

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND**

Please Read
Application And
Notes, If Any,
Attached

**BUILDING INSPECTION
PERMIT**

Permit Number: 070905

This is to certify that BUCKBERG RICHARD /D Mauricehas permission to 12' x 14' addition, mud room DeckAT 128 EDWARDS ST

PERMIT ISSUED

120 B012001 SEP 24 2007

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas M. Workley 8/27/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0905	Issue Date:	CBL: 120 B012001
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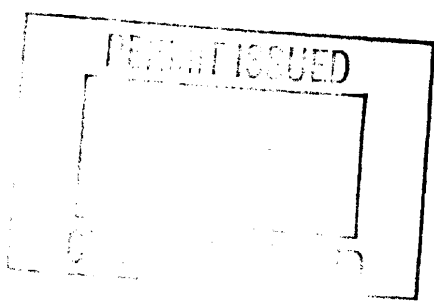
Location of Construction: 128 EDWARDS ST	Owner Name: BUCKBERG RICHARD	Owner Address: 128 EDWARDS ST	Phone: 899-1750
Business Name:	Contractor Name: David Maurice	Contractor Address: PO Box 103 New Glouster	Phone: 2079265947
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - 12' x 14' addition, mud room & Deck	Permit Fee: \$1,860.00	Cost of Work: \$82,000.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	

Proposed Project Description: 12' x 14' addition, mud room & Deck	Signature:	Signature: <i>Jm</i> 8/27/07
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: ldobson	Date Applied For: 07/27/2007	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Maj: <input type="checkbox"/> Minor: <input type="checkbox"/> MM: <input type="checkbox"/>	Date: <i>8/24/07</i>	Date:



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

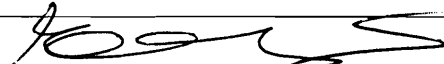
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>128 Edwards Portland</u>		
Total Square Footage of Proposed Structure <u>Structure 552 Foot deck - 8x18</u>		Square Footage of Lot <u>7440</u>
Tax Assessor's Chart, Block & Lot Chart# <u>120</u> Block# <u>B</u> Lot# <u>12</u>	Owner: <u>Richard Buckberg</u>	Telephone: <u>207-899-1758</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Richard Buckberg</u> <u>128 Edwards St</u> <u>Portland ME, 04102</u> <u>207-899-1758</u>	Cost Of Work: \$ <u>100,000</u> <u>152,050</u> Fee: \$ <u>840</u> C of O Fee: \$ _____
Current legal use (i.e. single family) <u>single family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Single Family</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>3 floor 12x14 feet addition</u> <u>8x20 mud room S</u> <u>← deck: 4x12 feet</u> <u>stairs</u>		
Contractor's name, address & telephone: <u>David Maurice (Delany)</u>		<u>PC Box 130</u> <u>Portland, ME 04260</u> RECEIVED <u>2007-07-27</u>
Who should we contact when the permit is ready: <u>Richard Buckberg</u> Mailing address: <u>128 Edwards St</u> <u>Portland ME 04102</u> Phone: <u>207-899-1758</u>		

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>7/27/07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0905	Date Applied For: 07/27/2007	CBL: 120 B012001
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Location of Construction: 128 EDWARDS ST	Owner Name: BUCKBERG RICHARD	Owner Address: 128 EDWARDS ST	Phone:
Business Name:	Contractor Name: David Maurice	Contractor Address: PO Box 103 New Gloucester	Phone: (207) 926-5947
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - 12' x 14' addition, mud room 4'x12' & Deck 8'x20' with stairs	Proposed Project Description: 12' x 14' addition, mud room 4'x12' & Deck 8'x20' with stairs
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/24/2007**Note:****Ok to Issue:**

- 1) This permit is being approved on the basis of revised plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 08/27/2007**Note:****Ok to Issue:**

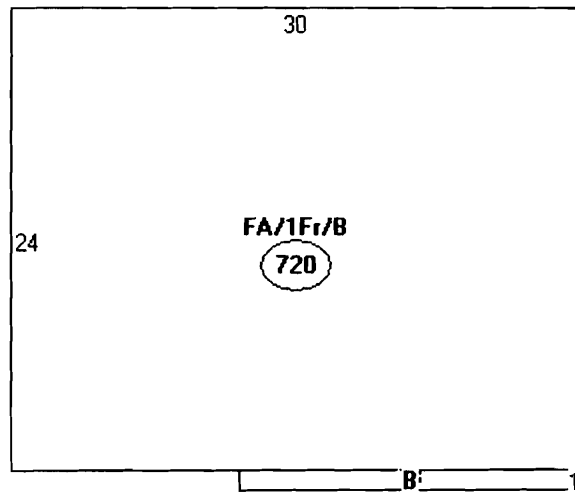
- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

7/30/2007-mes: not showing existing ramp toward front and rear deck stairs - will call Richard Buckberg, owner.

8/2/2007-mes: Mr. Buckberg came in - we discovered that his plot plan as submitted is wrong. His lot is 62'x120' and not 75'x100' like his current plan shows. He will revise his plot plan and add all the corrections and projections. May do a rear dog house.

8/24/2007-mes: 8/21/07 late in the day Mr. Buckberg dropped off revised plans that accurately show his property 62'x120'.



Descriptor/Area

~~FA/1Fr/B
720 sqft~~

~~B/N/A
18 sqft~~

~~264~~

~~12x22 exist GARAGE~~

~~1002 exist COVT~~

168 12x14 proposed

1170 #

ok

$$7440 \# \times 35\% =$$

$$2604 \#$$

ok

720

18

264

12x22 exist garage

160 = New Deck 8'x20'

15.75 = Deck steps 3.5x4.5'

168 = New Addition 12'x14'

48 = New mudroom 4x12'

60 = exist ramp - 3.75x16'

1453.75

↑
now being removed from the permit

FAX Cover Sheet

To: Marge Schmuckel

Fax Number: 1-207-874-8716

Subject: Buckberg Project

Date: 8/3/2007 10:39:59 AM

Pages: 3

From: Richard Buckberg

128 Edwards St

Portland ME 04102

Phone: 207-899-1758

Company

Phone:

Fax: 8662655848

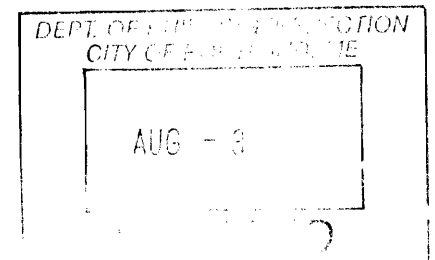
Email: pacbuck@netscape.net

Message

Attached is a copy of the deed for our property. As you can see it specifies a lot of 62' X 120', as indicated on the assessor's map.

Thank you.

Richard Buckberg

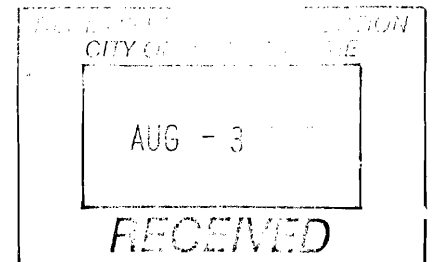


Warranty Deed
(Maine Statutory Short Form)

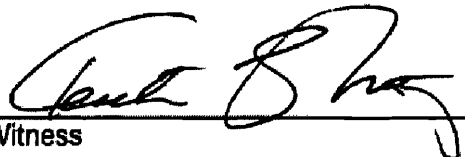
Jayson H. Wyatt f/k/a Jayson H. Herrick of Portland, Maine, for consideration paid, grants to Richard Buckberg, with a mailing address of 4 Minuteman Drive, Scarborough, Maine 04074 with WARRANTY COVENANTS, the following described real property situated at 128 Edwards Street, Portland, Cumberland County, Maine

A certain lot or parcel of land with the buildings thereon, situated in said Portland, and being more particularly described on Exhibit A attached hereto and made a part hereof.

Meaning and intending to convey the same premises described in a deed from Walter F. Haller as Personal Representative of the Estate of Georger Haller, dated May 12, 1998, and recorded in the Cumberland County Registry of Deeds in Book 13812, Page 151.



Witness my hand this 28th day of June, 2004.



Witness



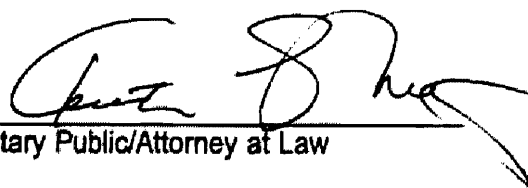
Jayson H. Wyatt

State of Maine
County of Cumberland, ss

June 28, 2004

Personally appeared the above named Jayson H. Wyatt and acknowledged the foregoing instrument to be his free act and deed.

Before me,



Notary Public/Attorney at Law

Printed Name:

Comm. Exp:

KENNETH E. SWITGER
MAINE ATTORNEY AT LAW

CL-16126

EXHIBIT A

A certain lot or parcel of land, with the buildings thereon, situated on the northwesterly side of Edwards Street in the City of Portland, County of Cumberland and State of Maine and bounded and described as follows:

BEGINNING at a point on the northwesterly sideline of Edwards Street distant 248.1 feet southwesterly from its intersection with the southwesterly sideline of Elizabeth Road;

Thence, running southwesterly along said northwesterly sideline of Edwards Street a distance of 62 feet;

Thence, running northwesterly along the northeasterly sideline of Lot No. 105 as shown on Plan of Longfellow Highlands, recorded in the Cumberland County Registry of Deeds in Plan Book 12, Page 65, a distance of 120 feet to the most northerly corner of said Lot No. 105;

Thence, running northeasterly on a line parallel with said street line a distance of 62 feet to Lot No. 103 on said Plan;

Thence, running southeasterly along the southwesterly side line of Lot No. 103 a distance of 120 feet to said street at the point of beginning; being Lot No. 104 as shown on said Plan of Longfellow Highlands, to which plan reference is hereby made.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	120 B012001
Location	128 EDWARDS ST
Land Use	SINGLE FAMILY
Owner Address	BUCKBERG RICHARD 128 EDWARDS ST PORTLAND ME 04102
Book/Page	21475/293
Legal	120-B-12 EDWARDS ST 126-128 7440 SF

Current Assessed Valuation

Land	Building	Total
\$89,000	\$89,300	\$178,300

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
1949	Cape	1	1033	0.171	2	1		6	Full Finsh	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1949	12X22	C	A

Sales Information

Date	Type	Price	Book/Page
06/29/2004	LAND + BLDING	\$201,000	21475-293
05/01/1998	LAND + BLDING	\$99,000	13812-151

Picture and Sketch

Picture Sketch Tax Map

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	120 B012001
Location	128 EDWARDS ST
Land Use	SINGLE FAMILY
Owner Address	BUCKBERG RICHARD 128 EDWARDS ST PORTLAND ME 04102
Book/Page	21475/293
Legal	120-B-12 EDWARDS ST 126-128 7440 SF

2-3

Current Assessed Valuation

Land	Building	Total
\$89,000	\$89,300	\$178,300

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1949	Cape	1	1033	0.171	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
2	1		6	Full Finsh	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1949	12X22	C	A

Sales Information

Date	Type	Price	Book/Page
06/29/2004	LAND + BLDING	\$201,000	21475-293
05/01/1998	LAND + BLDING	\$99,000	13812-151

Picture and Sketch

Picture	Sketch	Tax Map
----------------	---------------	----------------

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	431 L007001
Location	108 VERANDA ST
Land Use	THREE FAMILY
Owner Address	DISANTO JOHN W & MARCO A JTS PO BOX 981 PORTLAND ME 04104
Book/Page	/
Legal	431-L-7 HODGINS ST 2-8 VERANDA ST 108-110 13161 SF

RS
front 20'
rear 20'
side 2 1/2 by 12'
2 1/2 14
side street 15'
lot coverage 40% = 5264.4

Current Assessed Valuation

Land	Building	Total
\$68,800	\$280,200	\$349,000

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1915	Old Style	3	3542	0.302	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
6	3		15	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1975	26X37	C	A

Sales Information

Date	Type	Price	Book/Page
07/01/2002	LAND + BLDING	\$22,500	17870-273

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here](#) to view Tax Roll Information.

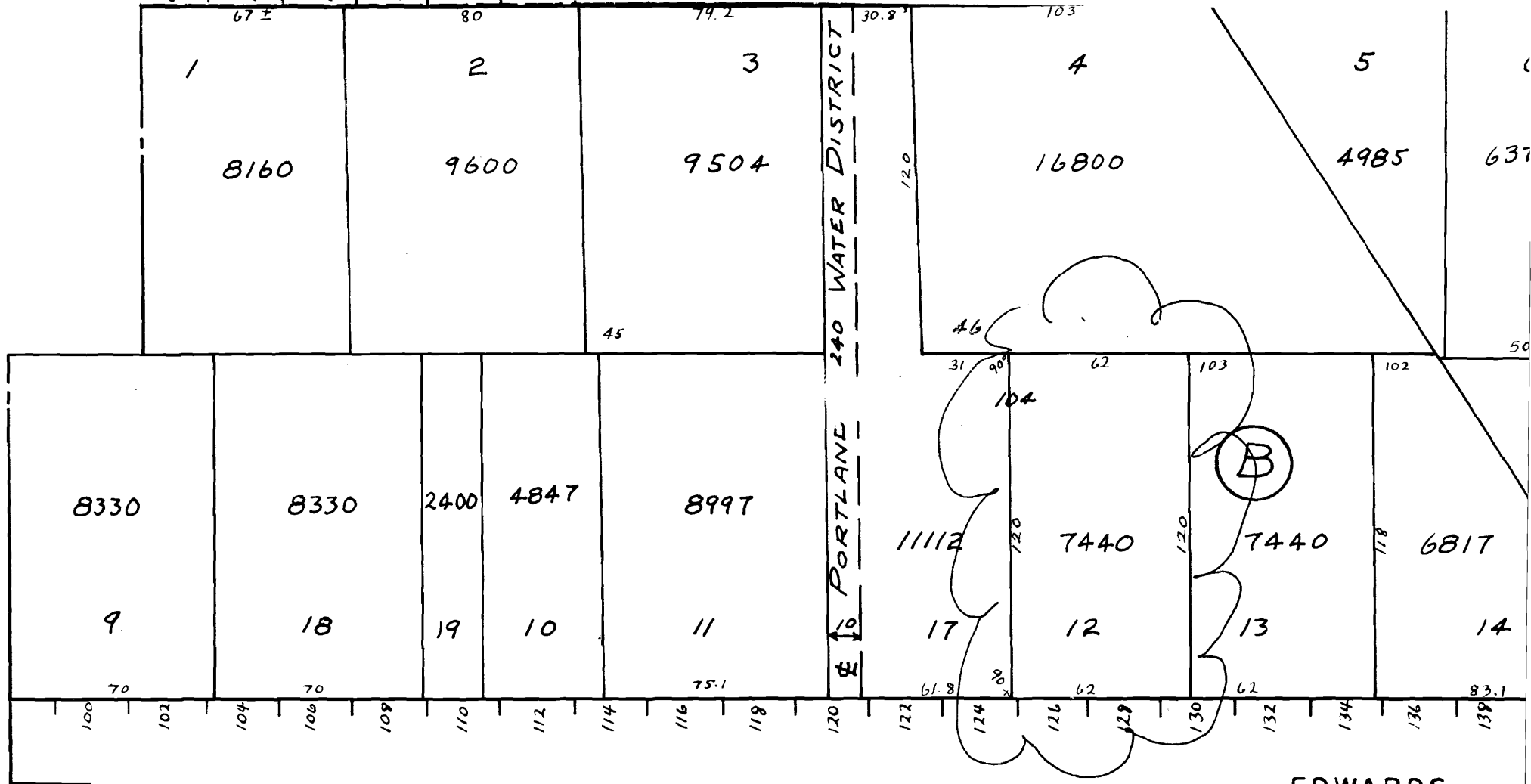
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!

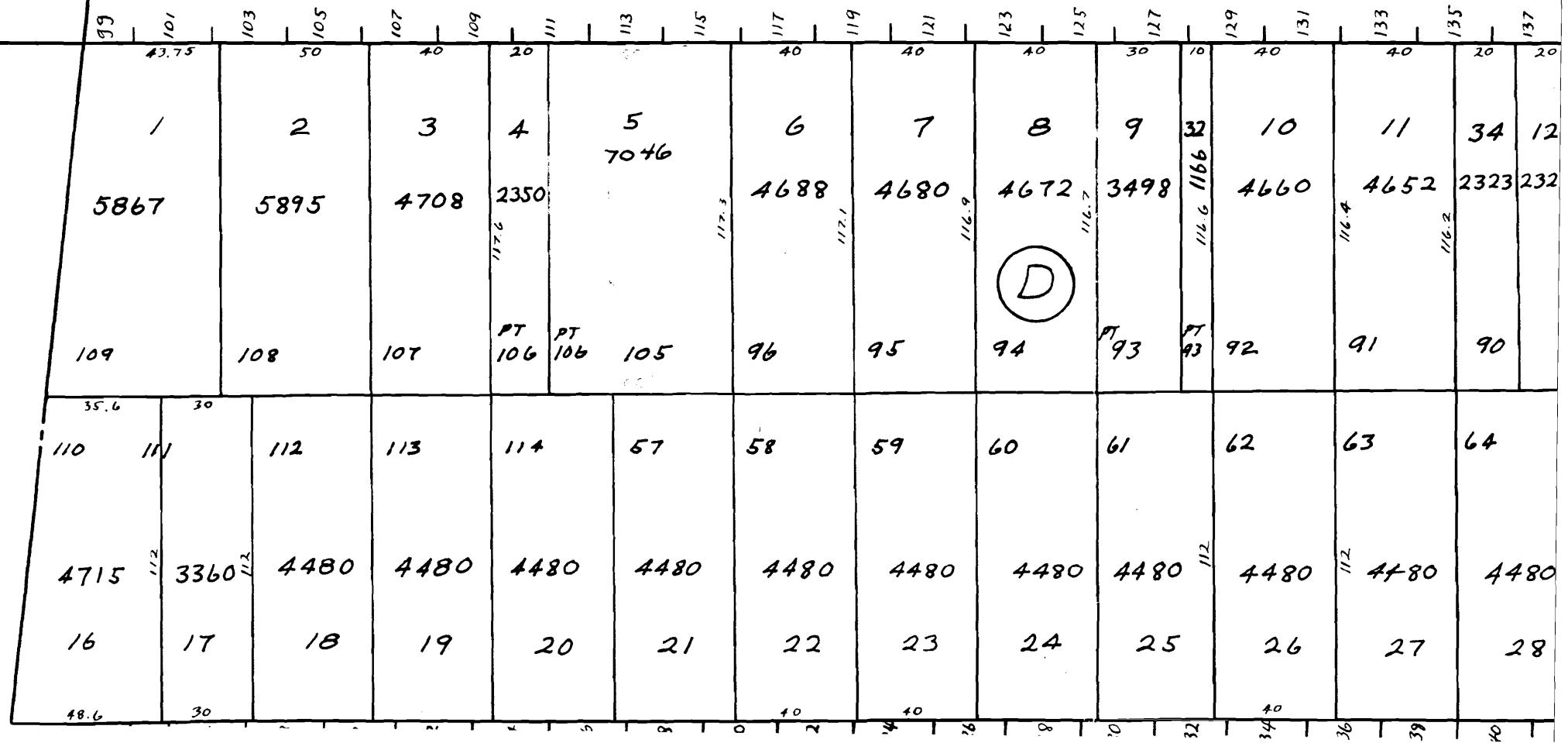


Sheet

187-B



EDWARDS

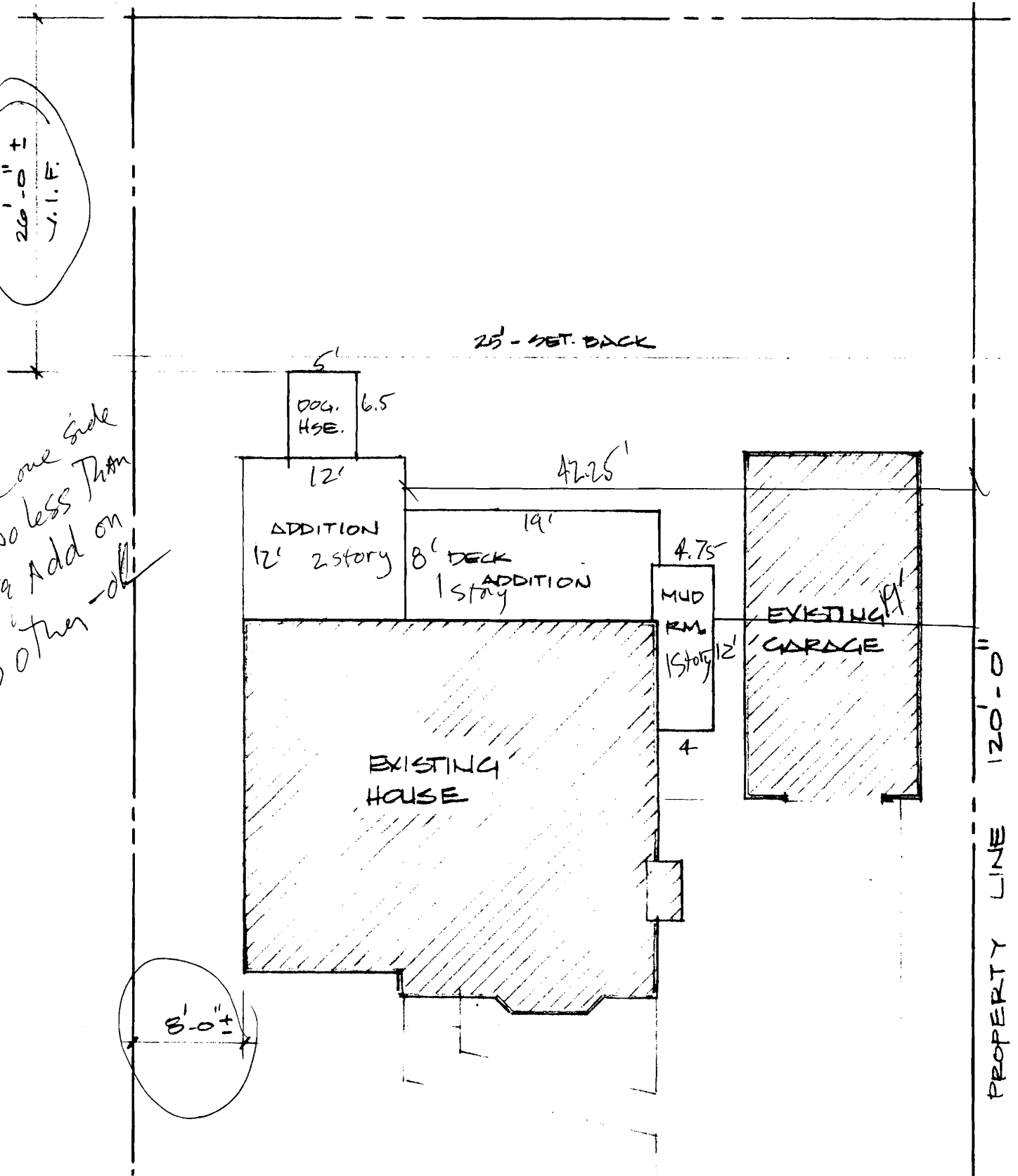


14
8
—
6

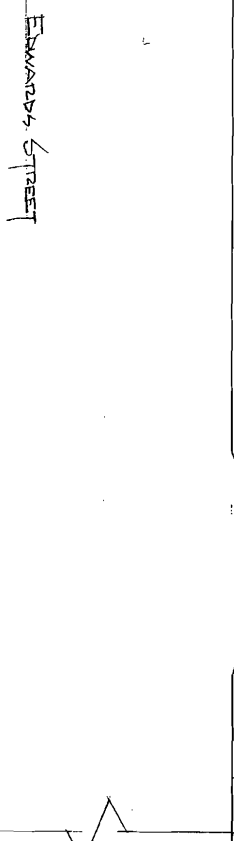
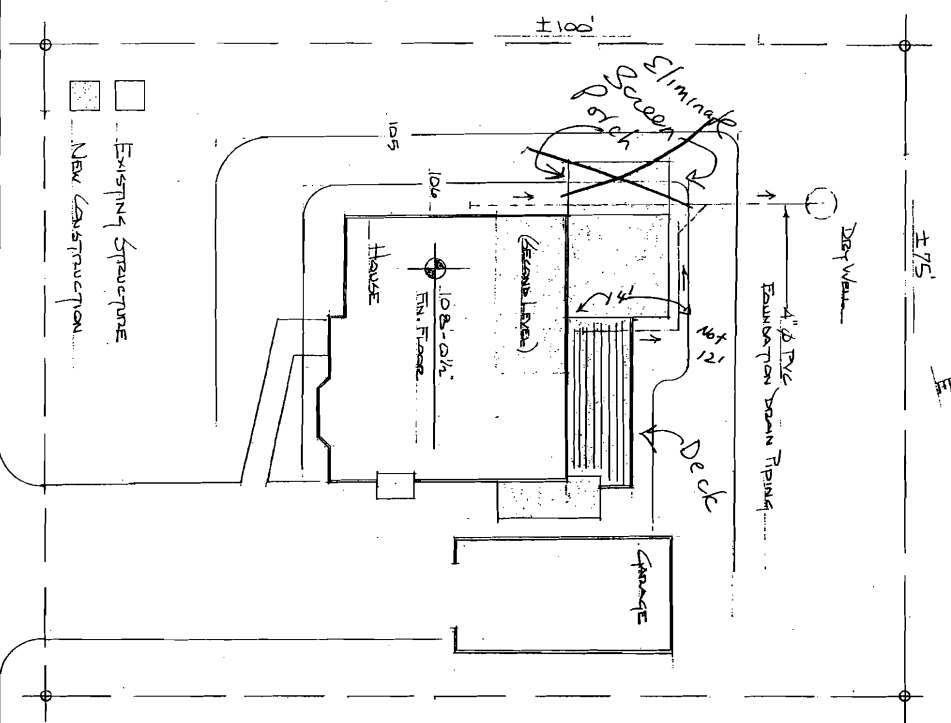
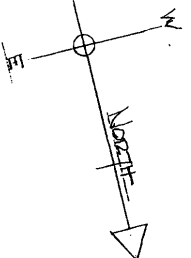
26'-0" ±
y.l.f.

Reduce one side
to no less than
8' & Add on
to other side

8'-0" ±



11

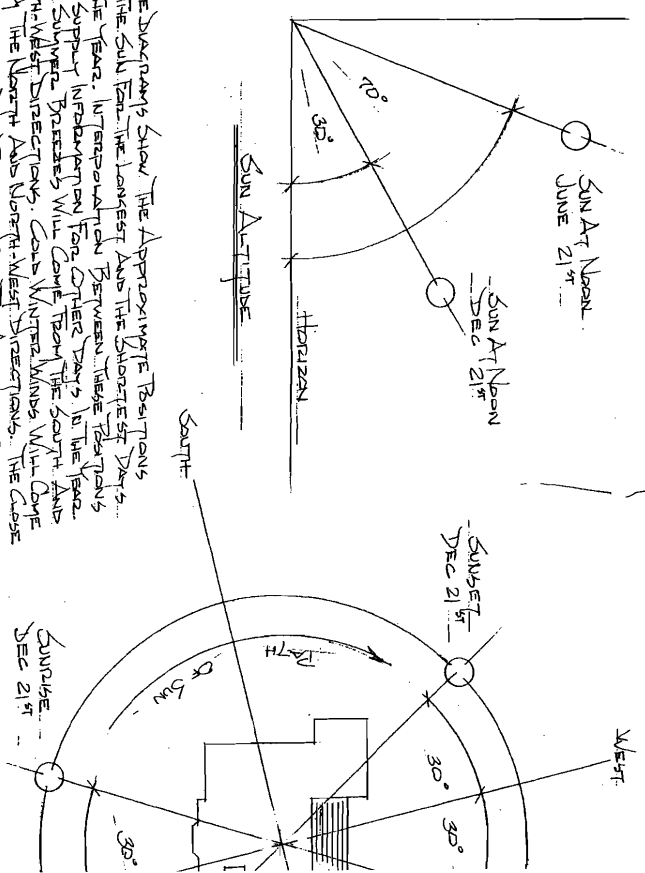


SITE PLAN
1/8" SCALE

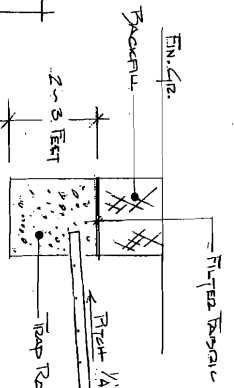
NOTES
THIS PLAN SHOWS THE APPROXIMATE FOOTPRINT OF THE EXISTING STRUCTURE. NO SURVEY DATA IS AVAILABLE TO SUPPORT EXACT LAYOUTS.

LOT SIZE	7500 SQ FT	100 %
EXISTING STRUCTURAL FOOTPRINT	515 SQ FT	12 %
NEW CONSTRUCTION FOOTPRINT	385 SQ FT	4.5 %

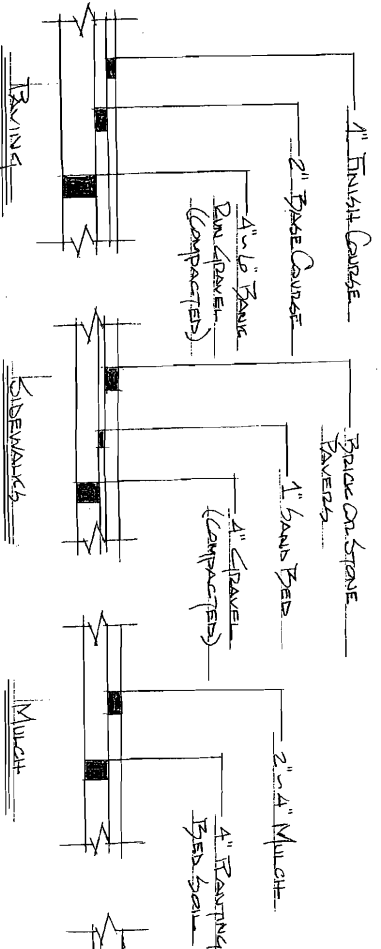
GENERAL SUN AND WIND DATA - PORTLAND



THESE DIAGRAMS SHOW THE APPROXIMATE POSITIONS OF THE SUN FOR THE LONGEST AND THE SHORTEST DAYS OF THE YEAR. IN GENERAL, THESE POSITIONS WILL SUPPORT INTERPRETATION FOR OTHER DAYS IN THE YEAR. GULF SURFERS PRESENTS WILL COME FROM THE SOUTH AND SOUTH-WEST DIRECTIONS. GULF WINDS WILL COME FROM THE NORTH AND NORTH-WEST DIRECTIONS. THE CLOSEST LOCATION OF THE TROPICS TO THE ATLANTIC OCEAN (5 MILES OR LESS) MAY ALSO AFFECT THESE WIND PATTERNS FROM THE TYPE, ESPECIALLY DURING PERIODS OF HURRICANE WEATHER EVENTS IN BOTH SUMMER AND WINTER.



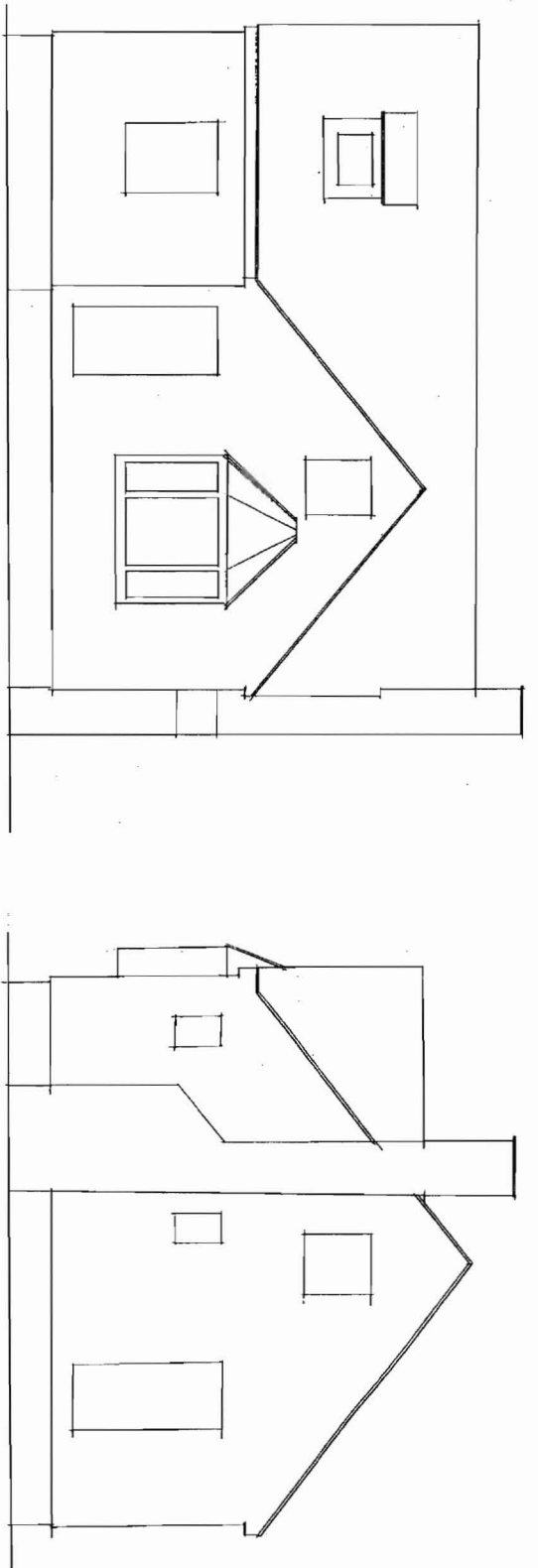
BRACKET
NO SCALE
EXTEND 4" OF FOUNDATION BRACKET RING TO EXCAVATED OPENING IN REAR YARD. FILL WITH STONE TO & ABOVE TRAP. INSTALL FILTER FABRIC AND BRACKET AND COMPACT WITH ON-SITE MATERIAL.



CROSS-SECTIONS THRU PAVED SITE SURFACES

FOR CURRENT USE OR FUTURE REFERENCE

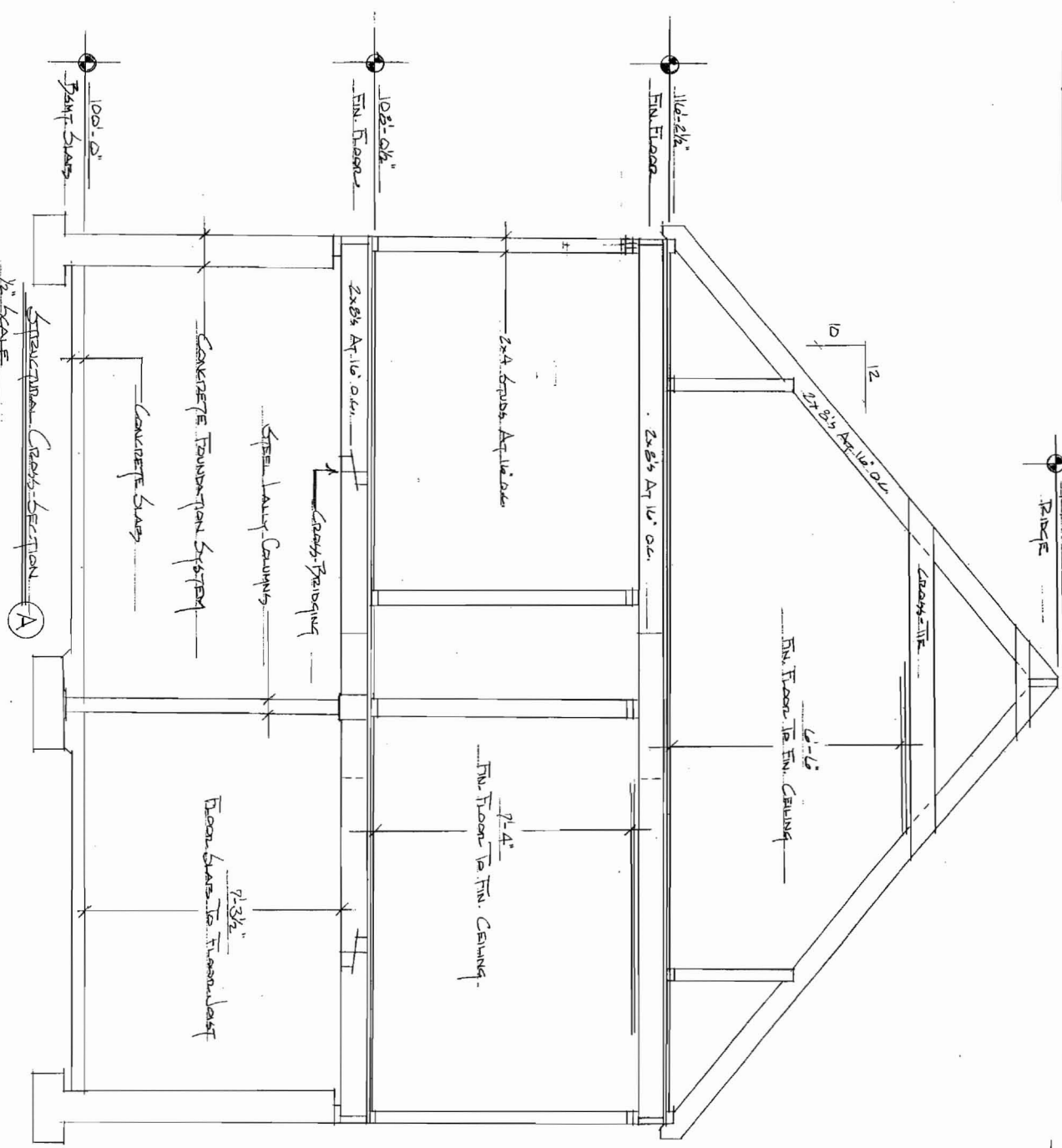
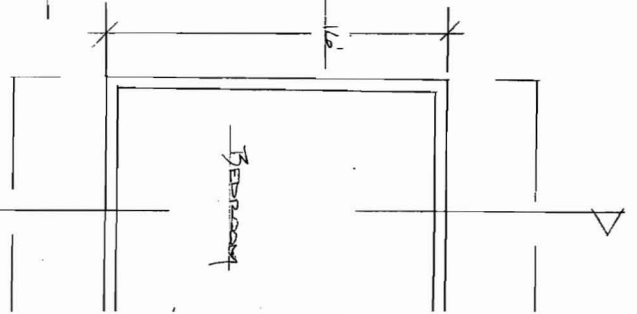
NO SCALE



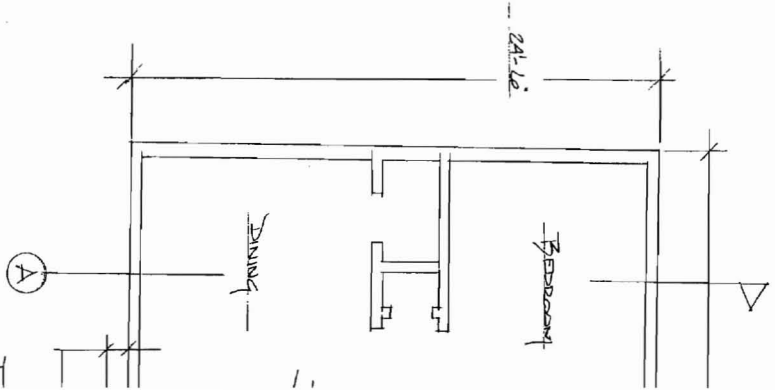
EXISTING FRONT ELEVATION
1/4\"/>

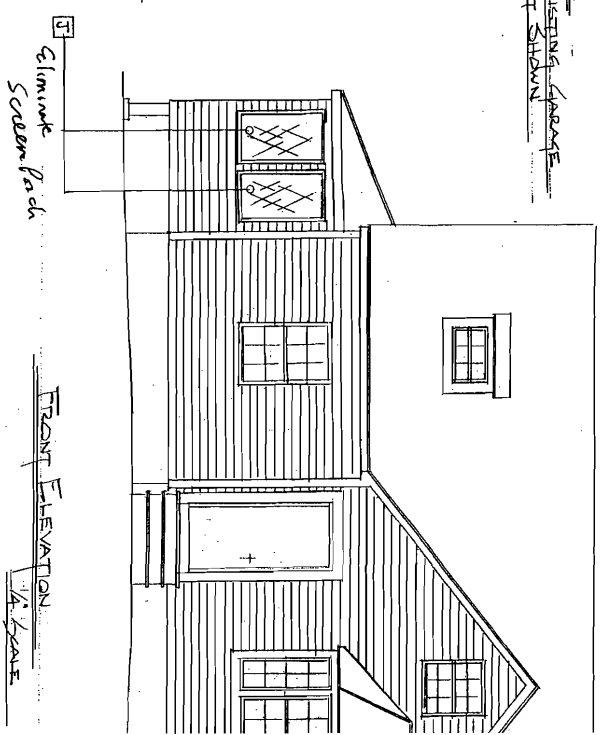
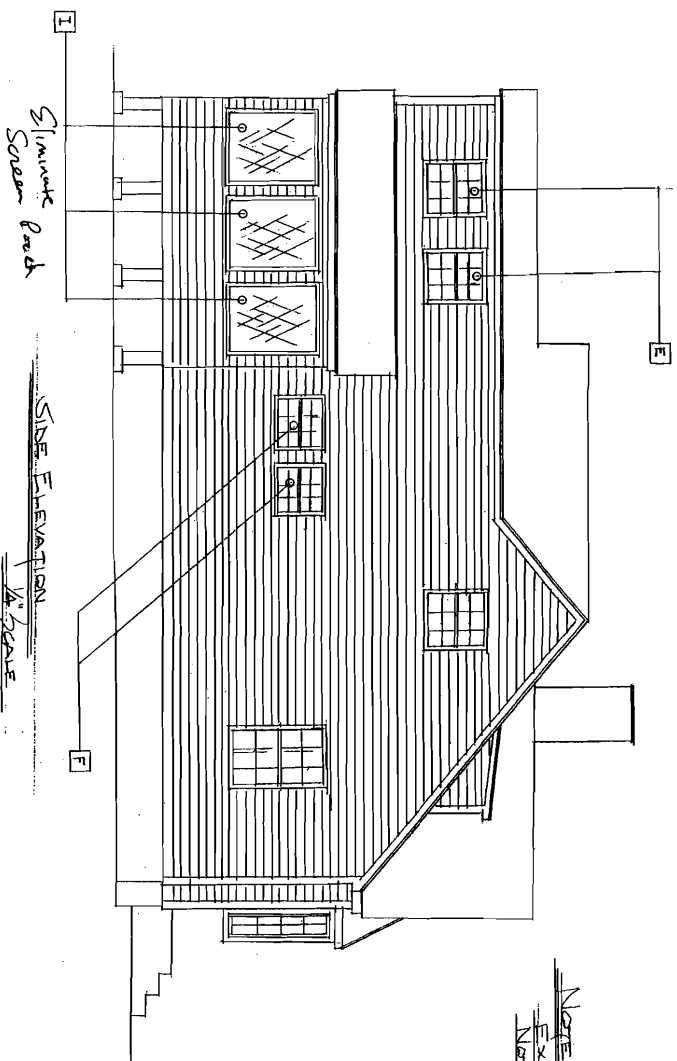
EXISTING SIDE ELEVATION
1/4\"/>

127'-0\"/>

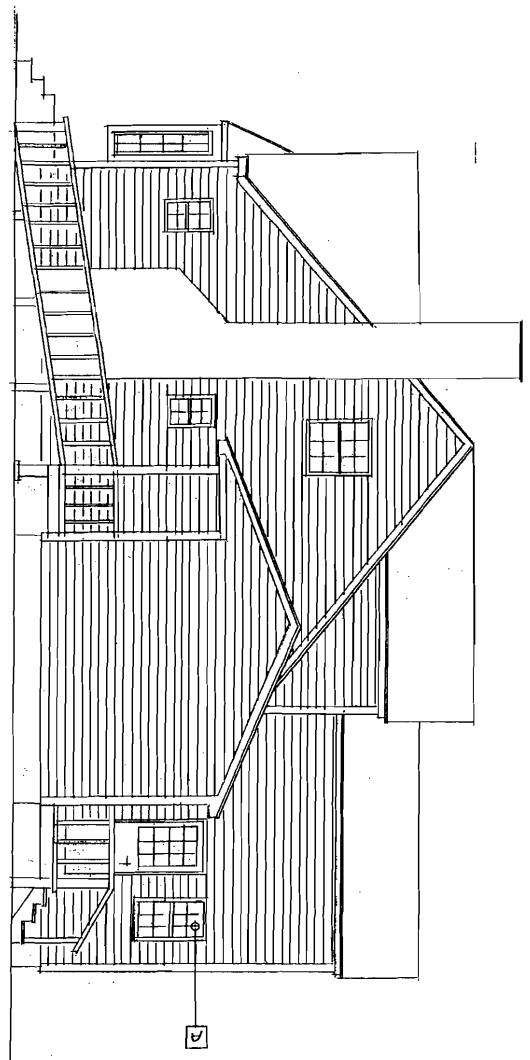


STRUCTURAL Cross-SECTION A-A
1/2\"/>

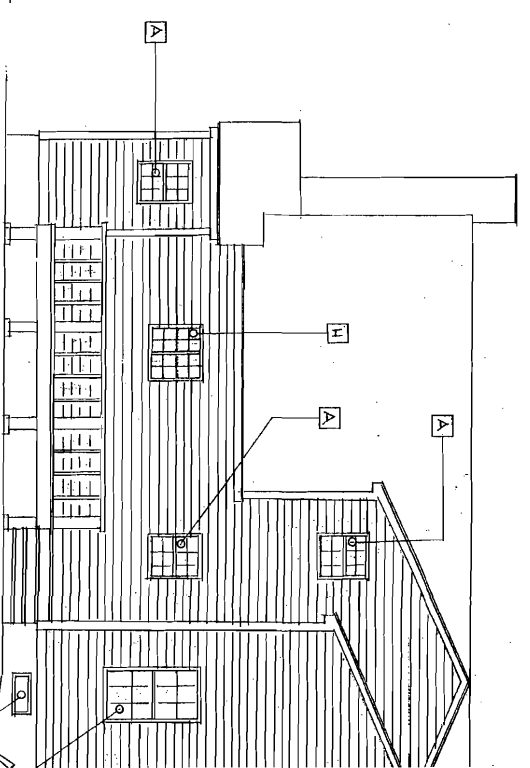




NOTE
~~EXISTING GARAGE~~
NOT SHOWN



SIDE ELEVATION
1/4" SCALE



REAR ELEVATION
1/4" SCALE

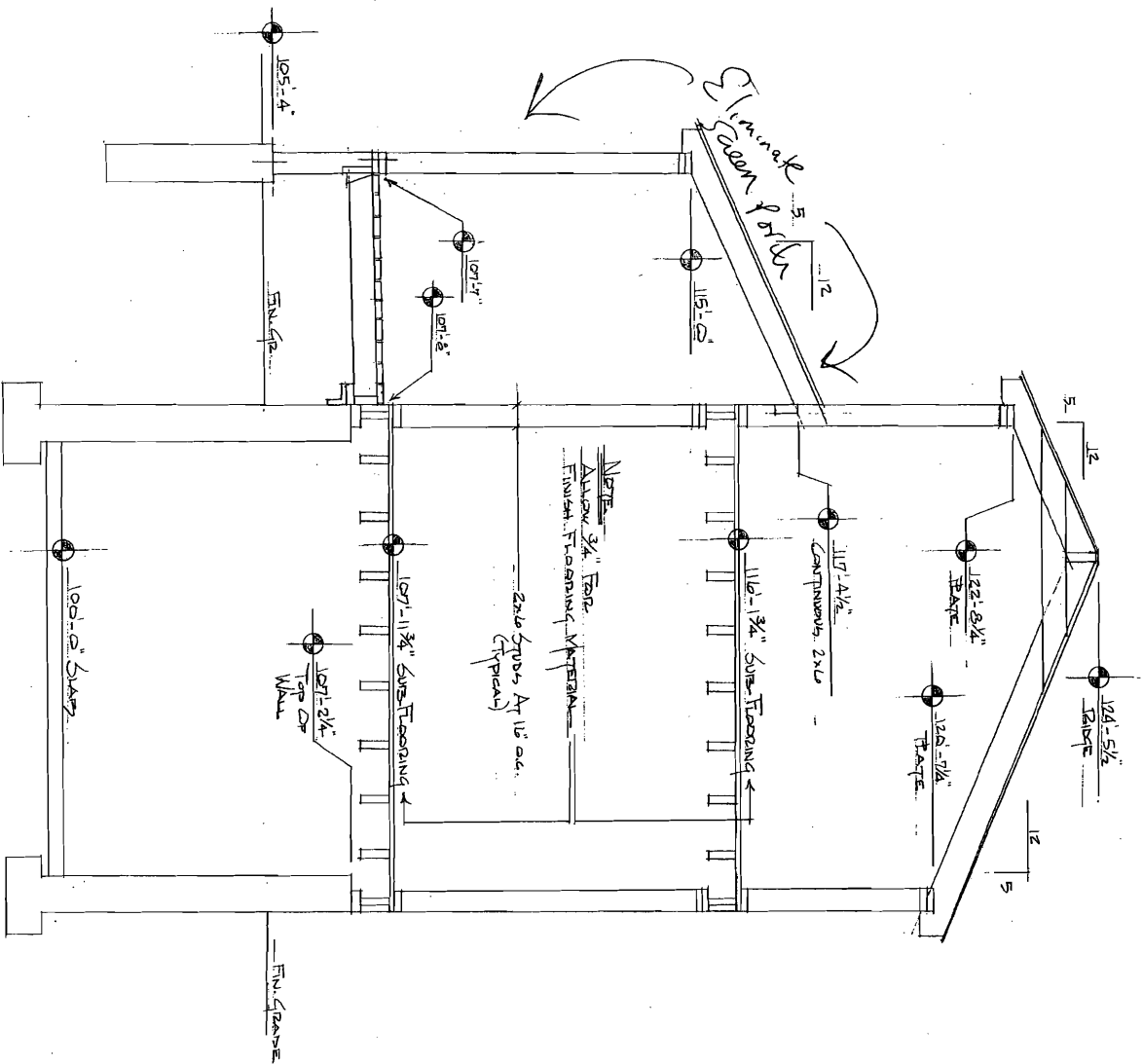
SUGGESTED WINDOW UNITS - ANDERSEN WINDOWS - LARGER DOORS & WINDOWS, BRICKS, WHITE

	WIDE	HEIGHT	UNIT
A	2'-1 7/8"	x 5'-0 1/2"	11'-1" MAH. DOUBLE HUNG UNITS
B	2'-5 5/8"	x 4'-4 7/8"	do
C	2'-5 3/8"	x 4'-4 7/8"	do
D	2'-1 7/8"	x 3'-4 7/8"	do
E	2'-5 5/8"	x 3'-0 7/8"	do
F	2'-5 5/8"	x 2'-3 1/4"	TRANSOM UNIT
G	2'-8 1/8"	x 1'-3 3/8"	TRANSOM UNIT
H	2'-8 1/8"	x 1'-3 3/8"	CASEMENT UNIT
I	2'-9 3/4"	x 2'-11 1/16"	CASEMENT UNIT
J			WIDE STOCK

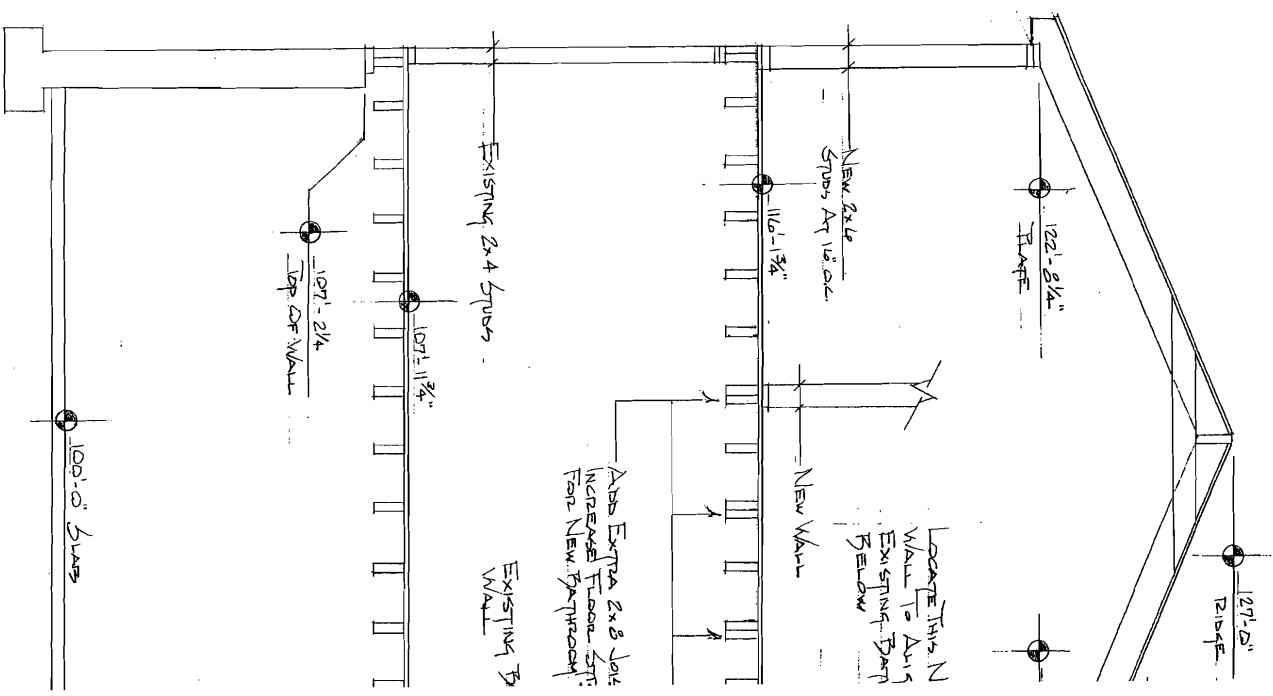
CLIMATE PACK SCREEN PACK
do

CLIMATE PACK SCREEN PACK
do

NOTE: ANDERSEN IS NOT THE ONLY COMPANY THAT MAKES WINDOWS. OTHERS ARE AVAILABLE AND SIZES DIFFER AS WELL. THE OWNER AND CONTRACTOR SHALL REVIEW THIS LISTING AND MAKE CHANGES AND ADJUSTMENTS AS THEY SEE FIT.

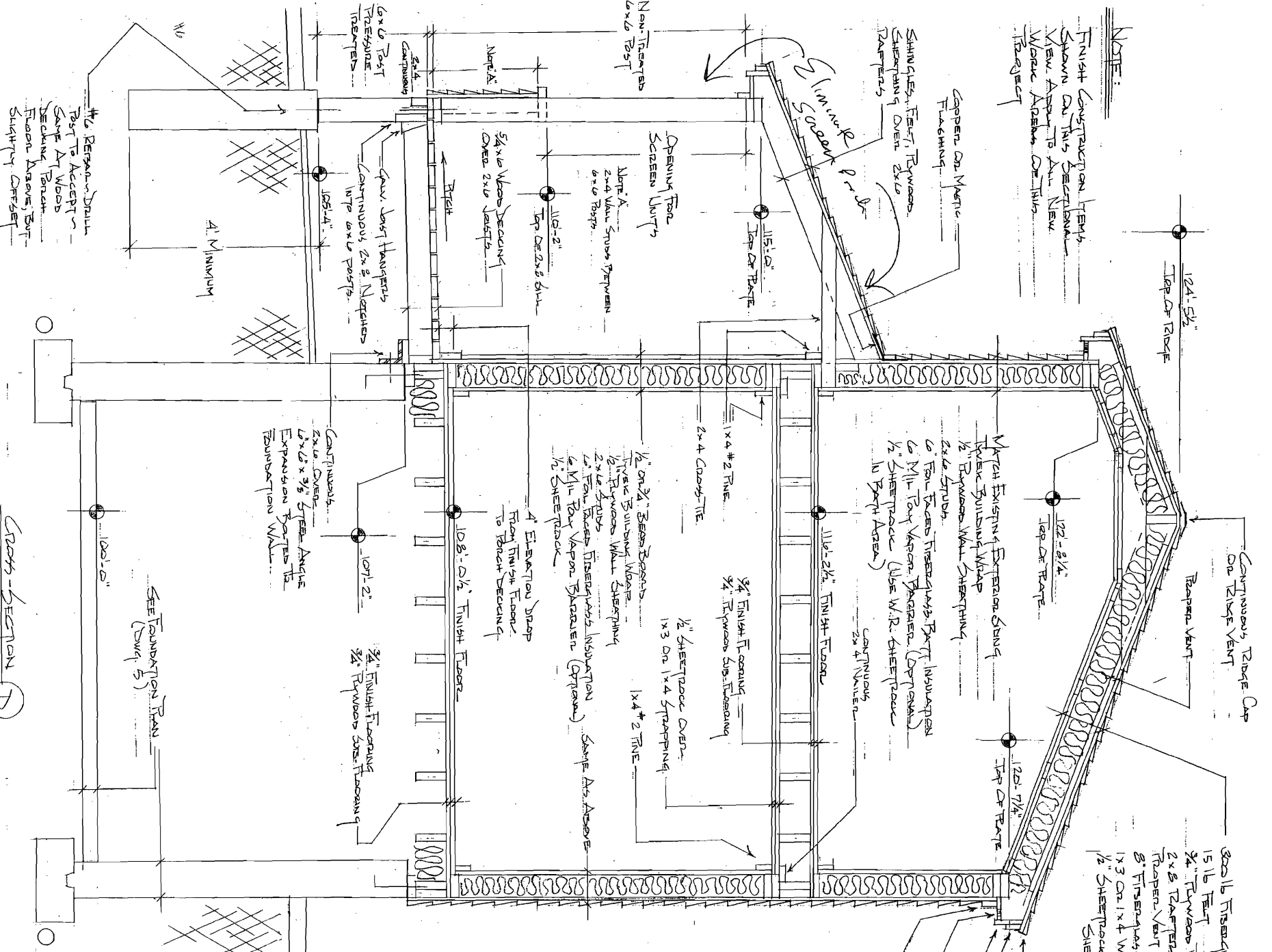


STRUCTURAL CROSS-SECTION B
1/2" SCALE



NOTE
CONDICTIONS OF THE EXISTING STRUCTURE MAY REQUIRE SOME ADJUSTMENT TO THE VALUES SHOWN ON THIS DRAWING. EXAMINE CAREFULLY PRIOR TO THE START OF NEW CONSTRUCTION.

STRUCTURAL CROSS-SECTION B
1/2" SCALE



NOTE:
 FINISH CONSTRUCTION ITEMS
 SHOWN ON THIS SECTIONAL
 VIEW APPLY TO ALL NEW
 WORK AREAS OF THIS
 PROJECT

CONTINUOUS RAPE CAP
 ON RAPE VENT
 RAPE VENT
 300 lb Fiberglass Asphalt Shingles
 15 lb FELT
 3/4" RAPE VENT
 2x8 RAPE VENT
 RAPE VENT
 8" Fiberglass Batt Insulation
 1x3 OR 1x4 WOOD STRAPPING
 1/2" SHEETROCK (USE WATER RESISTANT SHEETROCK IN RAPE AREA)

WATER EXISTING EXTERIOR SING
 1/2" RAPE VENT SHEETING
 2x4 STUDS
 6" FOL FIBERGLASS BATT INSULATION
 6" MIL TIGHT VAPOR BARRIER (OPTIONAL)
 1/2" SHEETROCK (USE W.R. SHEETROCK IN RAPE AREA)
 CONTINUOUS 2x4 WALKER

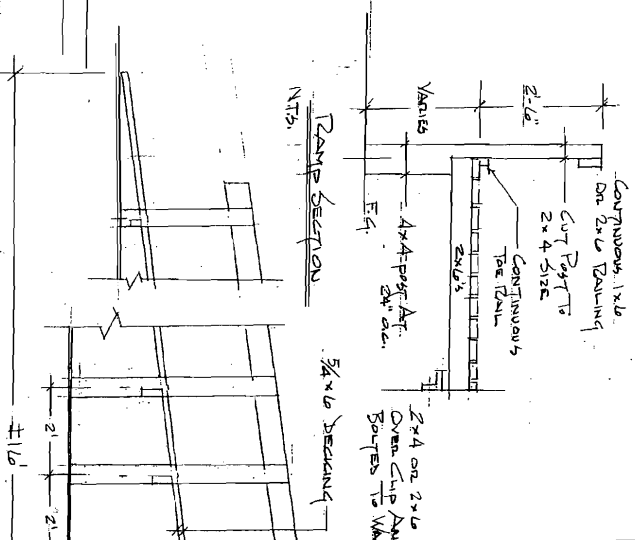
112'-2 1/4" FINISH FLOOR
 1/2" SHEETROCK OVER 1x3 OR 1x4 STRAPPING
 1x4 #2 TRIM
 3/4" FINISH FLOORING
 3/4" FINISH FLOORING
 1/2" SHEETROCK OVER 1x3 OR 1x4 STRAPPING
 1x4 #2 TRIM

1/2" ON 3/4" BEAMS
 1/2" FIBERGLASS BATT INSULATION
 1/2" RAPE VENT SHEETING
 2x4 STUDS
 6" FOL FIBERGLASS BATT INSULATION
 6" MIL TIGHT VAPOR BARRIER (OPTIONAL)
 1/2" SHEETROCK
 SAME AS ABOVE

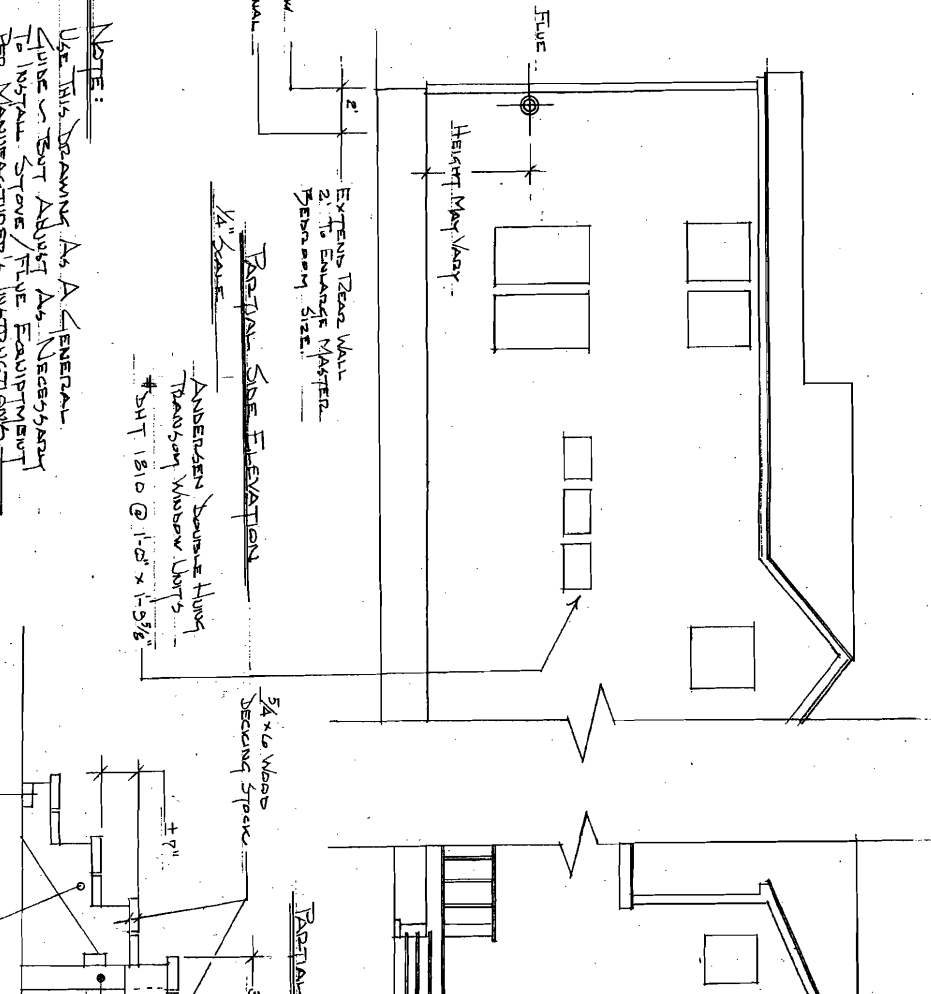
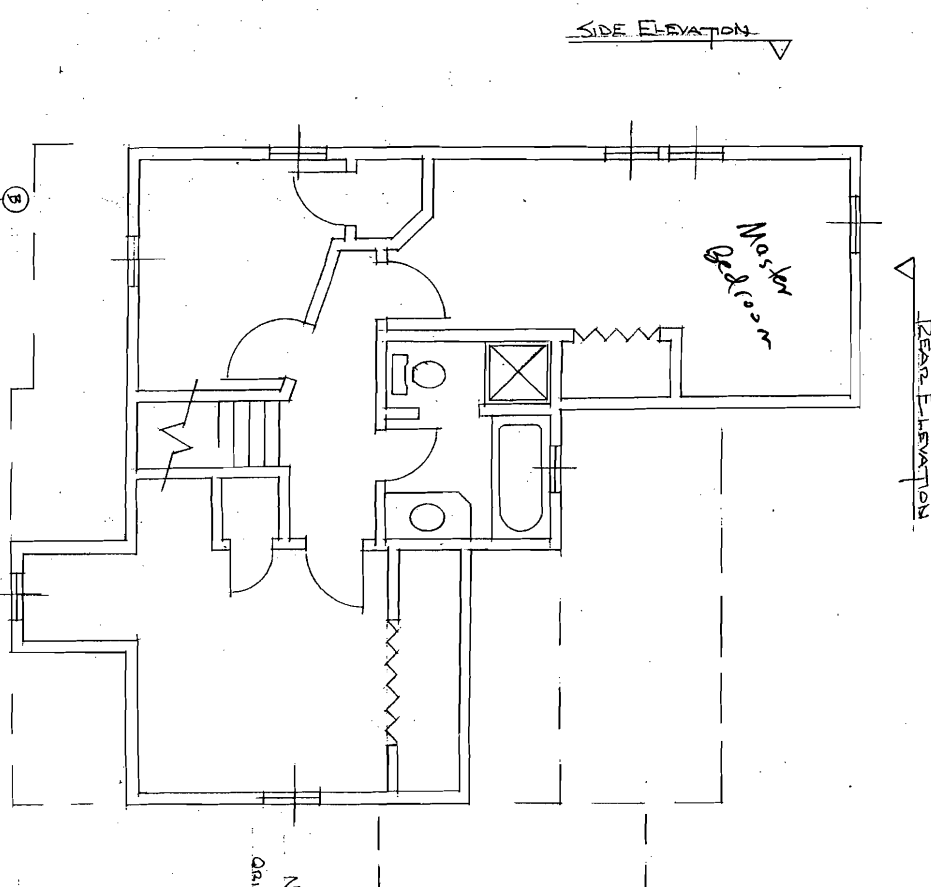
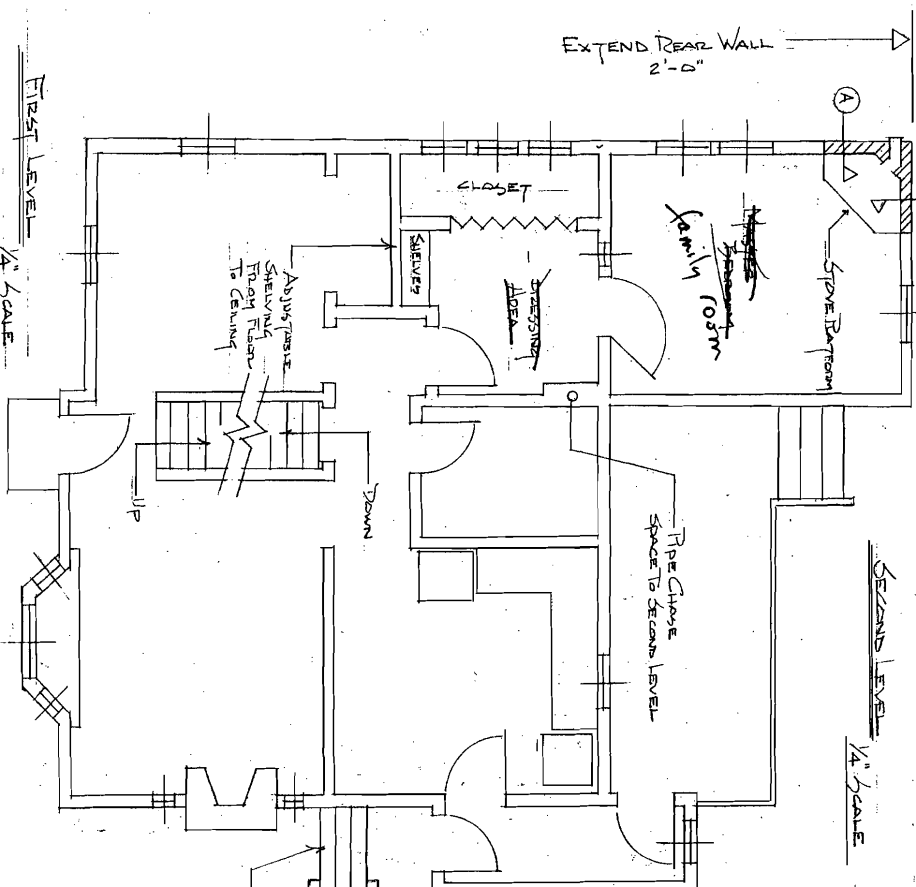
4" ELEVATION DROP FROM FINISH FLOOR TO RAPE BEADING
 108'-0 1/2" FINISH FLOOR
 CONTINUOUS 2x4 OVER 1x3 OR 1x4 WOOD STRAPPING
 107'-2"
 3/4" FINISH FLOORING
 3/4" FINISH FLOORING
 3/4" FINISH FLOORING
 3/4" FINISH FLOORING

SEE FOUNDATION PLAN (DWG 5)
 102'-0"
 4" MINIMUM
 105'-4"
 CONTINUOUS 2x4 OVER 1x3 OR 1x4 WOOD STRAPPING
 105'-4"
 4" MINIMUM

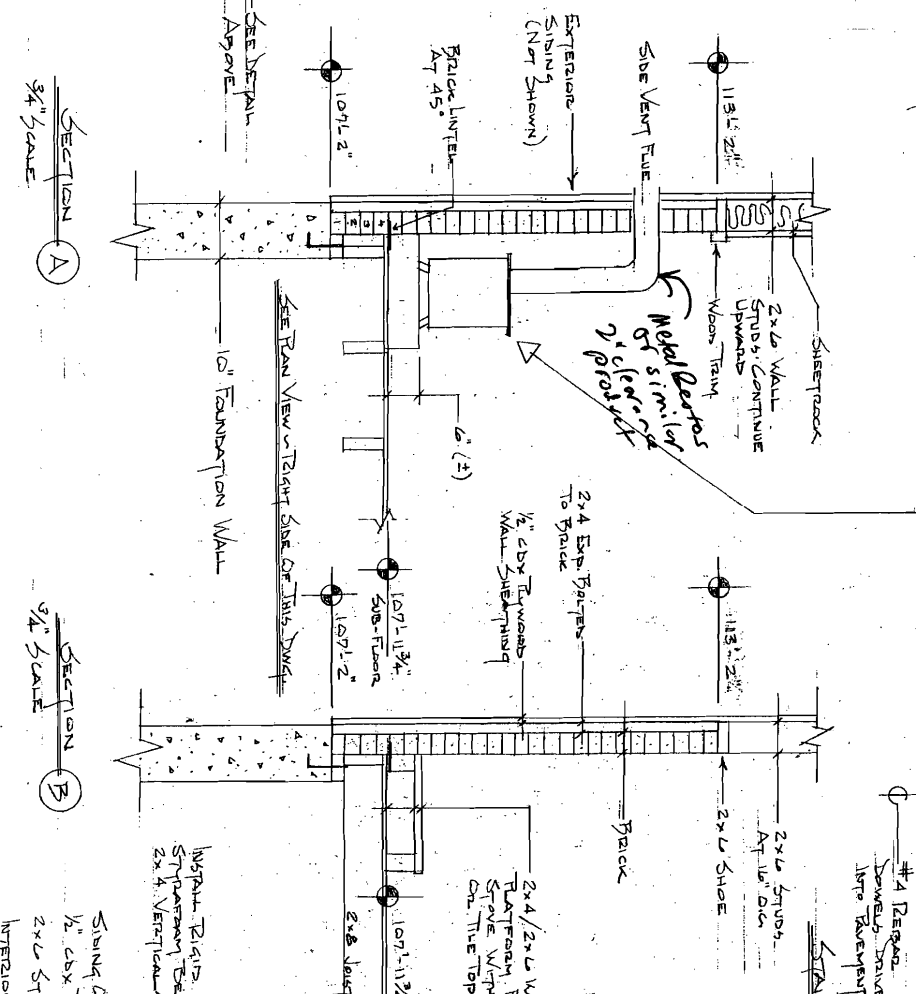
CROSS-SECTION D
 INTERIOR & EXTERIOR FINISH DETAILS



RAMP:
 1 To 2 MAXIMUM SLOPE
 2'-0" To 2'-10" RAMPING HEIGHT
 42° RAMP WIDTH



NOTE:
USE THIS DRAWING AS A GENERAL GUIDE TO TEST ADJUST AS NECESSARY TO INSTALL STOVE/FIRE EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS



DRAW
SINK IN 1/2" cbr R 2x4 Studs Interiors

