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|--|---|--|---|--|
| Location of Construction: 159 Craigie St | | Owner: Douglas & Tamay Welsh | Phone: 776-7258 | Permit No: 960254 |
| Owner Address: 159 Craigie St Portland ME | Leasee/Buyer's Name: 04102 | Phone: | Business Name: | <div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: APR 17 1996 CITY OF PORTLAND </div> |
| Contractor Name: Marjen Const Co | Address: 456 Brackett Rd Sanbornville NH | Phone: 603 522 8332 | 03872 | |
| Past Use: 1-fam dwlg | Proposed Use: 1-fam dwlg w addtn | COST OF WORK: \$ 35,000 | PERMIT FEE: \$ 195 | Zone: CBL: 120-C-002 Zoning Approval: 10/10/96 Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/> |
| Proposed Project Description: construct deck - 27'x20' expand kitchen by 3'6"x 15' | | FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied | INSPECTION: Use Group AB Type 5B Signature: [Signature] | |
| Permit Taken By: L Chase | | Date Applied For: 4/9/96 | Signature: [Signature] Date: _____ PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied | |

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS
 PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: [Signature] ADDRESS: _____ DATE: 4-9-96 PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: [Signature]

CEO DISTRICT 5

COMMENTS

6/1/96 Work in progress checked
foundation OK mmz

5/22/96 Checked framing OK to
close in checked sona tubes OK mmz

8/16/96 Did final inspection
with contractor cabinets,
completed in kitchen deck,
railings installed OK mmz

Inspection Record

| Type | Date |
|-------------------|-------|
| Foundation: _____ | _____ |
| Framing: _____ | _____ |
| Plumbing: _____ | _____ |
| Final: _____ | _____ |
| Other: _____ | _____ |

BUILDING PERMIT REPORT

DATE: 16/APRIL/96 ADDRESS: 159 CRAIGIE ST.
REASON FOR PERMIT: To Construct deck 20x25' and expand kitchen
BUILDING OWNER: Welsh
CONTRACTOR: MARJEN CONST. CO. APPROVED: X 1 * 11
PERMIT APPLICANT: _____ ~~DENIED:~~ _____

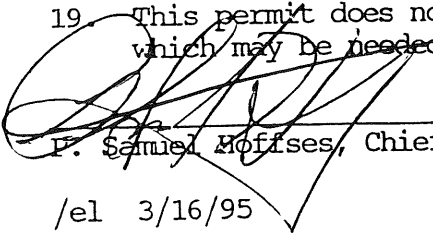
CONDITION OF APPROVAL OR DENIAL

- K
1. Before concrete for foundation is placed, approvals from ~~the~~ ~~Development Review Coordinator and~~ Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
 2. Precaution must be taken to protect concrete from freezing.
 3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
 4. All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with selfclosers.
 5. Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
 6. The boiler shall be protected by enclosing with one(1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Sprinkler piping serving not more than six sprinklers may be connected to a domestic water supply having a capacity sufficient to provide 0.15 gallons per minute, per square foot of floor throughout the entire area. An INDICATING shut-off valve shall be installed in an accessible location between the sprinkler and the connection to the domestic water supply. Minimum pipe size shall be 3/4 inch copper or 1 inch steel. Maximum coverage area of a residential sprinkler is 144 sq. feet per sprinkler.
 7. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue, they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508 mm), and a minimum net clear opening of 5.7 sq. feet.
 8. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
 9. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's building code Chapter 9, section 19, 919.3.2(BOCA National Building Code/1993), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

1. In the immediate vicinity of bedrooms
2. In all bedrooms
3. In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted.

10. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1993)
- X 11. Guardrail & Handrails-A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
12. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10, section & subsections 1023. & 1024. of the City's building code. (The BOCA National Building Code/1993)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 9" tread and 8-1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise.
14. Headroom in habitable space is a minimum of 7'6".
15. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
16. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
17. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
18. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
19. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's Office.


P. Samuel Moffses, Chief of Inspection Services

/el 3/16/95

Applicant: Terry Martell
Address: 159 Craigie St
Assessors No.: none given

Date: 1/15/96

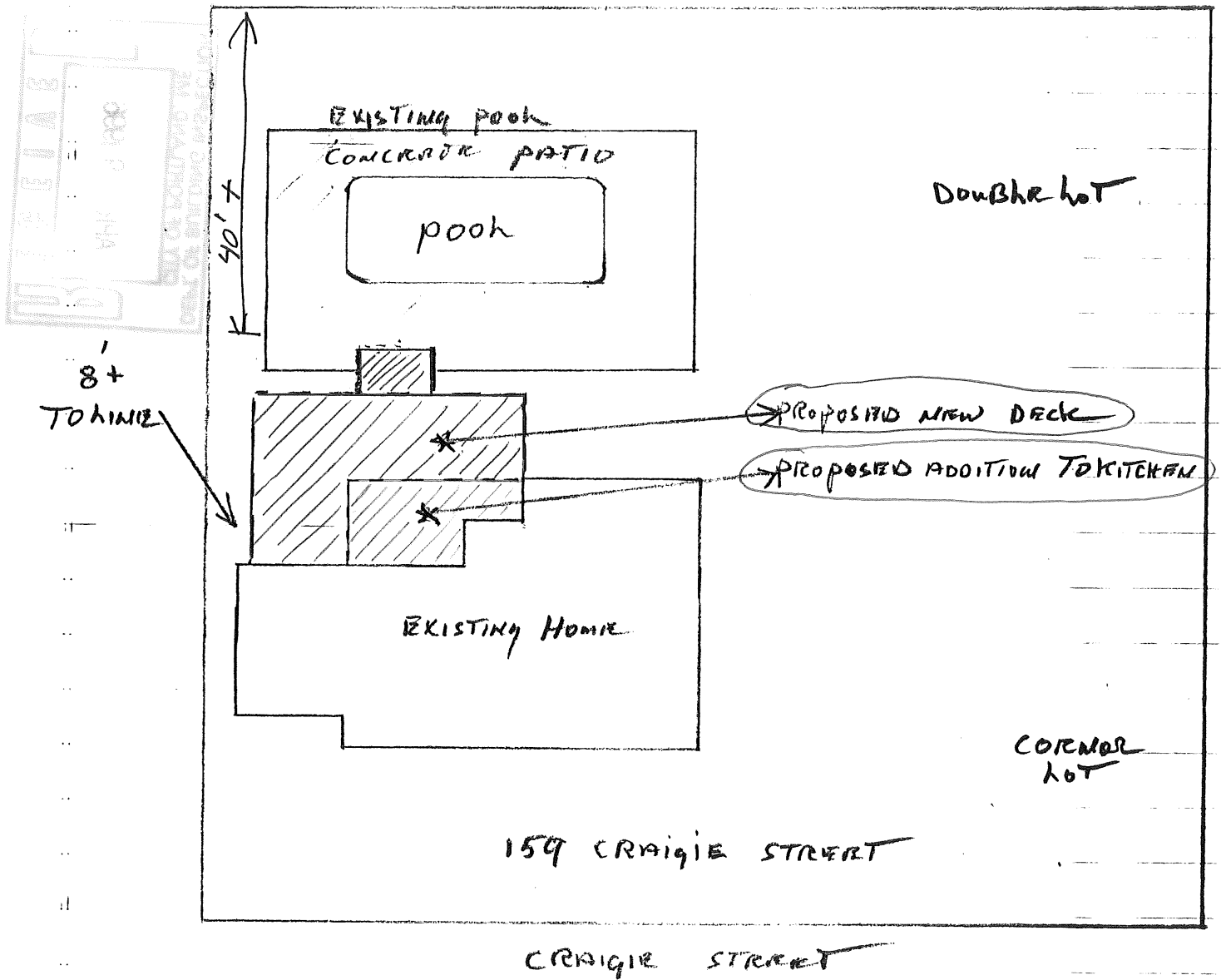
CHECK LIST AGAINST ZONING ORDINANCE

Date - existing
Zone Location - R-3
Interior or corner lot -
Use - New Deck & Addition to kitchen
Sewage Disposal -
Rear Yards - 25' req - 40' shown
Side Yards - 8' req (on non corner street side) - 8' from deck
Front Yards - 20' req (on corner street side) - 20' plus shown
N/A
Projections -
Height - 1 story
Lot Area - "double" lot
Building Area -
Area per Family -
Width of Lot -
Lot Frontage -
Off-street Parking -
Loading Bays -
Site Plan - N/A
Shoreland Zoning - N/A
Flood Plains - N/A

WELSH JOB

phot plan

NOT TO SCALE





MARJEN CONSTRUCTION CO., INC.

456 BRACKETT ROAD SANBORNVILLE, NEW HAMPSHIRE 03872
(603) 522-8332

SPECIFICATION SHEET

01. EXCAVATION

- A. Cellar hole to allow for foundation and crawl space.
- B. 3/4" stone finish inside foundation and under deck area.
- C. Back fill and rough grade.
- D. Finish grade and loam etc. By Owner.
- E. Holes for main tubes By Owner.
- F. Lawn repair and all other damage is the responsibility of the Owner.

02. FOUNDATION:

- A. Footings 8"x16" std mix 3000#.
- B. Wall 8" thick approx. 7'-6" high adjusted as needed std. mix 3000#.
- C. 12" main tubes per plan to be std. mix 3000# with 1/2" anchor pins.
- D. No water proofing or drains.

03. FRAMING MATERIALS:

- A. Lumber construction grade spruce.
- B. Framing 16" O/C.
- C. Sill seal 3/8x6" foamtype.
 - Sill 2 x 6 pressurer treated.
 - Box 2 x 8 spruce (min).
 - Joists 2 x 8 spruce (min).
 - Bridging 1 x 4 pine.
 - Deck 3/4" T&G underlayment grade fir plywood.
 - Single shoe 2 x 6 spruce.
 - Double plate 2x6 spruce.
 - Studs 2 x 6 spruce.
 - Ceiling joists 2 x 6 spruce.
 - Rafters 2 x 6 spruce.
 - Ties 1 x 6 rough pine.
 - Roof sheating 1/2 cdx plywood.
 - Wall sheating 1/2 cdx plywood.
 - Header over patio door 3- 2x10 w/glue.
 - Strapping 1x4 pine as need 16" O/C.
 - Ledger 2x6 spruce.

04. DOORS:

A. Patio door Anderson 8' F.W.G. 8068 R.

05. INSULATION:

A. Walls R-19 Fiberglass 6" kraft back.

B. Ceilings R-38 " 12" " "

C. Blockers and Runners Fiberglass 6" kraft back

06. INTERIOR WALLS:

A. 1/2 sheet rock as needed 3 - coats on seams or

B. Alternate: Plaster as required to match existing.

C. All painting By Owner.

07. INTERIOR TRIM:

A. Match existing as close as possible # 2 pine.

08. Plumbing:

A. As needed to provide for addition.

(Move soil stack, relocate kitchen sink, relocate dishwasher, relocate sill cock, provide for venting etc.)

09. ELECTRIC WIRING:

A. Relocate and add all necessary wiring to provide for expansion of kitchen and hot tub on deck.

B. Outlets on deck 2.

10. PAINTING & STAINING OR PAPERING:

A. By Owner.

11. CABINETS:

A. Style and color to be picked By Owner at later date: Price open to Owners choice.

12. FLOORING:

A. Hardwood to be picked By Owner at later date. Price open to Owners choice.

13. FIXTURES:

A. Lights etc. to be provided By Owner installed By Marjen Construction.

14. APPLIANCES:

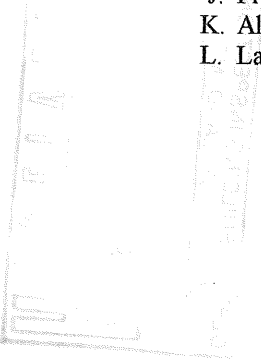
A. Furnished By Owner.

15. HEATING:

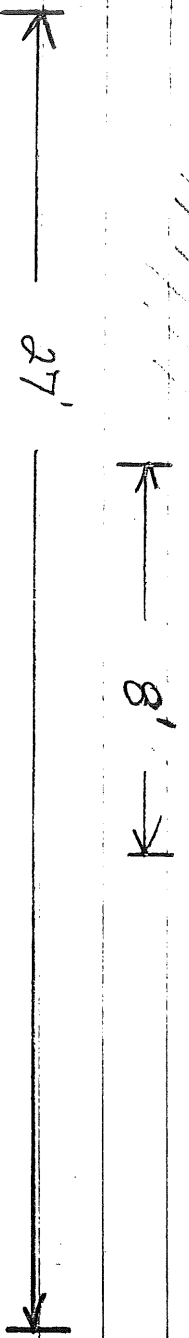
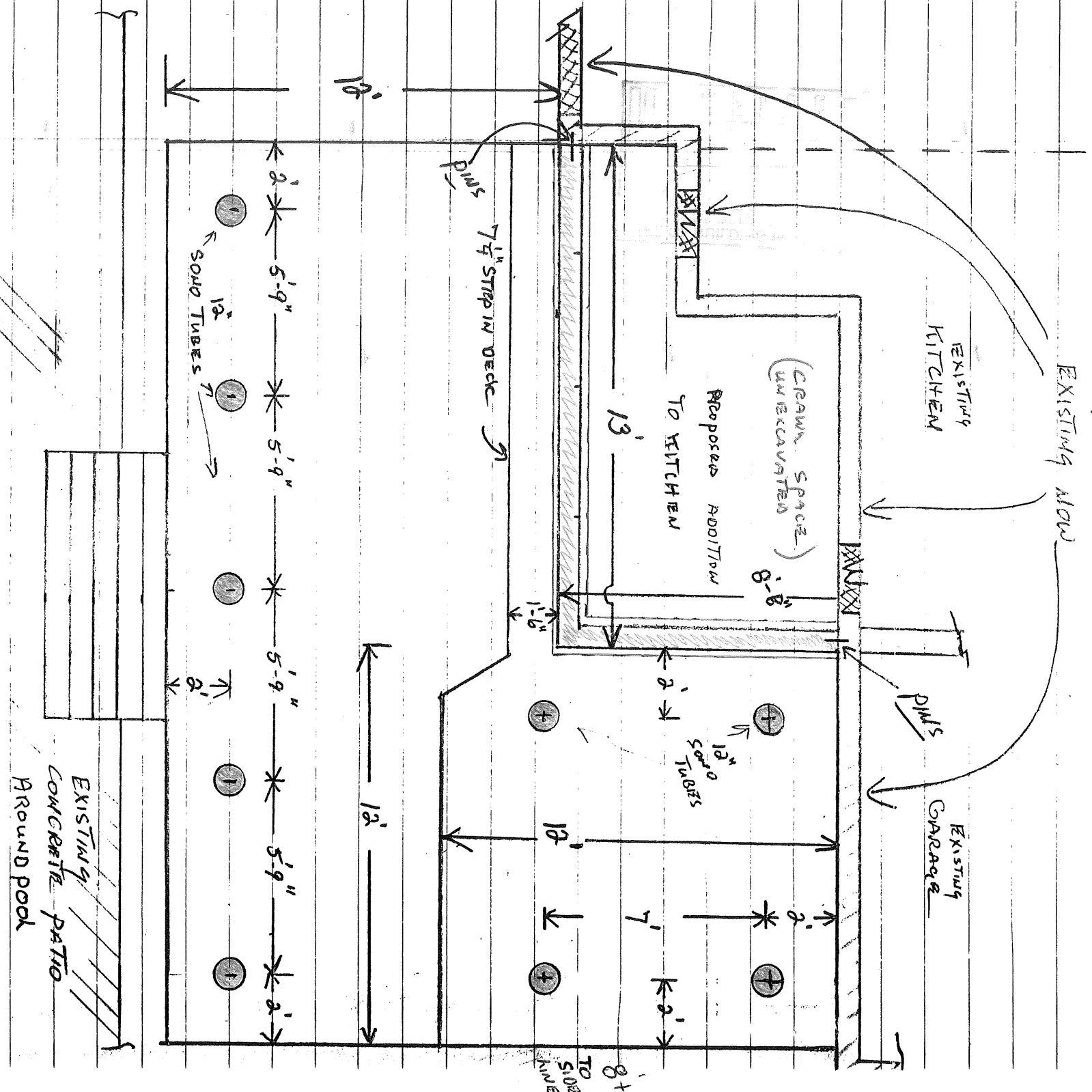
A. Add radiation as needed and directed By Owner.

16. DECK:

- A. All materials to be pressure treated.
- B. 2x10 pt support beams 3/ nailed together (making 6x10 beam)
- C. 2x8 pt joists.
- D. Joist hangers as needed.
- E. 5/4 x 6 pt decking.
- F. 4x4 pt posts for rails.
- G. Rails to be duck shape on top 2x4 on bottom with turned spindles approx. 6" center to center all pressurer treated.
- H. 2x12 pt stair stringer. 4
- I. 5/4 pt stock for treads and risers.
- J. Pressure treated lattice work to close in bottom of deck area.
- K. All staining and painting By Owner.
- L. Landscaping and finish grade By Owner.



PROPOSED ADDITION AND DECK FOUNDATION + SAND TUBE LAYOUT
 CONCRETE 8"x16" FOOTING WITH APPROX 7'-6" WALLS TO MAINTAIN
 MIN 48" BELOW GRADE TO BOTTOM OF FOOTING WALLS 8" THICK
 SAND TUBES (9) TO BE 12" ROUNDS AND APPROX 48" BELOW GRADE
 TOP OF FOUNDATION TO MATCH EXISTING FOUNDATION
 DRAIN + PUT 1/2" PINS TO TIE TO EXISTING WALLS



SCALE 1/4" = 1'

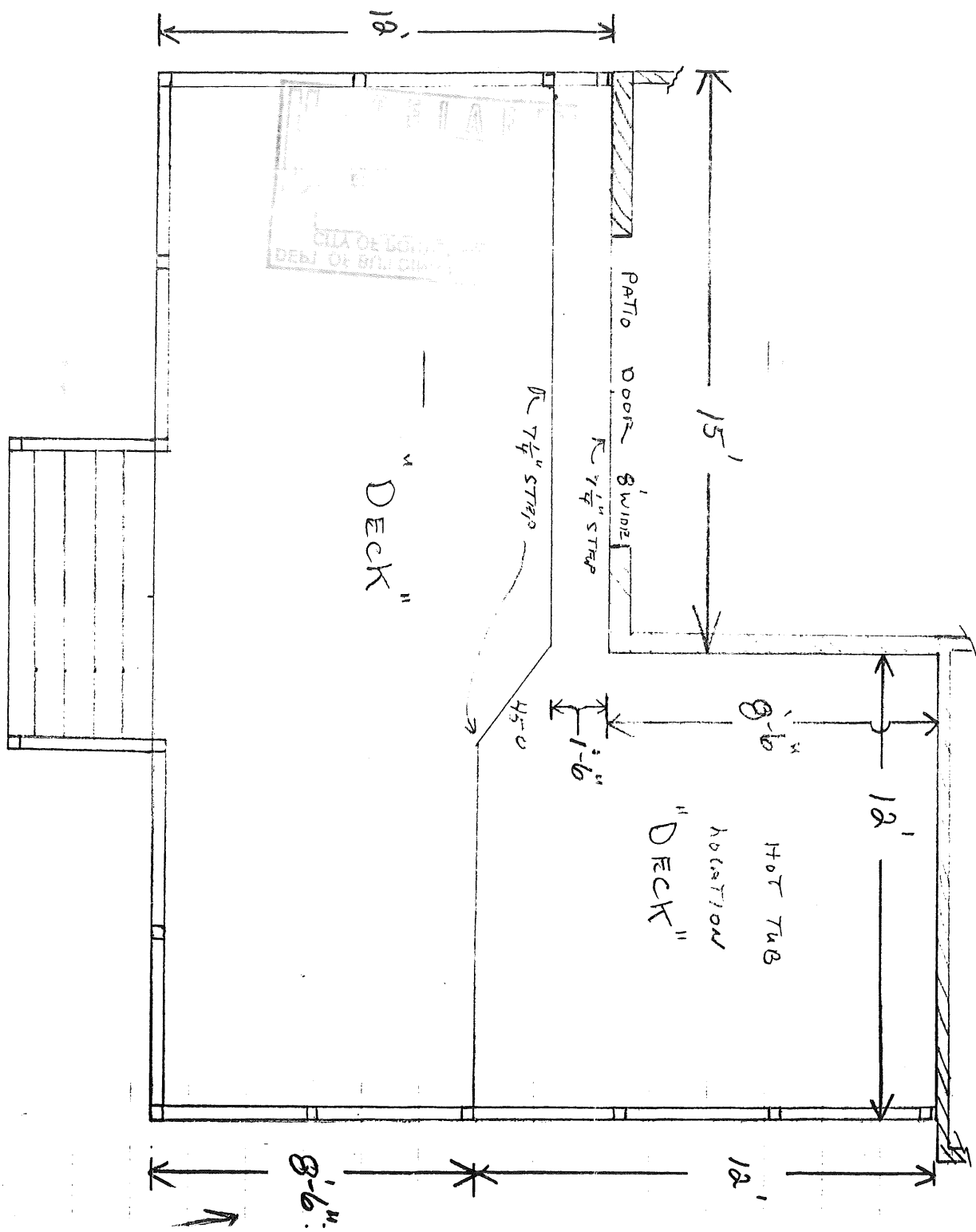
ADDITION TO HOUSE = 100 sq. FT.

DECK = 426 sq. FT.

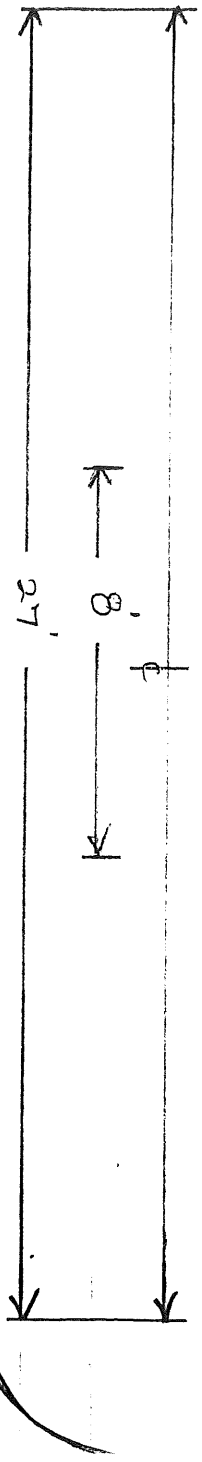
WEAVER JOB

WEEK 5 JOB DECK LAYOUT

SCALE 1/4" = 1'



R.H. END VIEW

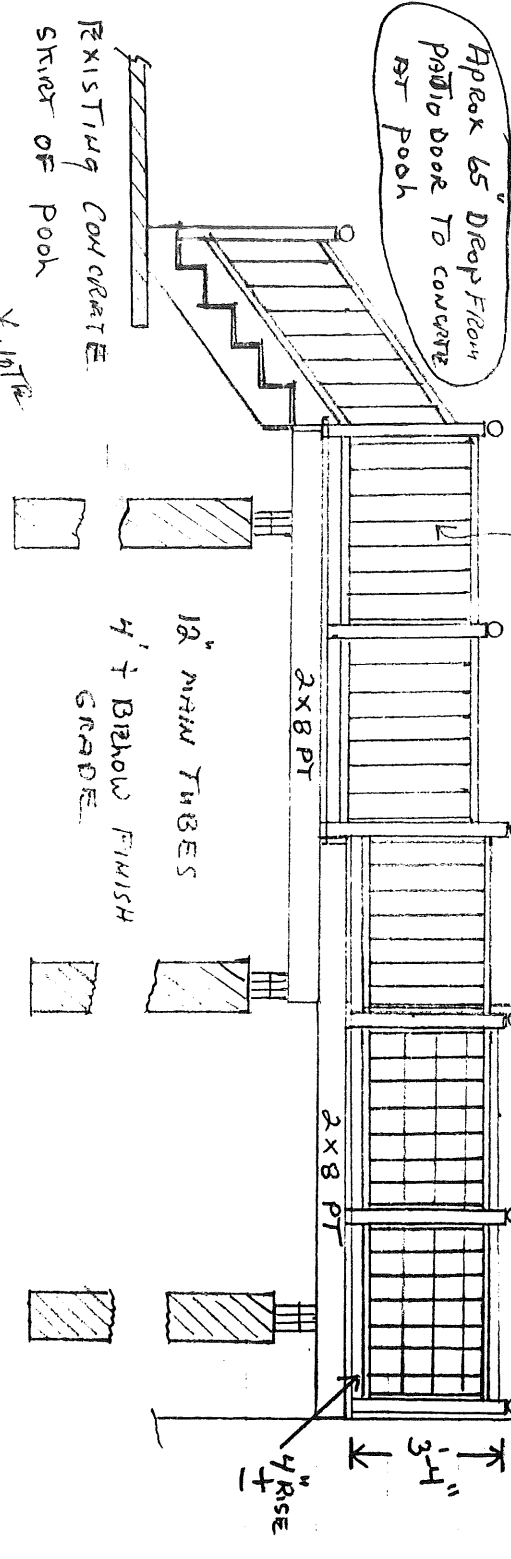


TURNED SPIROCKS APPROX 6' o/c 30" HIGH

FRAMING 1 1/2" o/c

APPROX 65" DROP FROM PATIO DOOR TO CONCRETE AT POOL

SCALE 1/4" = 1'



*NOTE BOTTOM OF DECK AREA TO BE COVERED IN WITH PT. LATTICE

1 1/2" MAIN TUBES
4' + BIRKOL FINISH GRADE

EXISTING CONCRETE SKIRT OF POOL

PLAN SHOWS KITCHEN
 AREA AS IT EXISTS
 NOW
 PROPOSED ADDITION
 IS TO ENLARGE KITCHEN
 AND ADD A DECK BETWEEN
 EXPANDED KITCHEN AND
 POOL AREA
 SCALE IS 1/4" = 1'

