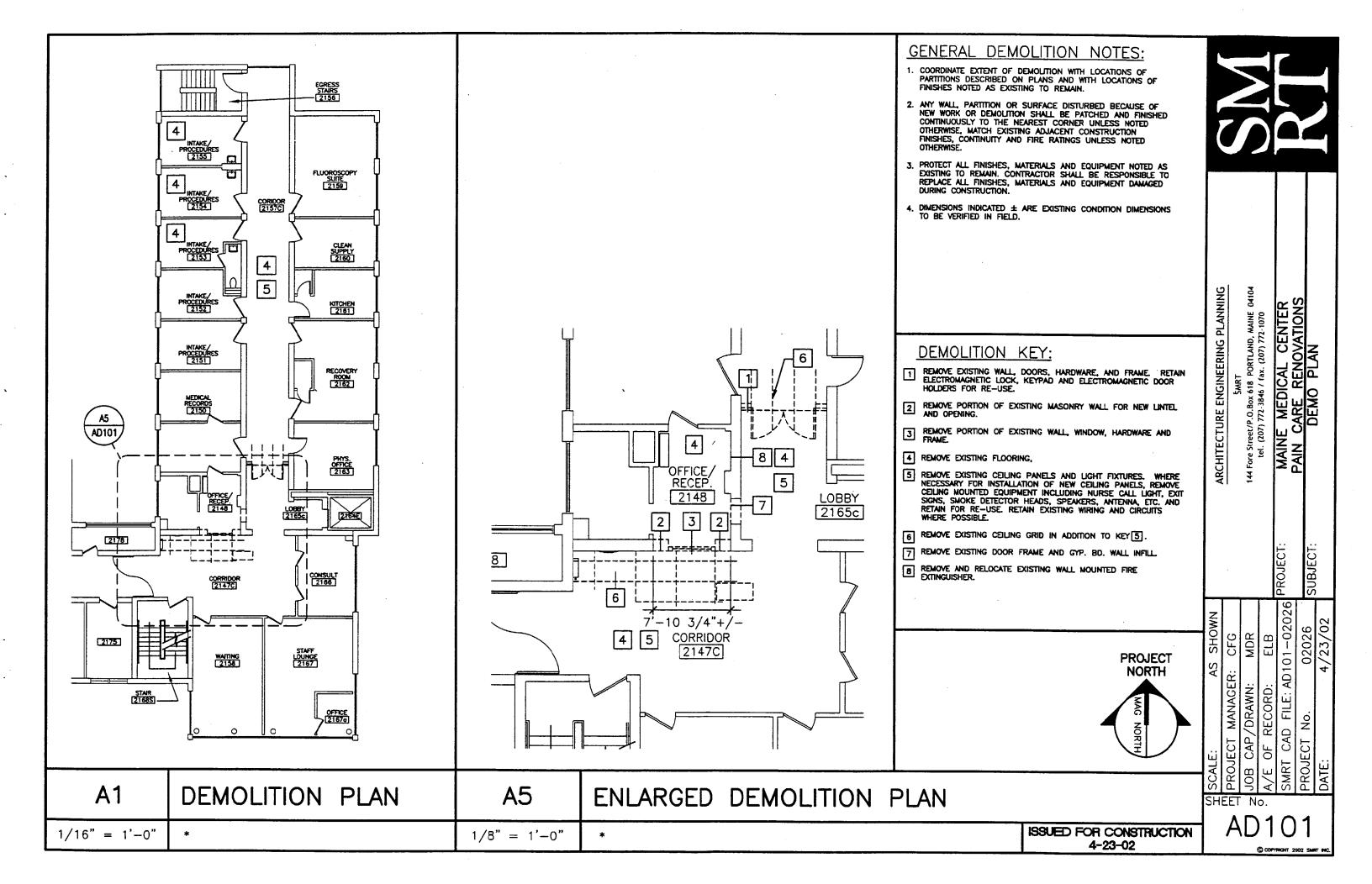
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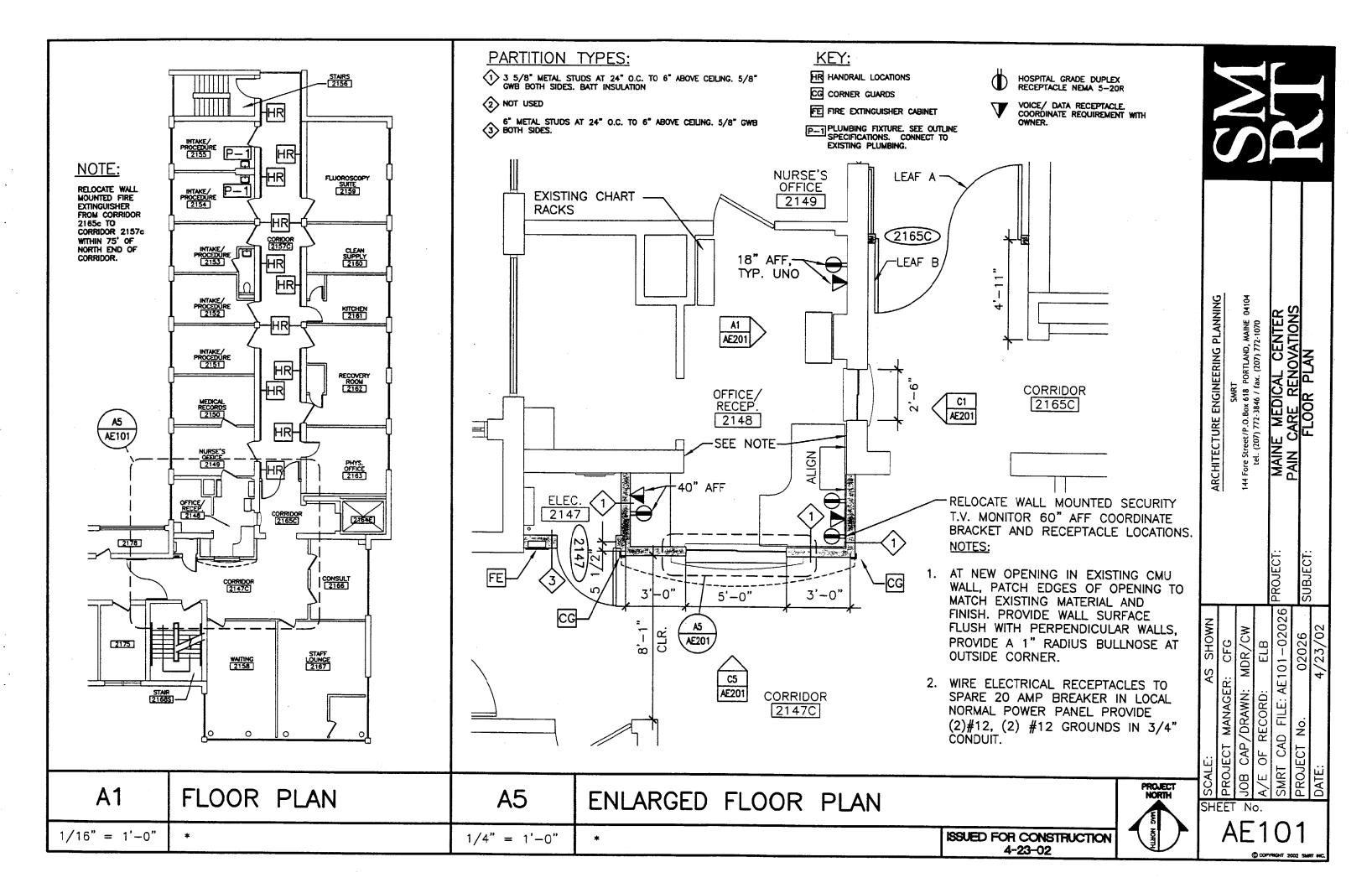
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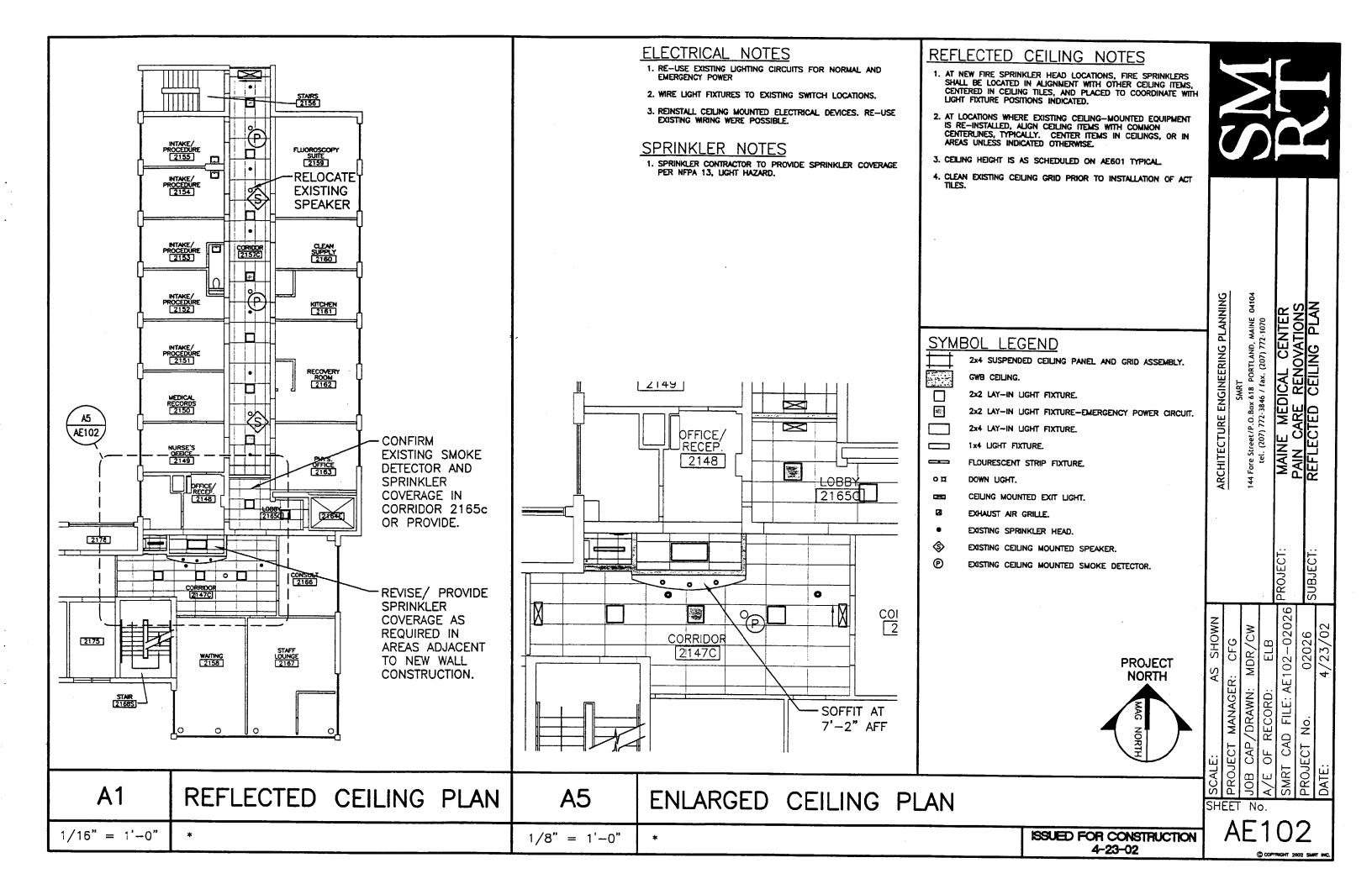
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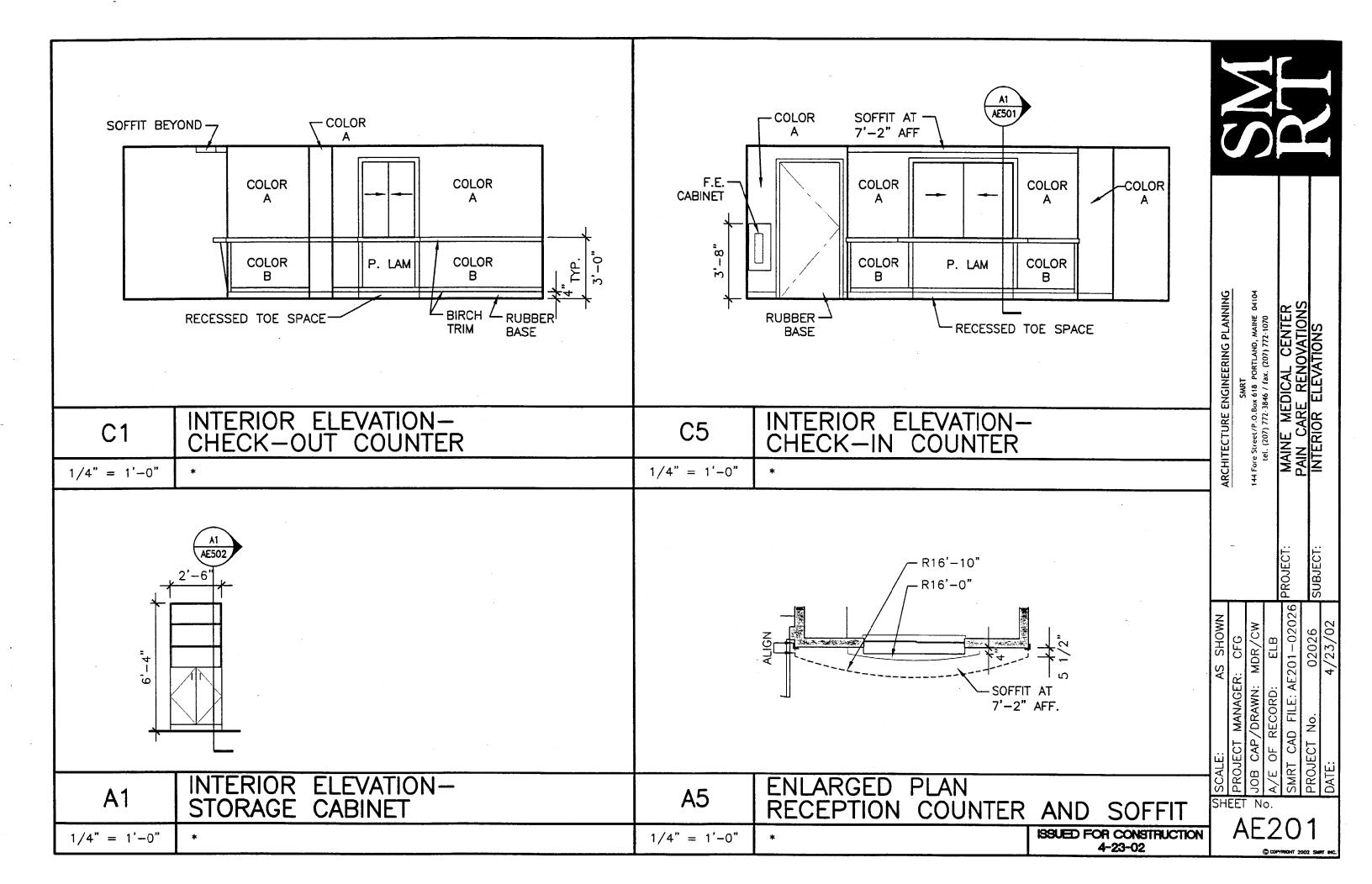
ARCHITECTURE ENGINEERING

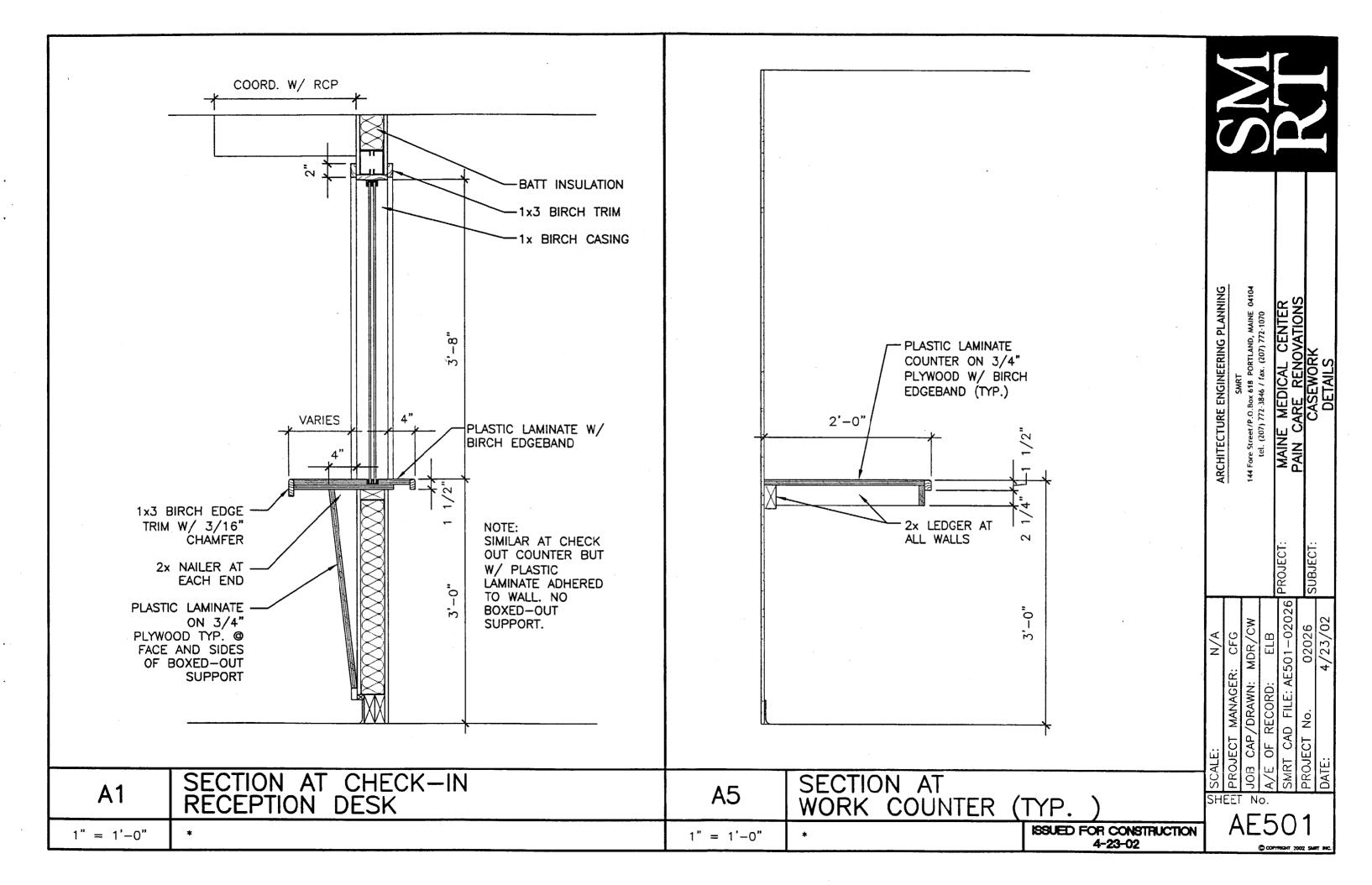
MEDICAL CENTER
SARE RENOVATIONS
SOVER SHEET

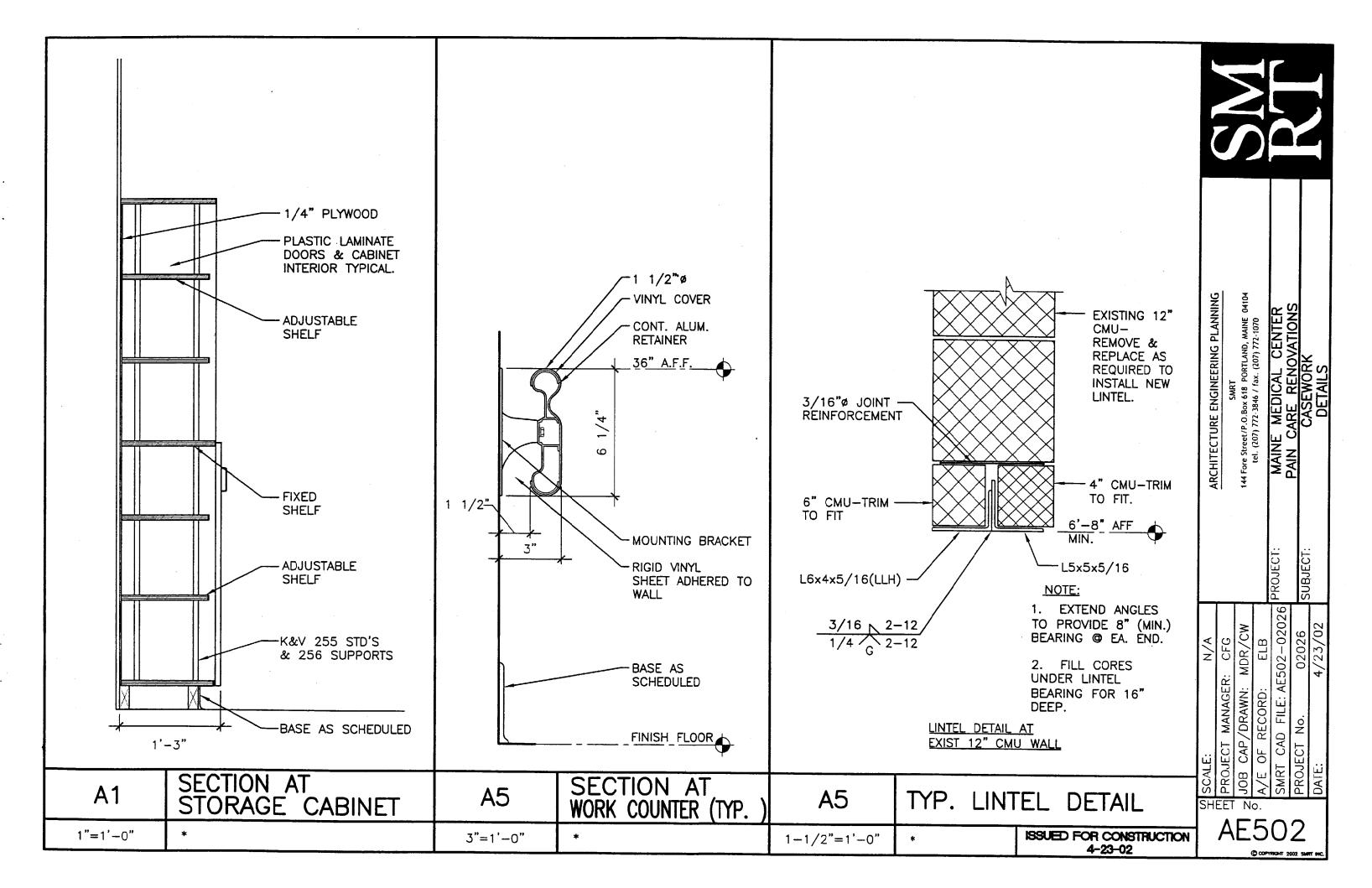






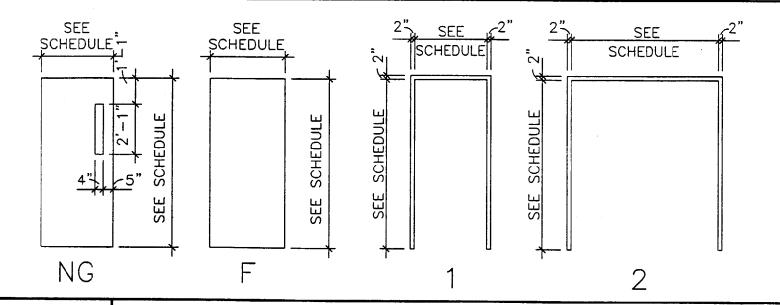






ROOM FINISH SCHEDULE											
ROOM	ROOM NAME	FLOOR	BASE		WA	LLS		CEILING		ROOM	
NUMBER	NOOM NAME	TEOOK	DAGE	NORTH	SOUTH	EAST	WEST	MATERIAL	HEIGHT	NUMBER	REMARKS
2147	ELECTRICAL	VCT	RUBBER	PAINT 1	PAINT 1	PAINT 1	PAINT 1	ACT	7'-8"	2147	•
2147c	CORRIDOR	VCT	RUBBER	PAINT 2	PAINT 2	PAINT 2	PAINT 2	ACT	EXISTING	2147c	SEE ELEVATION, COLOR A TYP. UNO, COLOR B ON EAST WALL
	OFFICE/RECEPTION	VCT	RUBBER	PAINT 1	PAINT 1	PAINT 1	PAINT 1	EXISTING	EXISTING	2148	ACCENT COLOR ON WEST WALL
	INTAKE/PROCEDURE	VCT	RUBBER	PAINT 1	PAINT 1	PAINT 1	PAINT 1	EXISTING	EXISTING	2153	ACCENT COLOR-ON ONE WALL (TBD BY OWNER)
	INTAKE/PROCEDURE	VCT	RUBBER	PAINT 1	PAINT 1	PAINT 1	PAINT 1	EXISTING	EXISTING	2154	ACCENT COLOR-ON ONE WALL (TBD BY OWNER)
2155	INTAKE/PROCEDURE	VCT	RUBBER	PAINT 1	PAINT 1	PAINT 1	PAINT 1	EXISTING	EXISTING	2155	ACCENT COLOR-ON ONE WALL (TBD BY OWNER)
2157c	CORRIDOR	VCT	RUBBER	PAINT 2	PAINT 2	PAINT 2	PAINT 2	ACT	EXISTING	2157c	COLOR A ABOVE HANDRAIL, COLOR B BELOW HANDRAIL
2165c	CORRIDOR	VCT	RUBBER	PAINT 2	PAINT 2	PAINT 2	PAINT 2	ACT	7'-8"	2165c	SEE ELEVATION, COLOR A TYP. UNO
*	ALL OTHER ROOMS	EXISTING	EXISTING	PAINT 1	PAINT 1	PAINT 1	PAINT 1	EXISTING	EXISTING	*	ACCENT COLOR ON ONE WALL (TBD BY OWNER)

	DOOR SCHEDULE												
DOOR DOOR GLAZING FRAME							DOOR FRAME						
NUMBER	SIZE	MATERIAL	ELEVATION	GLAZING	MATERIAL	ELEVATION	HEAD	JAMB	SILL	HWS	RATING (MIN.)	DOOR NUMBER	REMARKS
2165C	(2) 3'-8"x6'-8"	WD	NG	TEMP.	НМ	2	•	,		1		2165C	ELECTROMAGNETIC LOCK AND DOOR HOLDERS
2147	2'-10"x6'-8"	WD	F		НМ	1				2		2147	



FINISH ABBREVIATIONS

ACT ACOUSTICAL CEILING TILE НМ HOLLOW METAL

PAINT 2 LIQUID VINYL WALL COVERING PAINT 1 PAINT

RUBBER RUBBER BASE

VINYL COMPOSITION TILE VCT WD WOOD

NOTE:

REMOVE AND REPLACE WALL MOUNTED EQUIPMENT AT ALL PAINTED WALL LOCATIONS.

A1	DOOR AND FRAME ELEVATIONS	A5	*
1/4" = 1'-0"	*	*	*

SHEET No. ISSUED FOR CONSTRUCTION

4-23-02

AE60

SMRT 144 Fore Street/P.O.Box 618 PORTLAND, MAINE 04104 tel. (207) 772-3846 / fax. (207) 772-1070

ARCHITECTURE ENGINEERING PLANNING

PROJECT:

CAD FILE: AE601-02026 DRAWN: MDR/CW CFG

RECORD: A/E C SMRT

SCALE: PROJE(JOB

