

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

DEPARTMENT OF BUILDING INSPECTION

PERMIT

PERMIT ISSUED

OCT 23 2007

Permit Number: 071248

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that BUCKBERG RICHARD / Director has permission to Change in footprint of addition from 12' to 14', change direction of egress stairway for better setback clearance AT 128 EDWARDS ST PERMIT NO. 120 B012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Health Dept. Appeal Board Other Department Name

Thomas M. Mackay 10/23/07 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1248	Issue Date:	CBL: 120 B012001
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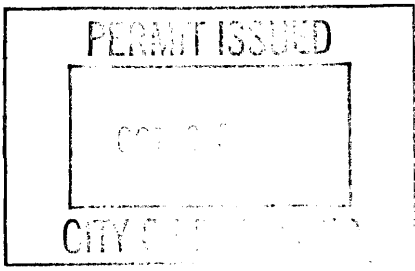
Location of Construction: 128 EDWARDS ST	Owner Name: BUCKBERG RICHARD	Owner Address: 128 EDWARDS ST	Phone:
Business Name:	Contractor Name: Delar General Contractor	Contractor Address: P.O. Box 130 New Gloucester	Phone 2079265947
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: R-3

Past Use: Single Family Home amendment to 070905	Proposed Use: Single Family Home - Change in footprint of addition from 12' x 12' to 12' x 14', change direction of egress stairway for better setback clearance	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	

Proposed Project Description: Change in footprint of addition from 12' x 12' to 12' x 14', change direction of egress stairway for better setback clearance	Signature:	Signature: <i>Jm 10/23/07</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 10/02/2007	Zoning Approval
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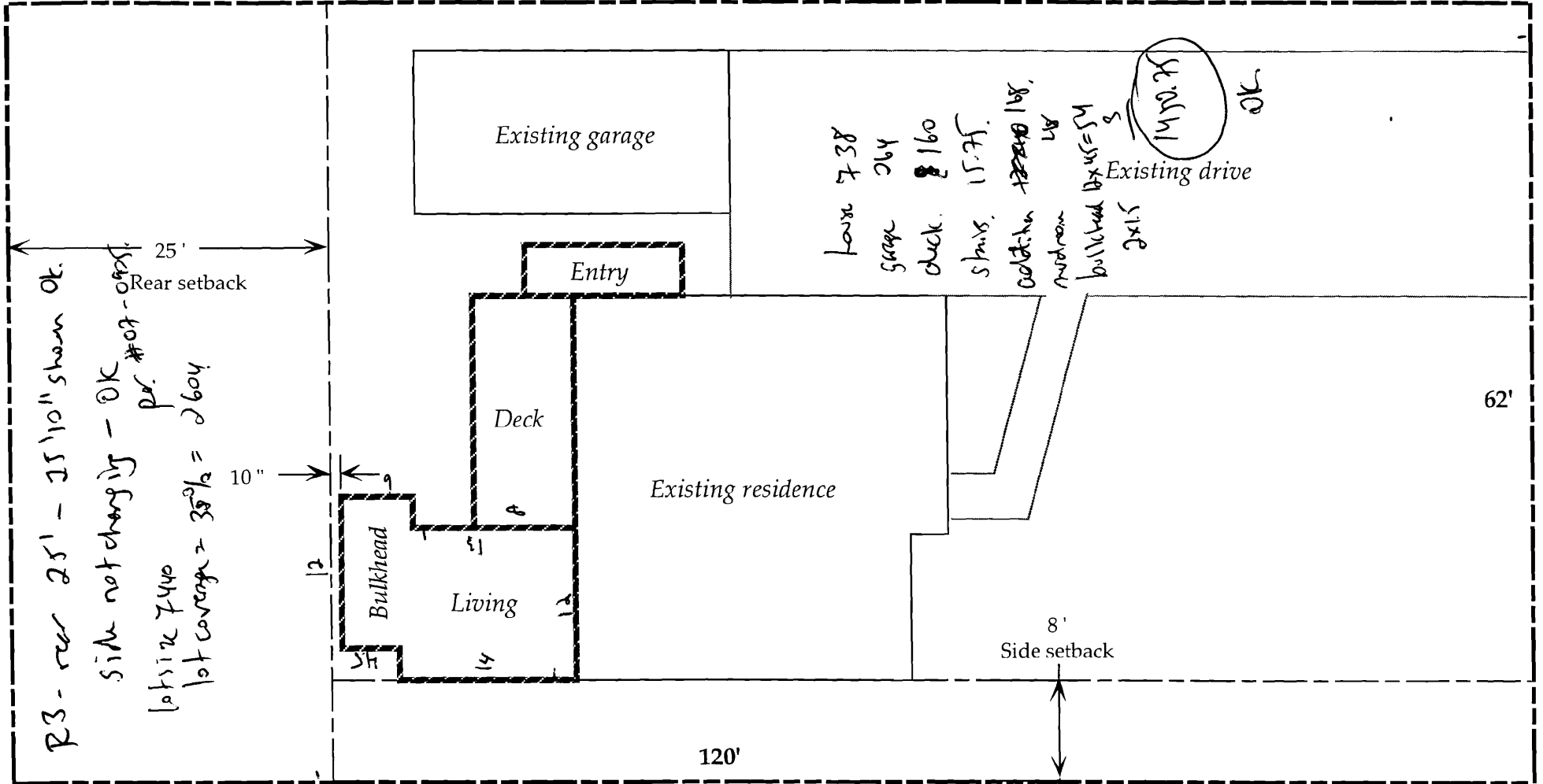
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/conditions</i> Date: <i>10/23/07 ABM</i>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



R3 - rear 25' - 25' 10" shown OK.
 Side not charging - OK
 per #07-0001
 lot size 7440
 lot coverage = 35 1/2% = 2604

House 738
 garage 264
 deck 160
 stairs 15.75'
 addition 160'
 bathroom 14'
 bulkhead 14' x 15' = 210'
 deck 14' x 15' = 210'
 OK

Edwards Street

Richard and Miriam Buckberg
 128 Edwards Street
 Portland, ME
 207-899-1758

Drawing: Buckberg Residence - Plot Plan, Revised	Date: Sept. 28, '07	Scale: 1" = 12'
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com	207.883.6050

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1248	Date Applied For: 10/02/2007	CBL: 120 B012001
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Location of Construction: 128 EDWARDS ST	Owner Name: BUCKBERG RICHARD	Owner Address: 128 EDWARDS ST	Phone:
Business Name:	Contractor Name: Delar General Contractor	Contractor Address: P.O. Box 130 New Gloucester	Phone (207) 926-5947
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Single Family Home - Change in footprint of addition from 12' x 12' to 12' x 14', change direction of egress stairway for better setback clearance	Proposed Project Description: Change in footprint of addition from 12' x 12' to 12' x 14', change direction of egress stairway for better setback clearance
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 10/23/2007**Note:** **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 10/23/2007**Note:** **Ok to Issue:**

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>128 Edwards St</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>120</u> Block# <u>B</u> Lot# <u>12</u>	Applicant * must be owner, Lessee or Buyer * Name <u>Richard Buddberg</u> Address <u>128 Edwards</u> City, State & Zip <u>Portland 04102</u>	Telephone: <u>(207) 899-1758(h)</u> Cell <u>468-5125</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address <u>Same</u> City, State & Zip	Cost Of Work: \$ 150,000.00 C of O Fee: \$ Total Fee: \$ <u>30⁰⁰/10</u>
Current legal use (i.e. single family) <u>Single family</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>home</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Change in footprint of addition from 12x12 to 12x14, plus change in direction of egress stairway to provide more clearance from setback at rear line</u>		
Contractor's name: <u>Dejar Gen'l Contr</u> Address: <u>POB 130</u> City, State & Zip <u>New Gloucester ME</u> Telephone: <u>9265947</u> Who should we contact when the permit is ready: <u>owner/applicant</u> Telephone: <u>899-1758 or 468-5125</u> Mailing address: <u>as above</u>		

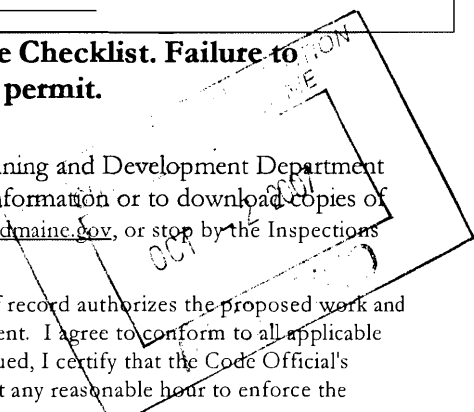
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

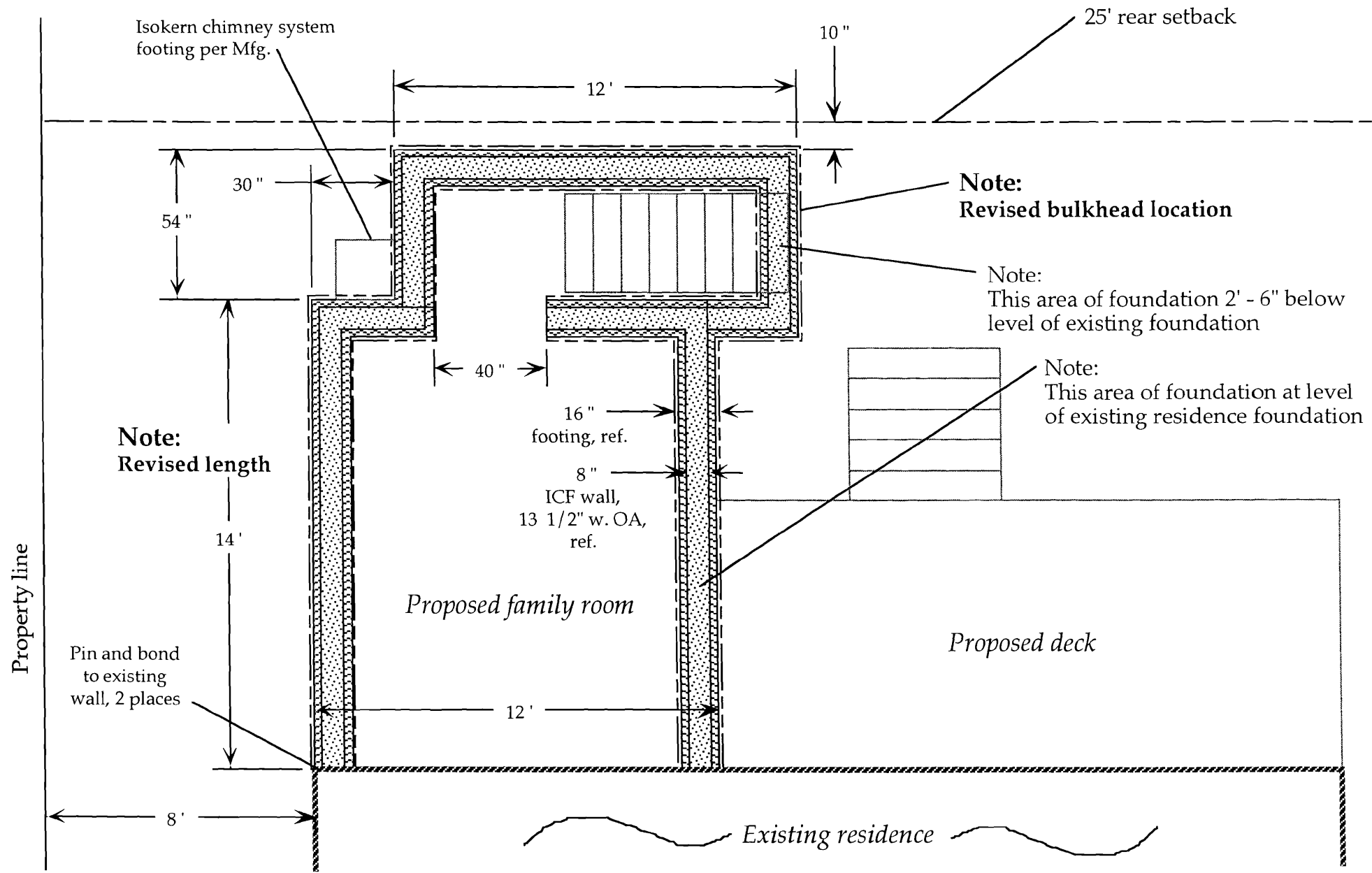
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 10/2/07

This is not a permit; you may not commence ANY work until the permit is issued





Drawing: Buckberg Residence - Foundation Plan, Revised

Date: Sept. 28, '07

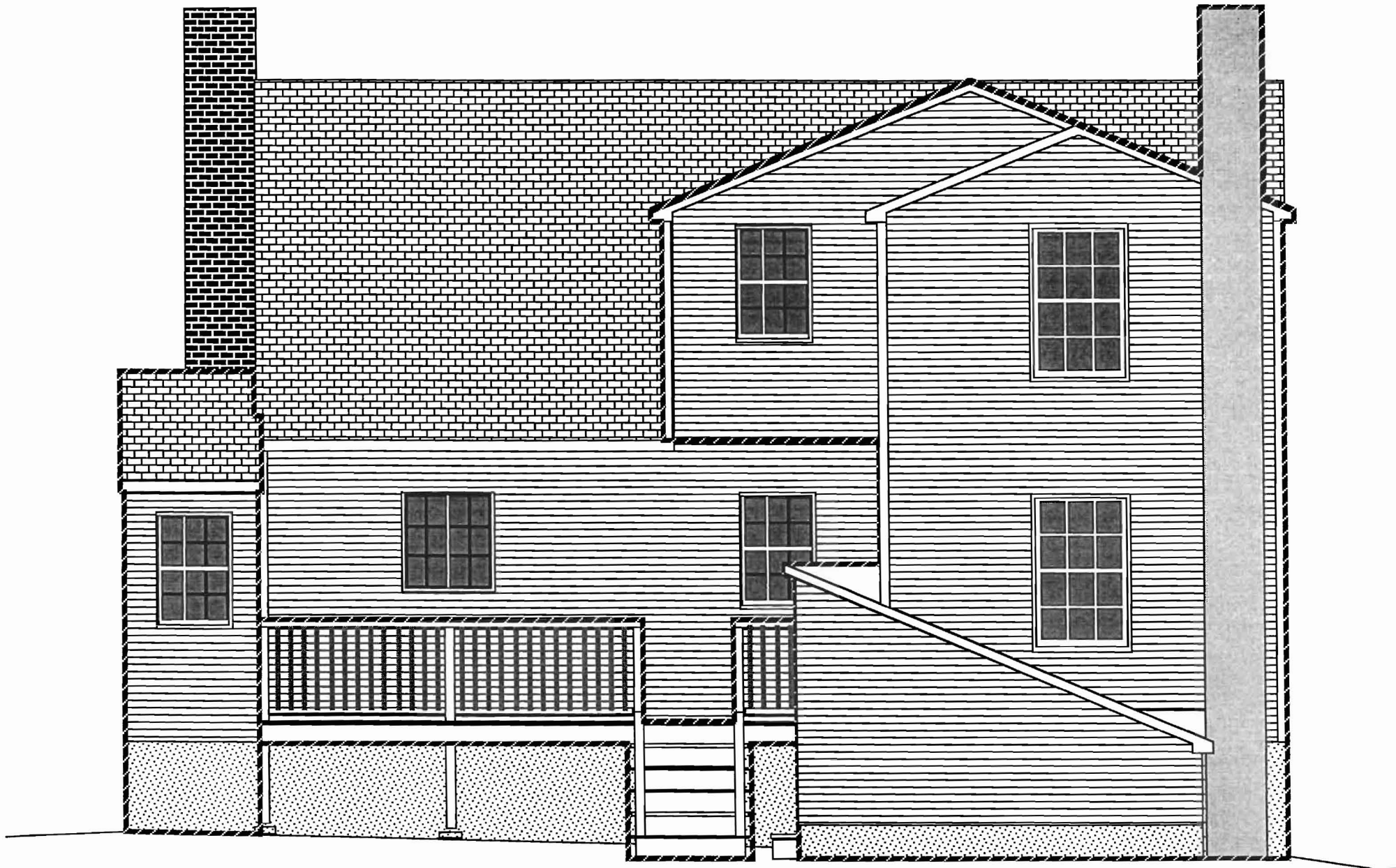
Scale: 1" = 4'

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050



Proposed addition - - - - -

Drawing: Buckberg Residence - Rear (West) Elevation, Revised

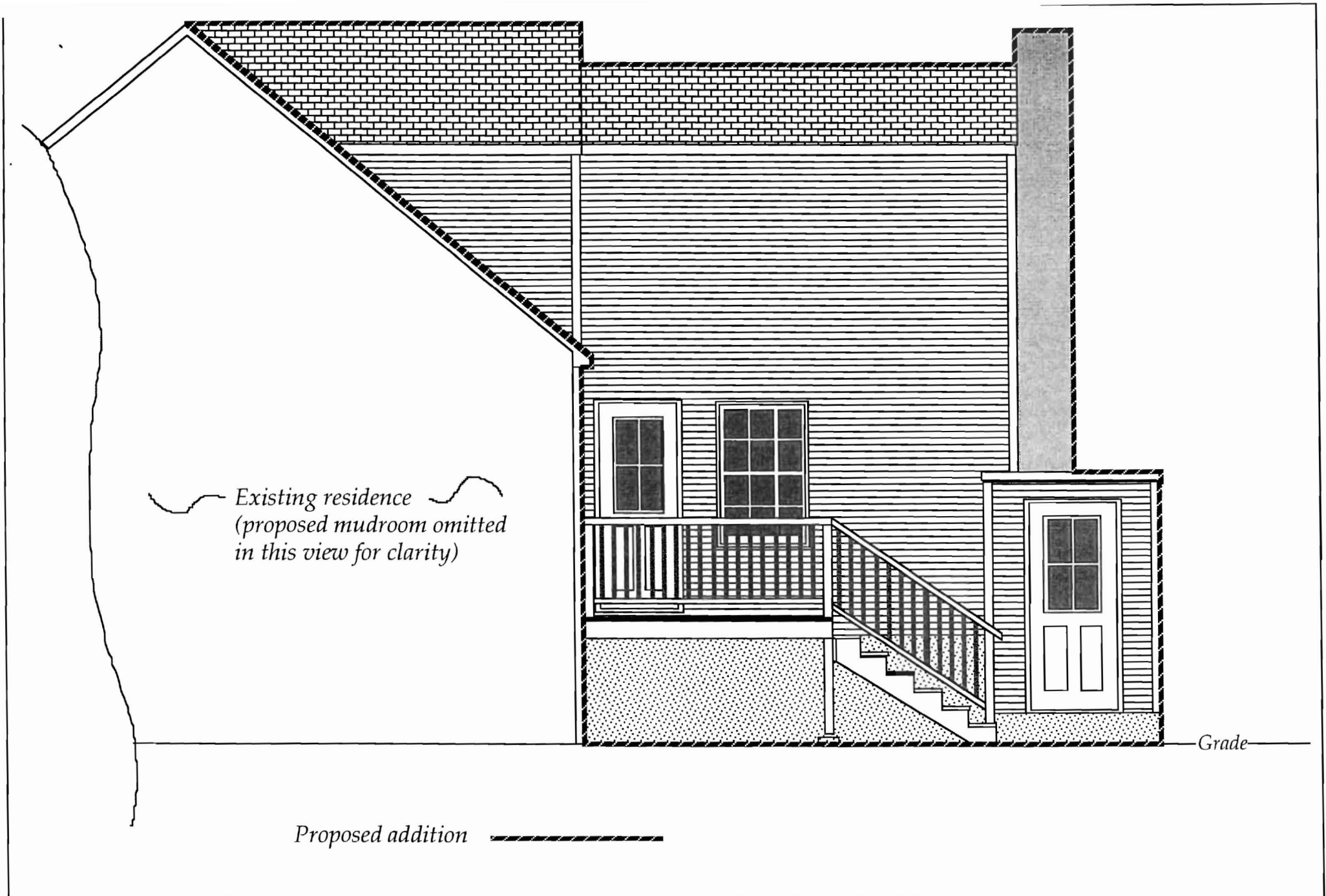
Date: Sept. 28, '07

Scale: 1" = 4'

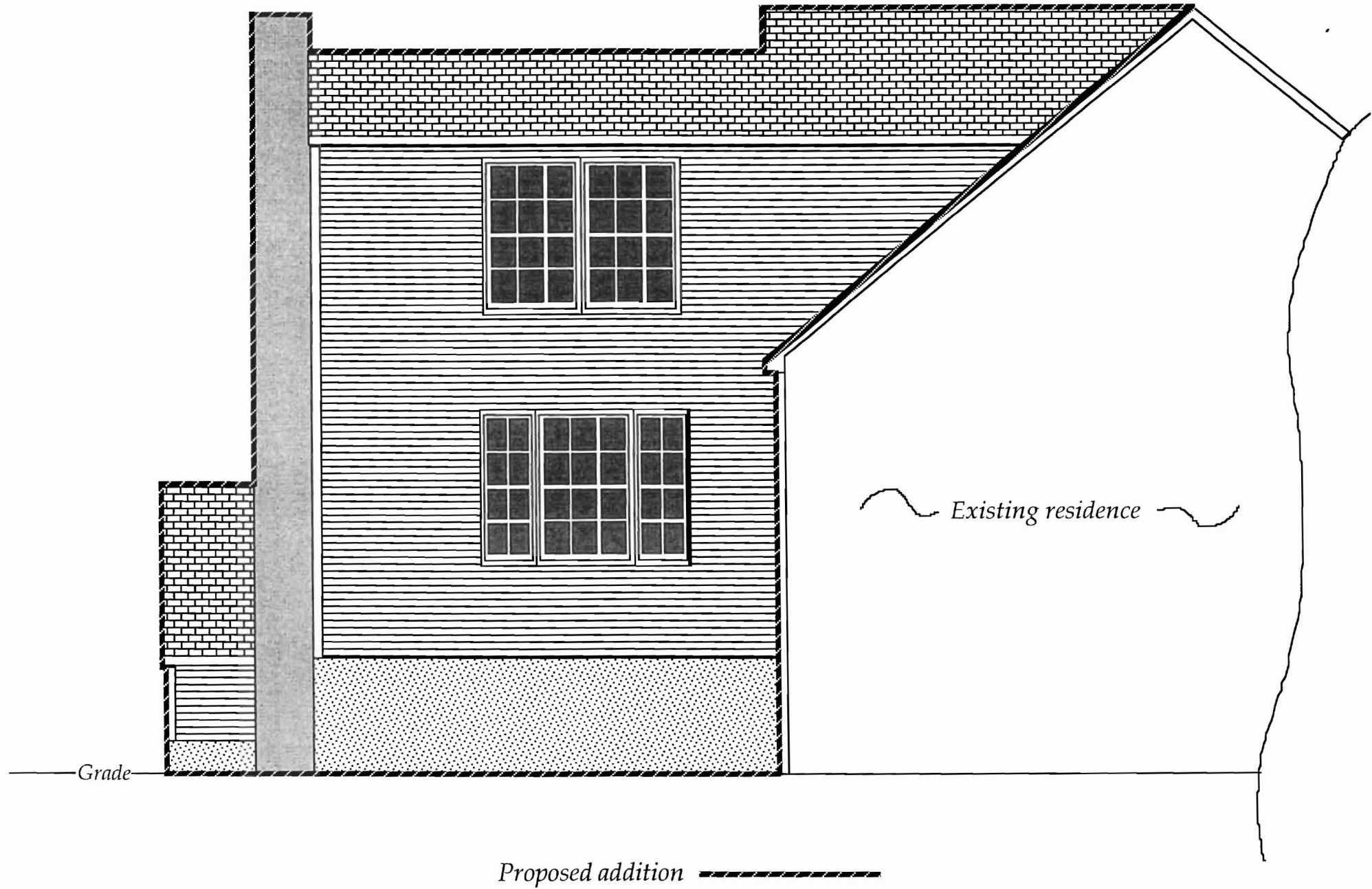
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050



Drawing: Buckberg Residence - North Elevation, Revised	Date: Sept. 28, '07	Scale: 1" = 4'
Whole Home Resource 3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com	207.883.6050



Drawing: Buckberg Residence - South Elevation, Revised

Date: Sept. 28, '07

Scale: 1" = 4'

Whole Home Resource

3 Tide Mill Lane, Scarborough, ME 04074

WholeHomeResource.com

207.883.6050

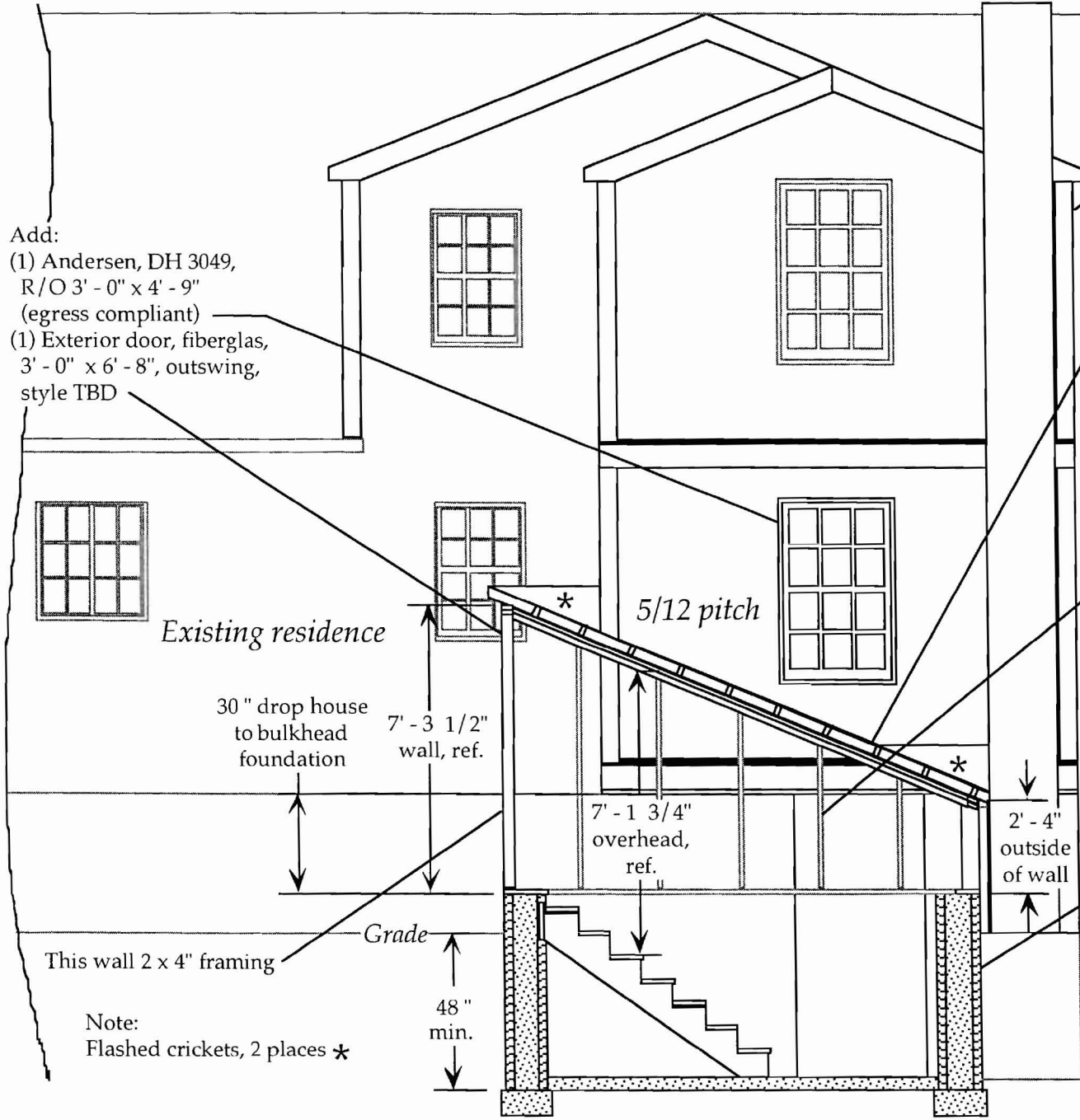
- Add:
- (1) Andersen, DH 3049, R/O 3' - 0" x 4' - 9" (egress compliant)
 - (1) Exterior door, fiberglas, 3' - 0" x 6' - 8", outswing, style TBD

Proposed addition, see previously submitted drawings

Roof:
 Asphalt shingles, 25 yr. min., match existing
 Bituthane membrane all over
 Sheathing: 5/8 CDX plywood, or equiv. OSB
 Step flashing along house
 Rafter: 2 x 4" @ 16" OC, 2 x 4" blocking along walls
 Ledger: = 2 x 4" along wall
 Insulation: Fiberglass batt, 2" polyisocyanurate on rafters, R-27 total
 Finish: 1 x 3" strapping & 1/2" GWB

Wall (exterior):
 Siding: to match existing
 Trim, 1 x to match existing, as req'd
 Vapor barrier, nonwoven membrane, bituthane tape around openings
 Sill: 2 x 8", pressure treated w/poly. sill seal
 Sheathing: 1/2" CDX plywood, or equiv. OSB
 Studs: 2 x 6" @ 24" OC
 Insulation: Fiberglass, R-19, 6 mil. poly. vapor barrier
 Finish: 1/2" GWB

Foundation:
 Sill anchor: 1/2" bolt or straping, spacing per Code
 Wall: 8" thk. Insulated Concrete Form, poured concrete, pin and bond to existing wall, R-28
 Footing: 8" dp. x 16" w., concrete, steel reinforce, pin or key to wall
 Floor: 3" concrete, steel reinforced, 6 mil polyethylene vapor barrier beneath



Existing residence

5/12 pitch

30" drop house to bulkhead foundation

7' - 3 1/2" wall, ref.

7' - 1 3/4" overhead, ref.

2' - 4" outside of wall

Grade

48" min.

This wall 2 x 4" framing

Note:
 Flashed crickets, 2 places *

Drawing: Buckberg Residence - Bulkhead Const. Detail, Revised

Date: Sept. 28, '07

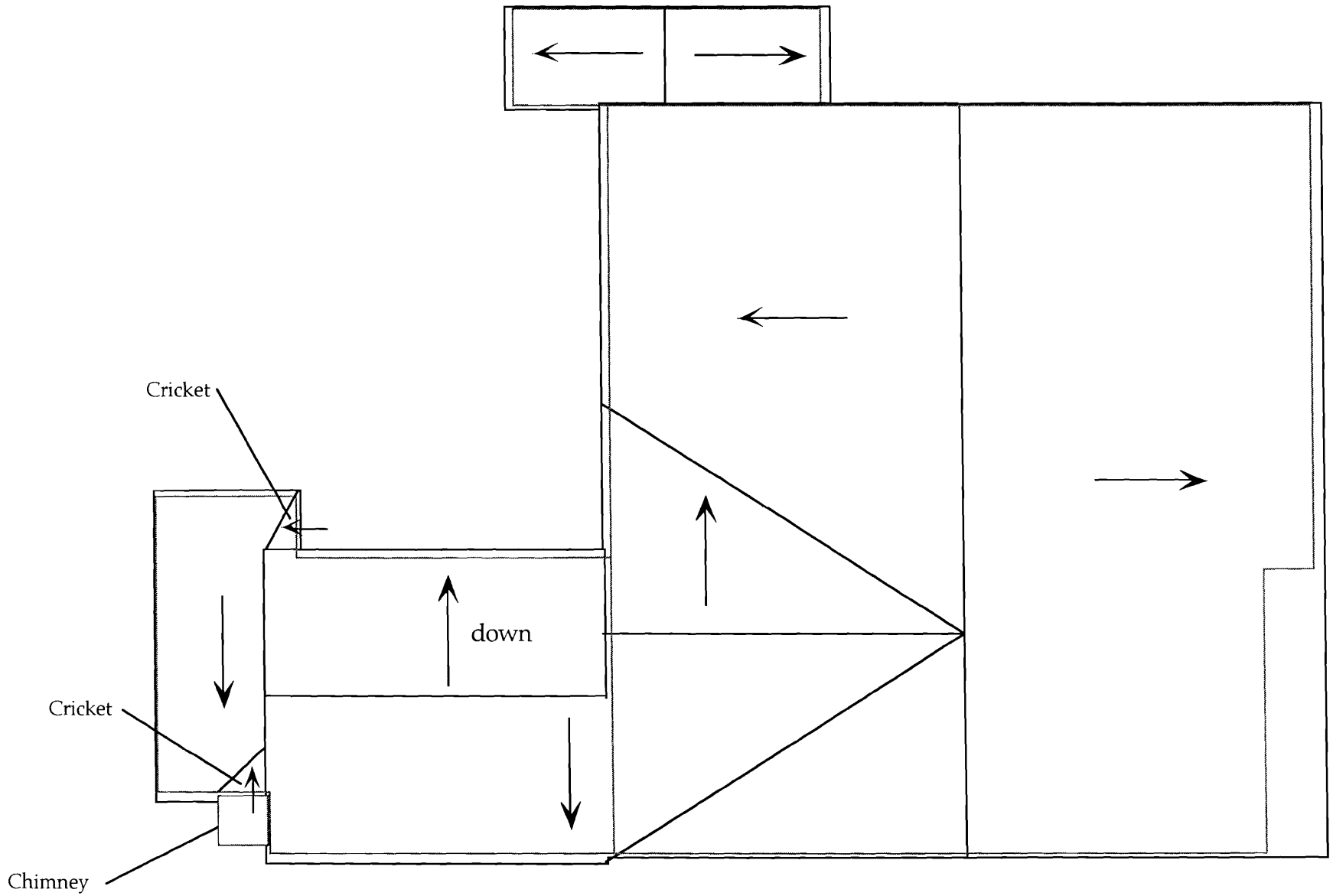
Scale: 1" = 4'

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Drawing: Buckberg Residence - Roof Plan, Revised

Date: Sept. 28, '07

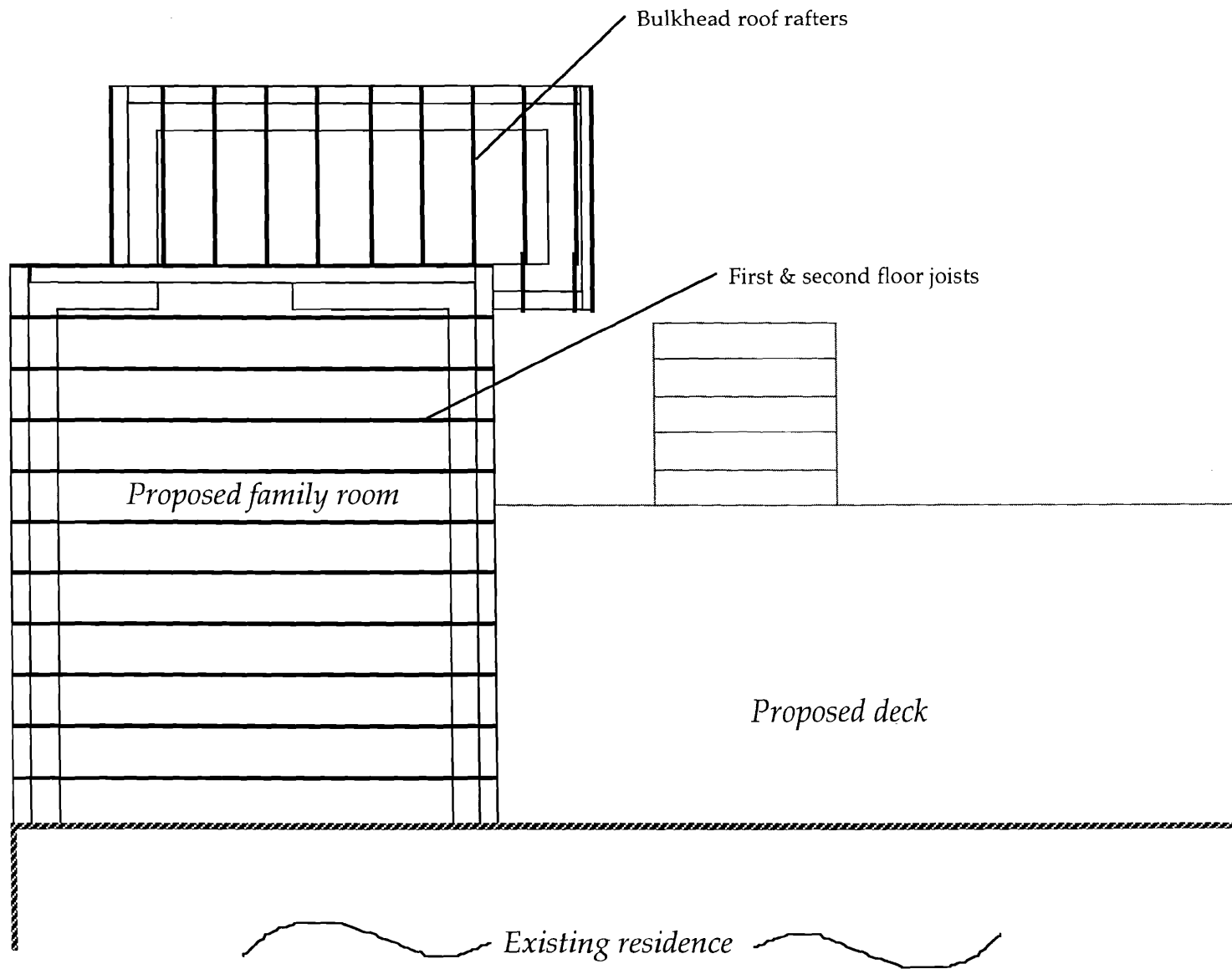
Scale: No scale

Whole Home Resource

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Drawing: Buckberg Residence - Framing Sketch, Revised

Date: Sept. 28, '07

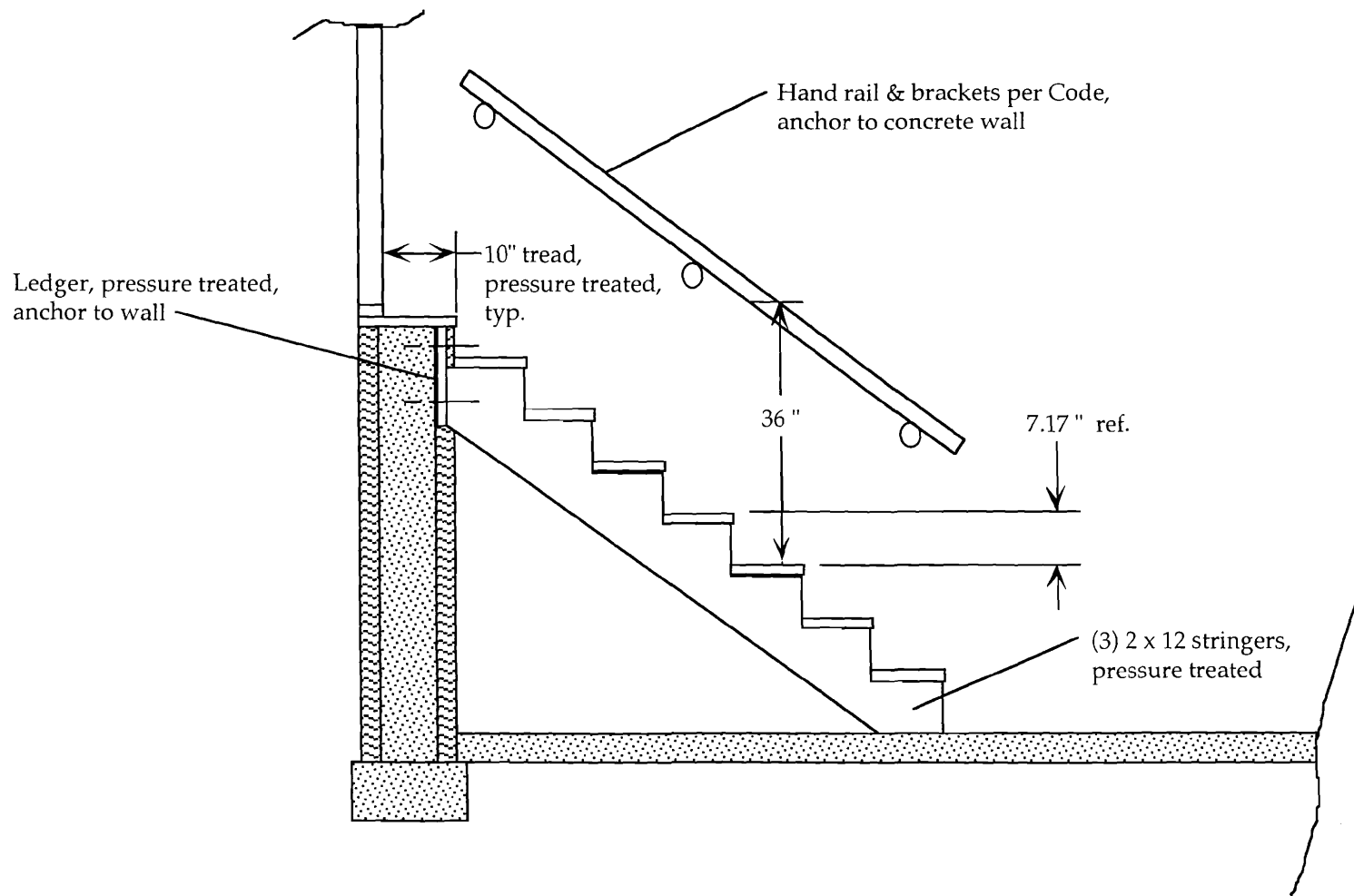
Scale: 1" = 4'

Whole Home Resource

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Drawing: Buckberg Residence - Bulkhead Stair Detail, Revised	Date: Sept. 28, '07	Scale: 1" = 2'
Whole Home Resource	3 Tide Mill Lane, Scarborough, ME 04074	WholeHomeResource.com 207.883.6050