

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

Please Read
Application And
Notes, If Any,
Attached

Permit Number: 081131

PERMIT ISSUED

OCT 7 2008

CBL 20 B008001

This is to certify that GRAY JAMES R & ROBYN K GRAY JTS/James Grayhas permission to Addition 18'x22' Detached GarageAT 143 CRAIGIE ST

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is leased or otherwise closed-in. 4 HOUR NOTIFICATION REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas H. McAuley 10/7/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

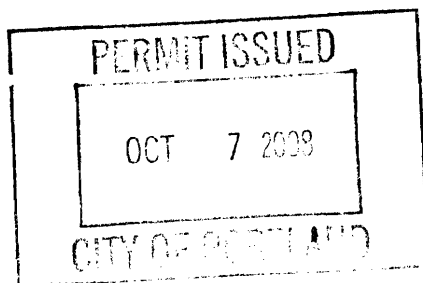
Permit No: 08-1131	Issue Date:	CBL: 120 B008001
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Location of Construction: 143 CRAIGIE ST	Owner Name: GRAY JAMES R & CAROLYN K	Owner Address: 143 CRAIGIE ST	Phone: 207-415-7881
Business Name:	Contractor Name: James Gray	Contractor Address: 143 Graigie Street Portland	Phone: 2074157881
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - Addition 18'x22' Detached Garage.	Permit Fee: \$140.00	Cost of Work: \$12,000.00	CEO District: 3
Proposed Project Description: Addition 18'x22' Detached Garage.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003 Signature: Jm 10/7/08	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: lmd	Date Applied For: 09/08/2008	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>ok with conditions</i> <i>S 9/30/08</i>	Date: _____	Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call ~~874-8703~~ or ~~874-8693~~ (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**
- Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

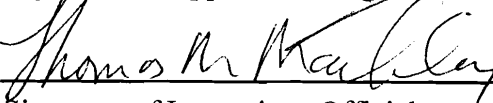
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



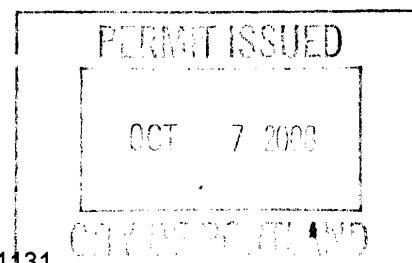
Signature of Applicant/Designee

10/7/08
Date



Signature of Inspections Official

10/7/08
Date



City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1131	Date Applied For: 09/08/2008	CBL: 120 B008001
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Location of Construction: 143 CRAIGIE ST	Owner Name: GRAY JAMES R & CAROLYN K	Owner Address: 143 CRAIGIE ST	Phone: 207-415-7881
Business Name:	Contractor Name: James Gray	Contractor Address: 143 Graigie Street Portland	Phone: (207) 415-7881
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Addition 18'x22' Detached Garage.	Proposed Project Description: Addition 18'x22' Detached Garage.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 09/30/2008

Note: **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of revised plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that the use above the garage shall be for accessory storage to the primary single family dwelling. The storage may not be used for secondary businesses.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 10/07/2008

Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Comments:

9/9/2008-mes: this 18'x22' detached garage is showing a basement and a 2nd floor for which no plans showing floor layout and uses have been submitted - also the height of this detached accessory structure is about 19.5' which is more than the maximum height of 18' (14-90(g)). Jim Gray per a phone conversation stated that he wants the basement and 2nd floor for storage (no heat) of heaters and equipment for other contractors. I explained that he can not use the garage for storage for a business use. See letter

9/11/2008-mes: Late yesterday Gayle received a new floor plan from the applicant- the revised floor plans show that 25 parking spaces are now required. No appeal papers received yet. Permit still on hold.

9/11/2008-mes: Yesterday I received some revised plans from James Gray - it does show floor plans - no cover letter is attached explaining the storage - no revised plot plan submitted. The revised elevations show a building height of about 17.25' now meeting the maximum accessory building height of 18'.

9/12/2008-lmd: Gentleman dropped off revised plot plan. I forwarded it to Marge.

9/15/2008-mes: I received the revised plot plan that shows a 18' x 22' garage - so the building plans and the plot plan are now consistent. I still have not received anything in writing concerning the storage of items which the owner related to be for heating equipment that he sold to contractors when they needed them.

9/30/2008-mes: Now I can't get the "Denie" status out of the system - I want to change it to "Pending".

Location of Construction: 143 CRAIGIE ST	Owner Name: GRAY JAMES R & CAROLYN K	Owner Address: 143 CRAIGIE ST	Phone: 207-415-7881
Business Name:	Contractor Name: James Gray	Contractor Address: 143 Graigie Street Portland	Phone (207) 415-7881
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

9/30/2008-mes: Mr Gray stopped in and I spoke with him at the counter. I told him that I was waiting for something in writing from him concerning the use of the area above and below the garage. He said that he would get that for me. He is also thinking of changing his plans to get rid of the the basement level and just put this on a slab. He will bring in revised plans for that for the code review folks. On 9/30/08 a new set of plans and a cover letter from the owner describing the use was submitted



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>143 CRAIGIE ST</u>		
Total Square Footage of Proposed Structure/Area <u>792</u>	Square Footage of Lot <u>11,475</u>	Number of Stories <u>1 1/2</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>120 B-8</u>	Applicant "must be owner, Lessee or Buyer" Name <u>JAMES GRAN</u> Address <u>143 CRAIGIE ST</u> City, State & Zip <u>PORT. MAINE 04102</u>	Telephone: <u>415-7881</u>
Lessee/DBA (If Applicable) <u>SEP 8 2008</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>12,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAM</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>GARAGE</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: _____		
Contractor's name: <u>JAMES GRAN</u> Address: <u>143 CRAIGIE ST</u> <u>see letter dated 9-30-08</u> City, State & Zip <u>PORT. MAINE</u> Telephone: <u>415-7881</u> Who should we contact when the permit is ready: <u>APPLICANT</u> Telephone: <u>415-7881</u> Mailing address: <u>143 CRAIGIE ST</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 9-1-08

This is not a permit; you may not commence ANY work until the permit is issued.



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams *NA*
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable) *NA*
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003 *NA*
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions *NA*
- Reduced plans or electronic files in pdf format are required if originals are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records *Records room 23*

Separate permits are required for internal & external plumbing, HVAC, and electrical installations. *NA*

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed. *NA*

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost
This is not a Permit; you may not commence any work until the Permit is issued.



Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Penny St. Louis Littell- Director of Planning and Development
Marge Schmuckal, Zoning Administrator

September 9, 2008

Carolyn and James Gray
143 Craigie Street
Portland, ME 04102

RE: 143 Craigie Street – 120-B-008 – R-3 Zone – Application #08-1131

Dear Mr. & Mrs. Gray,

I am in receipt of your permit to erect a 18' x 22' detached garage on the property of the single family dwelling located at 143 Craigie Street. Your permit is denied based upon the submitted information and the requirements of the Land Use Zoning Ordinance.

First of all, the submitted information is not consistent. The submitted building elevation plans show a garage of 18' x 22' where the submitted site plan shows a garage 20' x 22'. Your site plan also shows an entry door to the left of the garage door. The elevation drawings do not delineate that entry door. All your submitted plans must be consistent for an accurate analysis and review with current regulations. You must submit revised plans reflecting exactly what you are requesting and what you expect to build. Those plans must be consistent.

All plans now
made to 18' x 22'
include site plan

removed from site plan

You must also submit floor plans of the basement and second floor explaining the uses of each area. As we discussed on the phone, accessory detached structures shall not be used as storage for business uses, whether for your principal business or a secondary business use.

nothing further
submitted
submitted
9/30/08

Finally, section 14-90(g) states that detached accessory structures shall be no higher than eighteen (18) feet. Your submitted plan, accounting for grade differences, scales to be at least twenty (20) feet in height.

submitted revised plans showing 18' height

For the reasons stated above, your permit has been denied and will be reviewed no further at this time. If you submit the requested information and plans within thirty days, your permit can be re-reviewed. If this office does not receive any of the information requested within six (6) months of this letter, your permit application will lapse and will be deemed denied.

If you have any questions regarding this matter, please do not hesitate to contact me at 874-8695.

Room 315 – 389 Congress Street – Portland, Maine 04101 (207) 874-8695 – FAX:(207) 874-8716 – TTY:(207) 874-3936

9/30/08 brought
in new plans
no longer going to have
a basement

Very truly yours,

A handwritten signature in black ink, appearing to read "Marge Schmuckal". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Marge Schmuckal
Zoning Administrator

Cc: File

9-30-08

Marge Schmuckal
Zoning Administrator
City of Portland, Maine

Dear Ms schmuckal

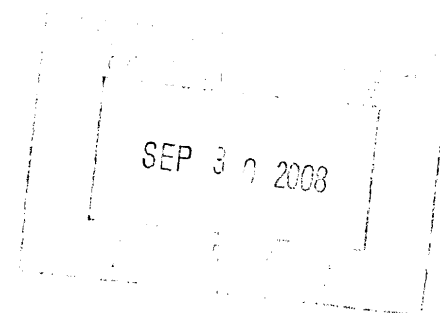
This letter is a follow up our conversation yesterday about our application for a permit to build a garage at 143 Craigie St.

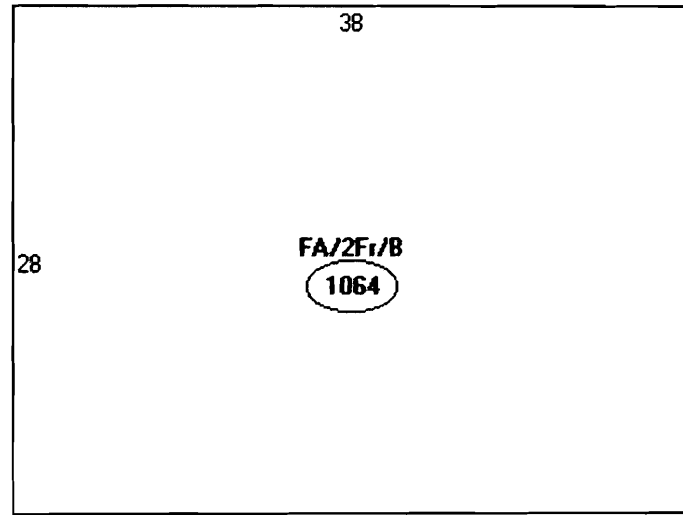
The sole purpose of the garage is for personal storage of such items as my antique corvette, lawn mowers, snow blowers, and other personal items and tools. No business use or connection is involved in any way.

Sincerely



James R. Gray
143 Craigie St. Portland





Descriptor/Area
A: FA/2F1/B
1064 sqft

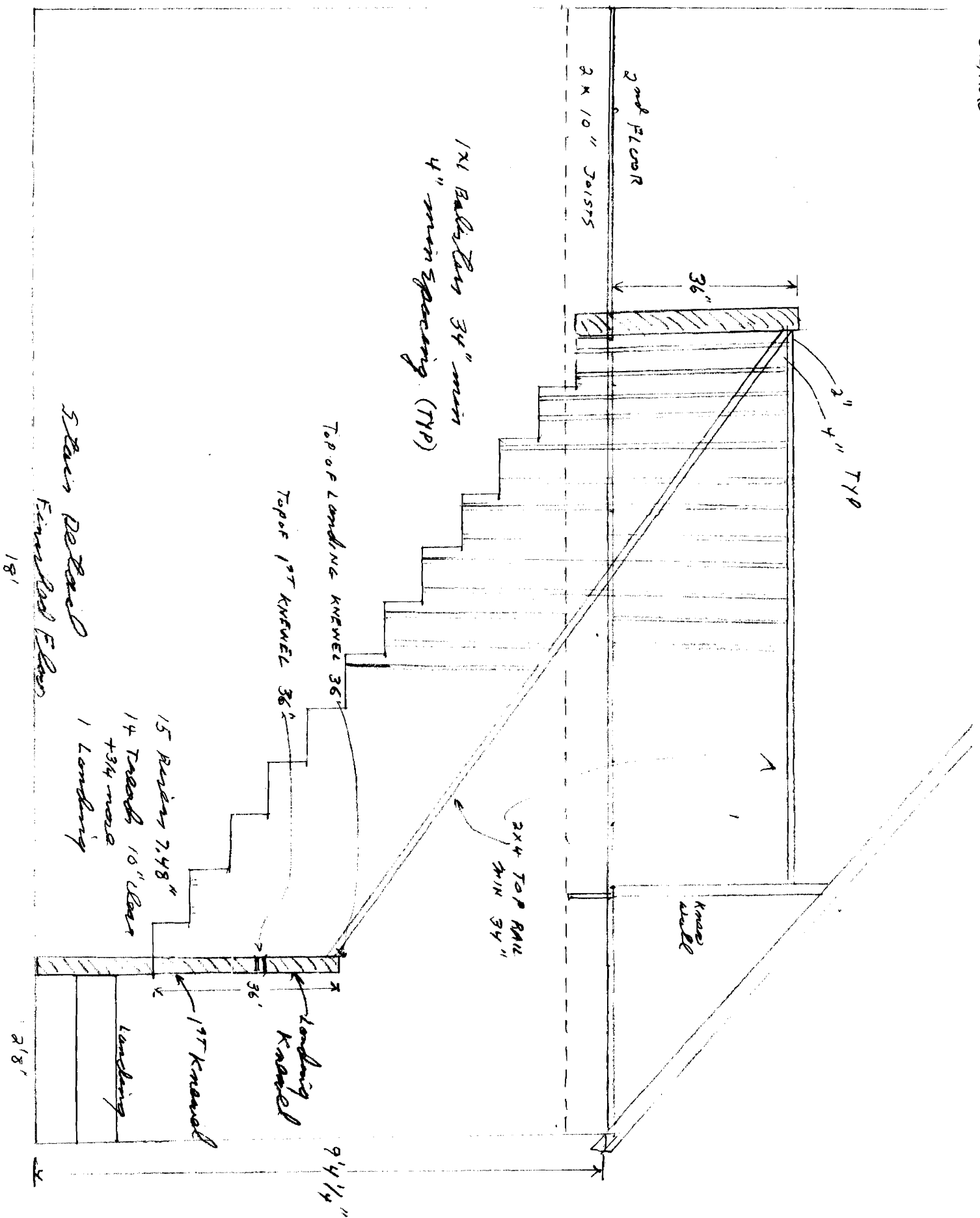
1064

440 ~~200~~ x 22'

1500 ~~sq~~

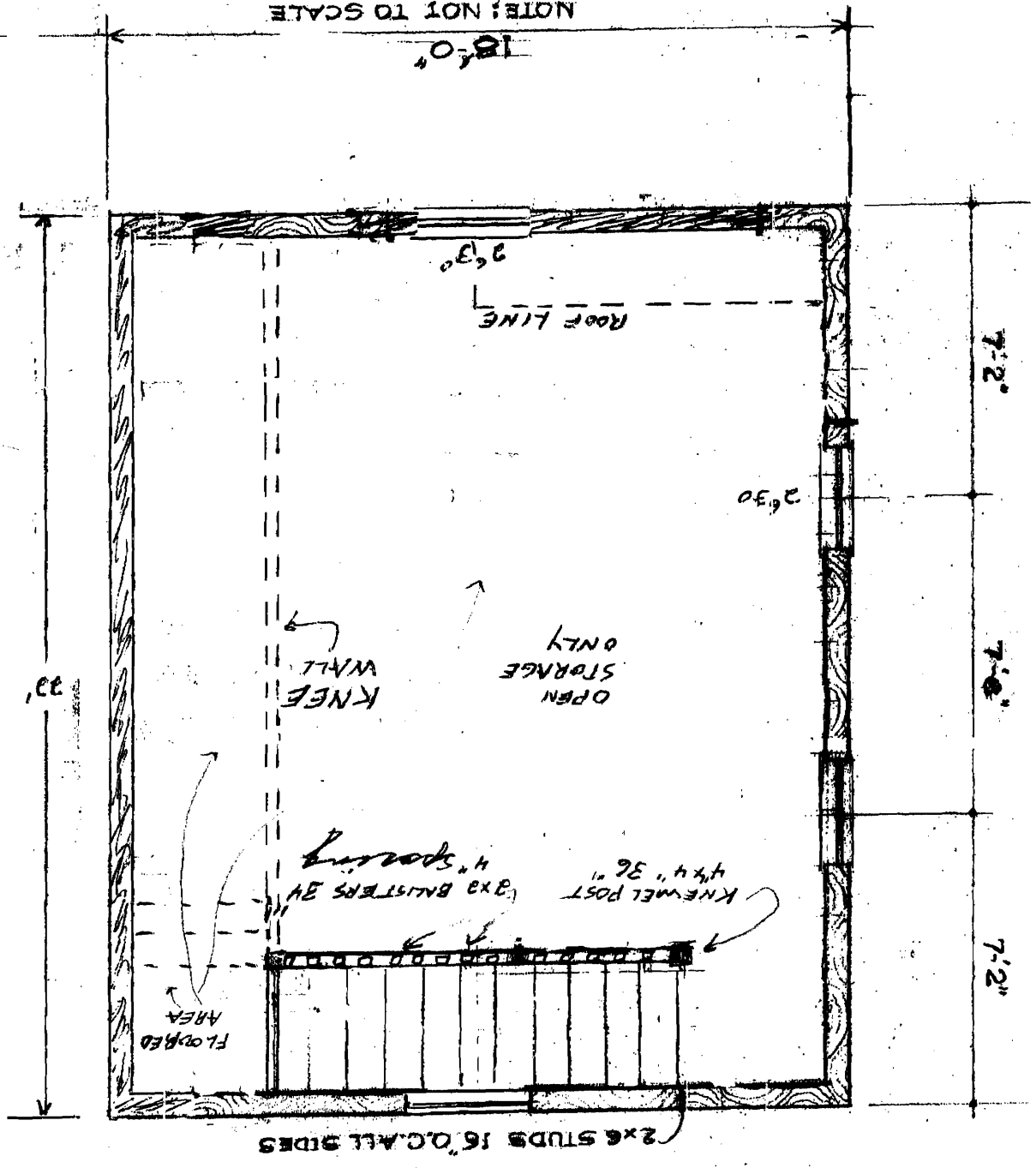
of

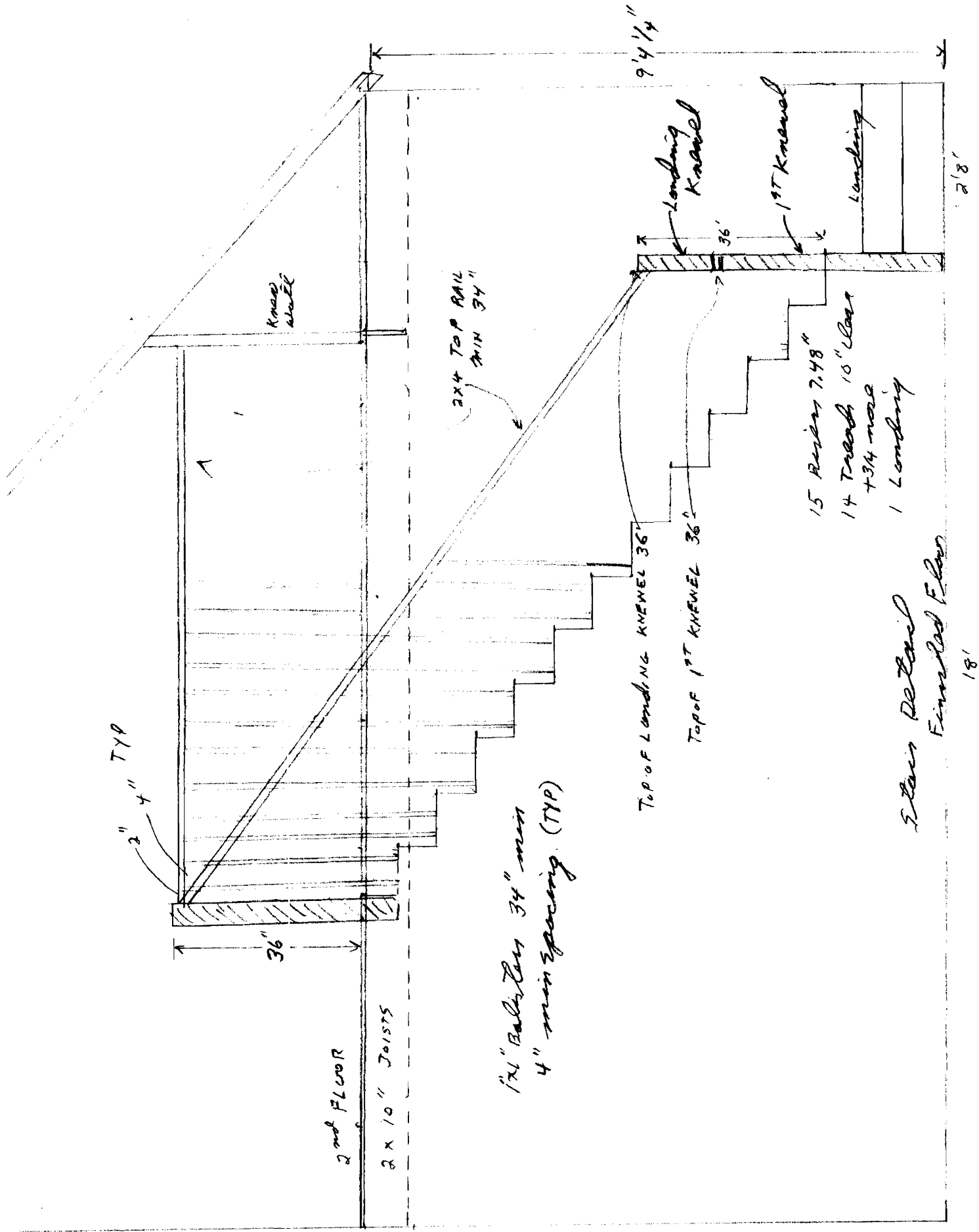
11,433 ~~sq~~ x 35' 4,000 ~~sq~~ 55' ~~sq~~

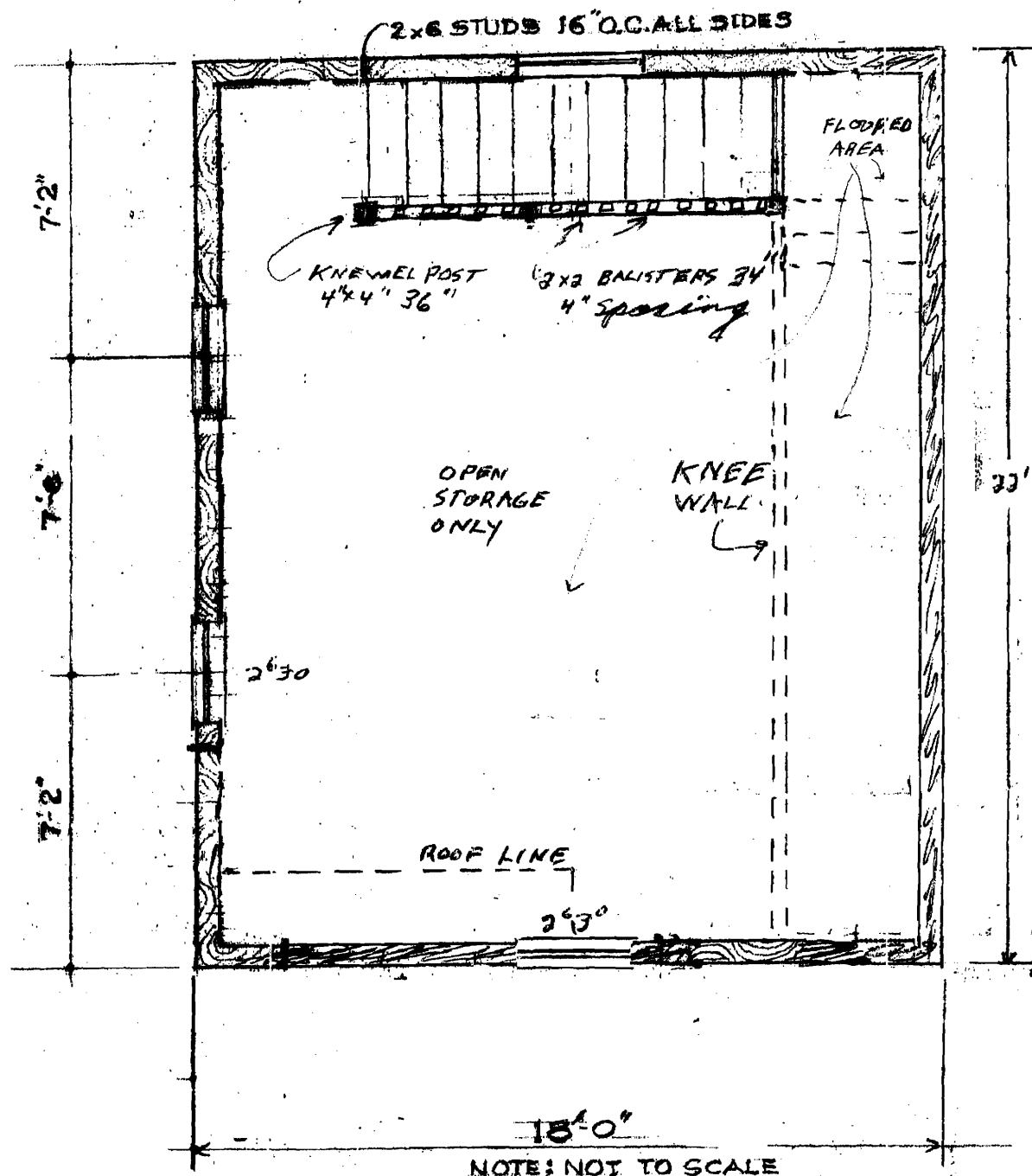


THIRD FLOOR PLAN
SCALE 1/4" = 1'-0"

NOTE: NOT TO SCALE

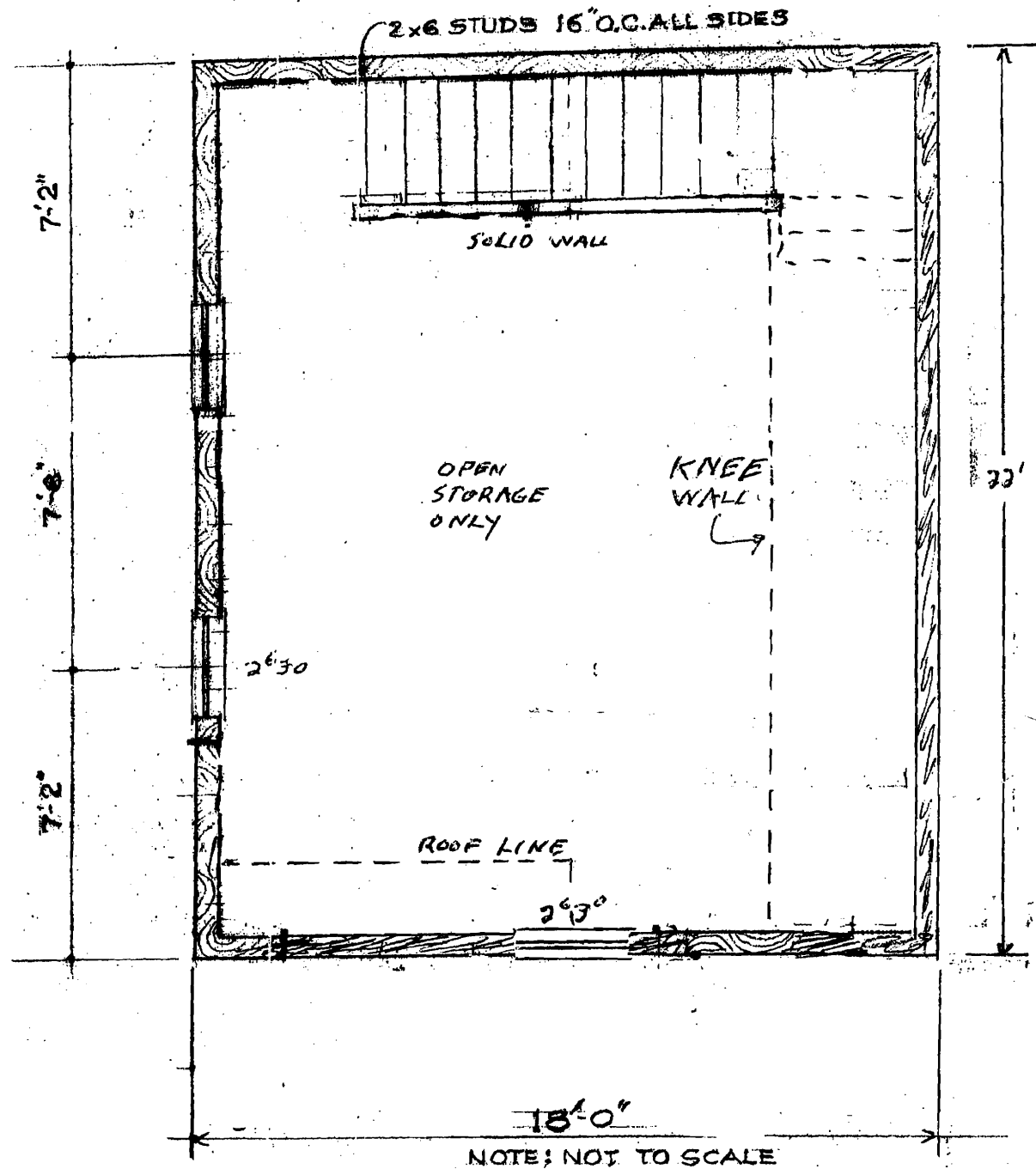






THIRD FLOOR PLAN

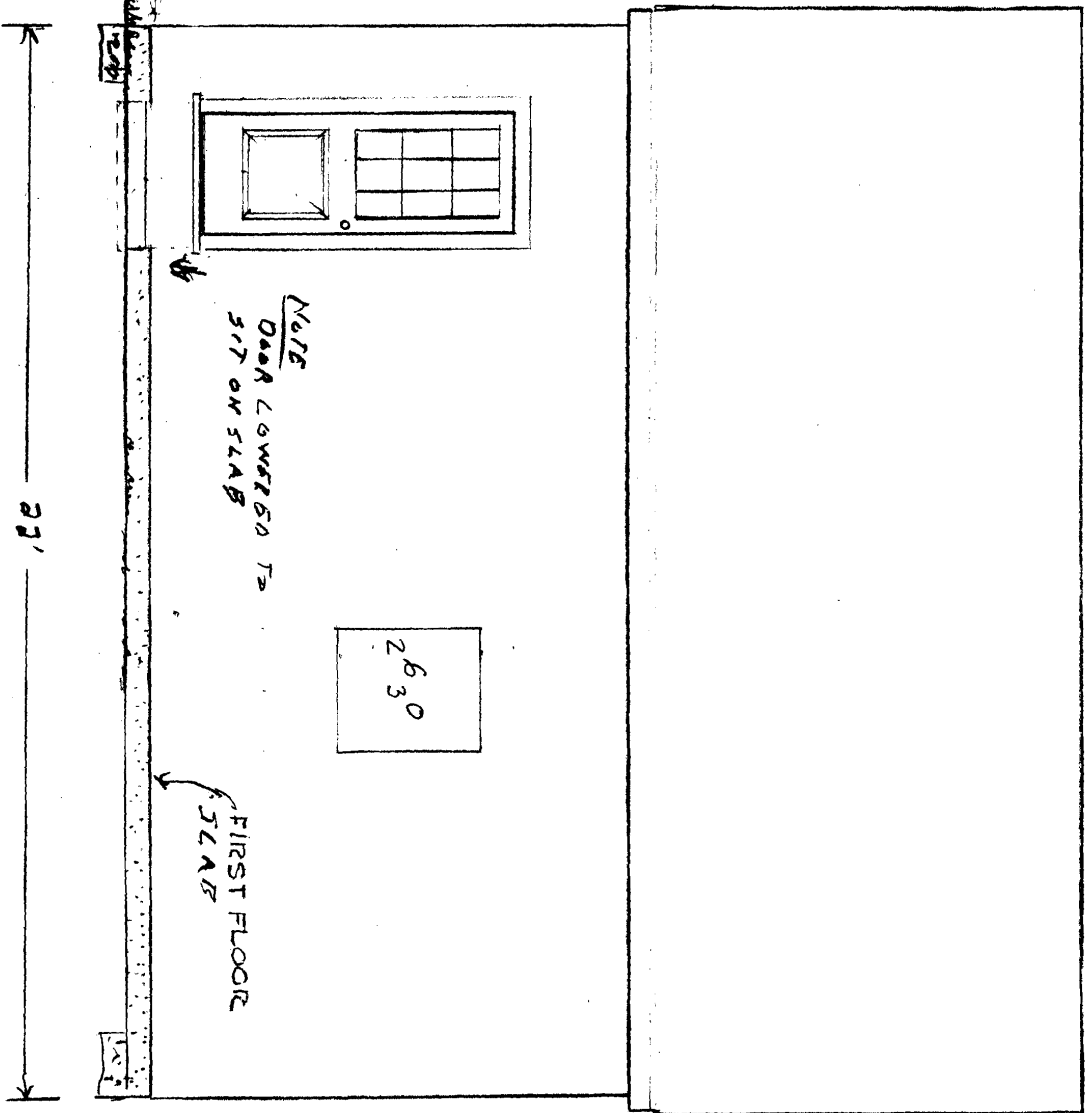
SCALE 1/4" = 1'0"



THIRD FLOOR PLAN

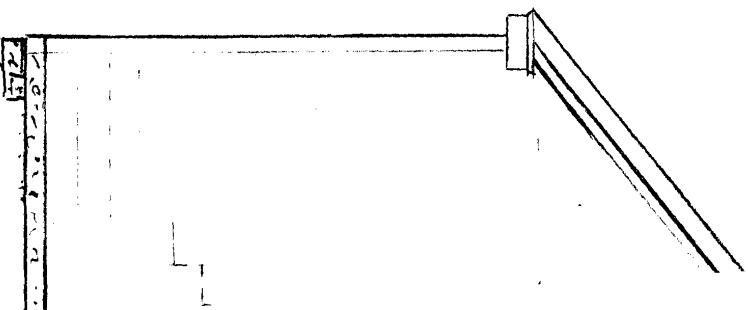
SCALE 1/4" = 1'0"

SEP 1 1962

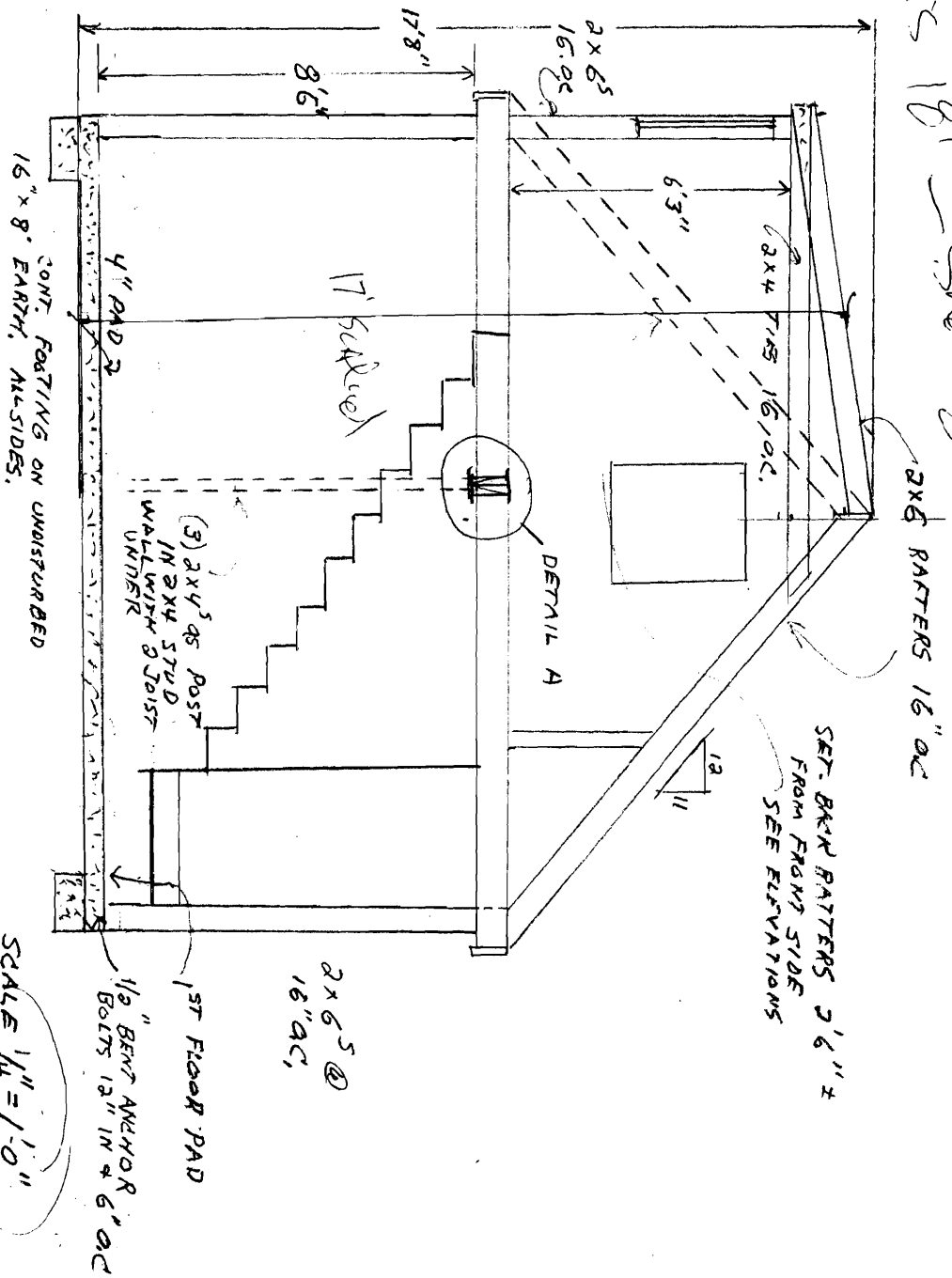


RIGHT ELEVATION

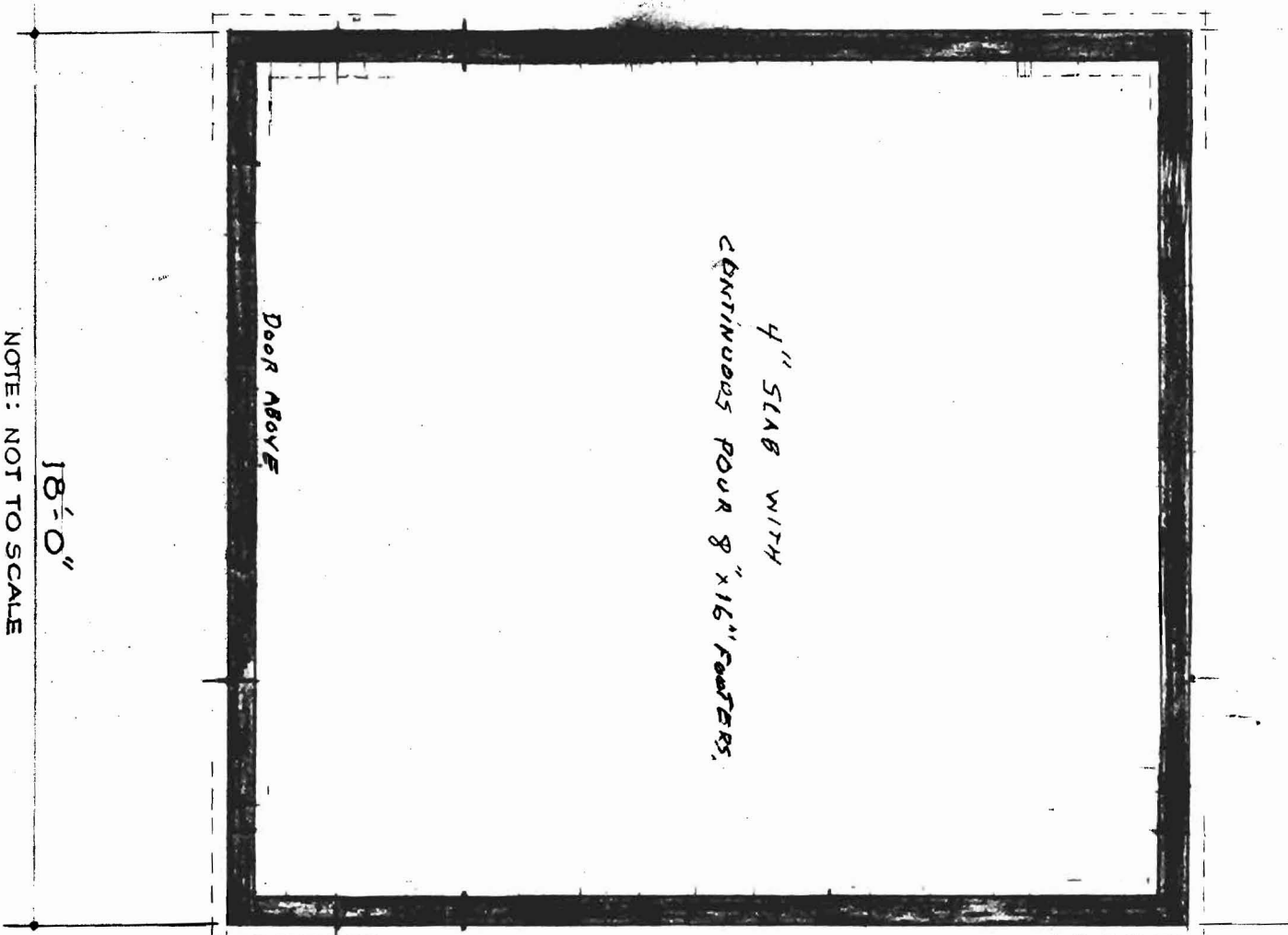
NOT TO SCALE



MAX height for A
 Detached Assessors
 Structure is 18' - showing 17'



CROSS SECTION X-X SEE SHEET #2



NOTE: NOT TO SCALE

18'-0"

22'-0"

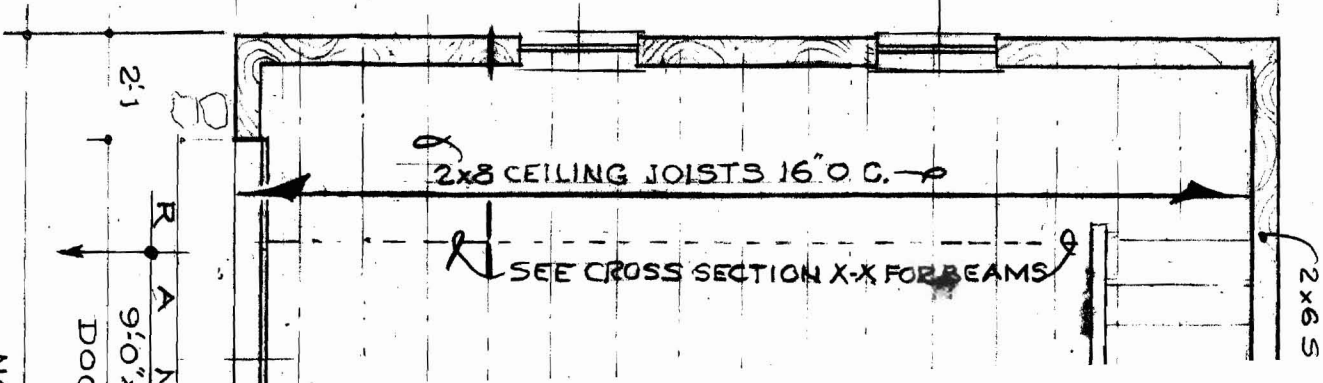
7'-2"

7'-8"

7'-2"

DOOR ABOVE

4" SLAB WITH
CONTINUOUS POUR & 8" X 16" FORMERS.



2x8 CEILING JOISTS 16" O.C.

SEE CROSS SECTION X-X FOR BEAMS

2x6 S

2'-1"

R

A

N

9'-0"

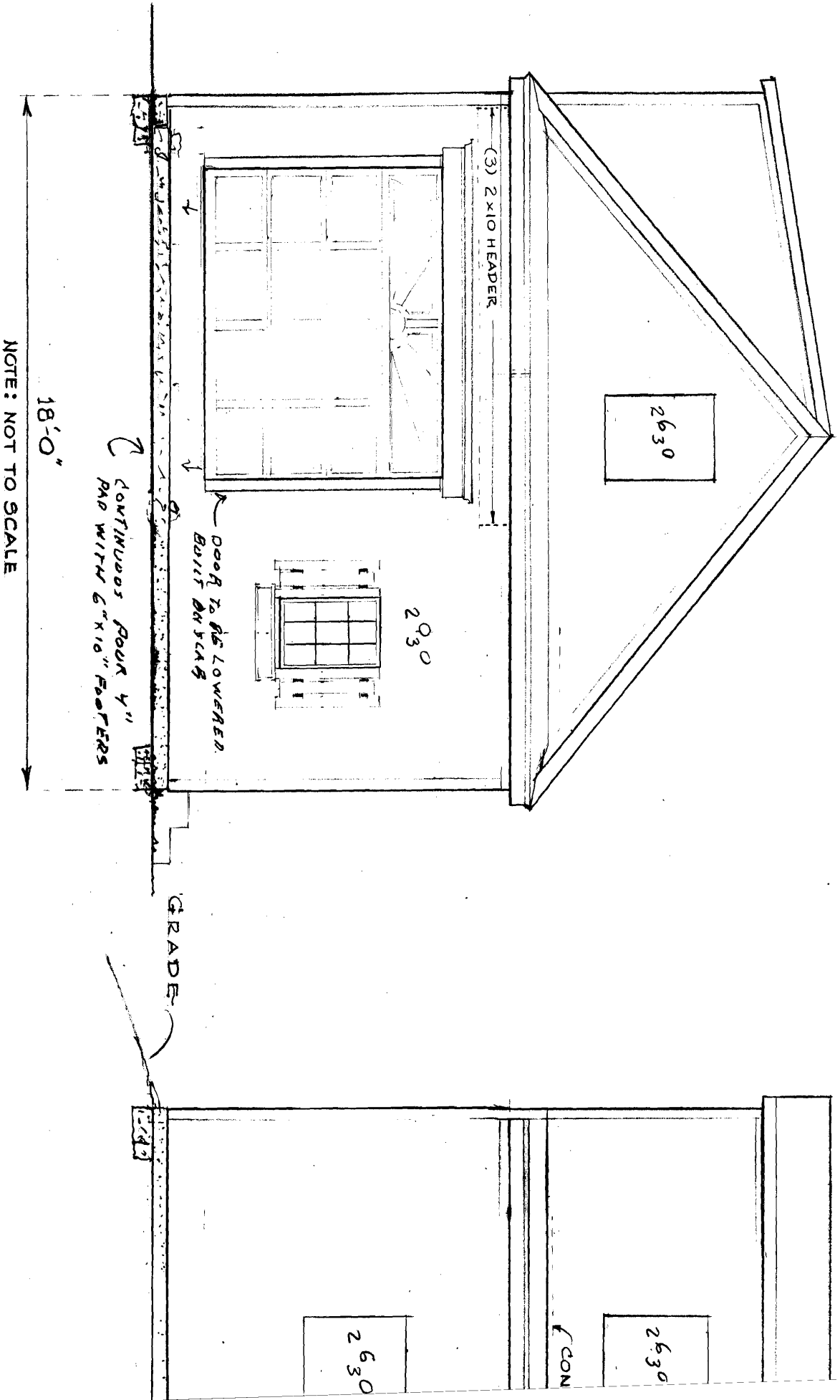
DOOR

N

SLAB PLAN

FIRST FLOOR WITH

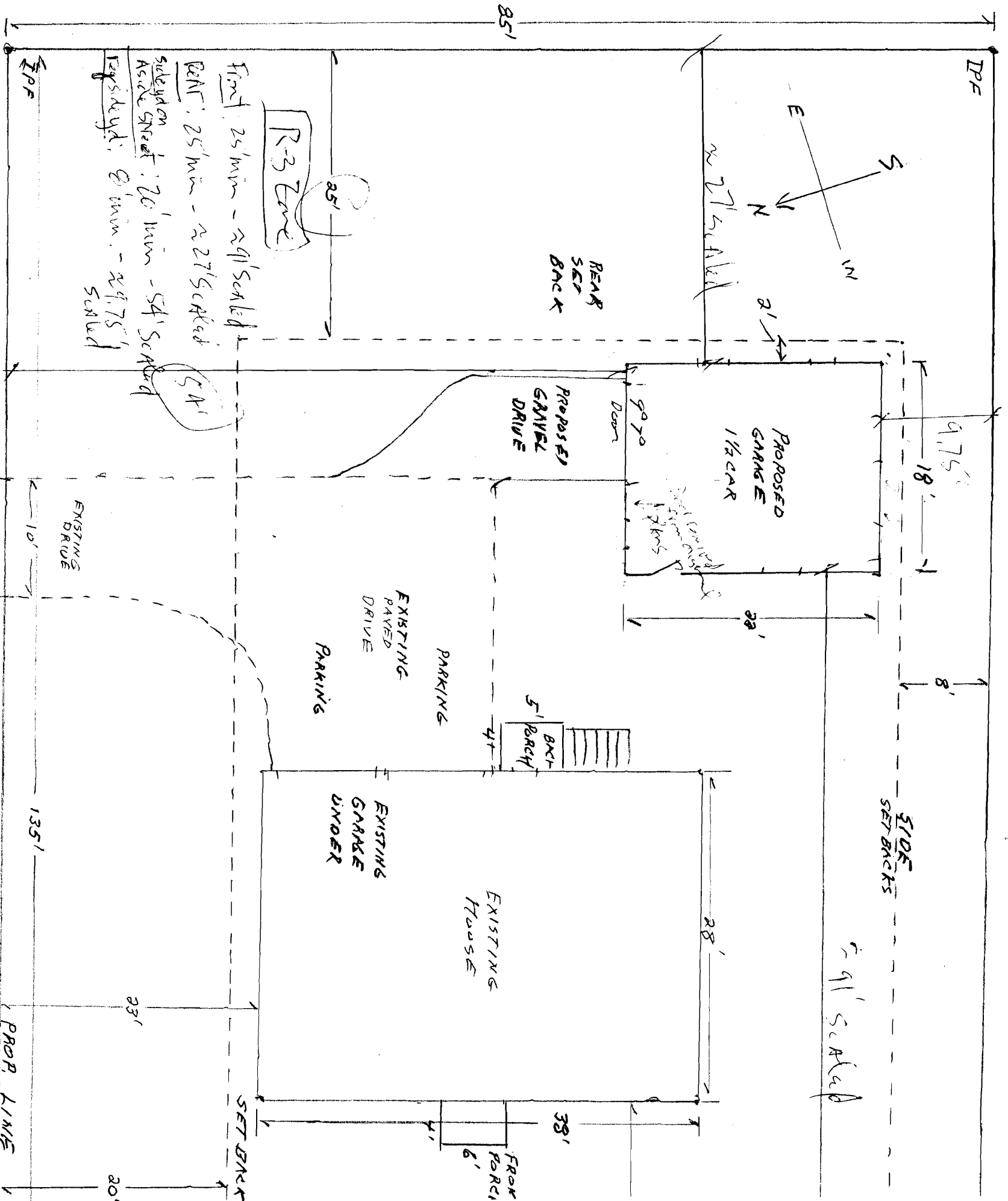
SCALE: 1/4" = 1'-0"



FRONT ELEVATION

LE

SITE
REVERSE



Side yard on A Side St

ELIZABETH ST CURB

PROP LINE

RT OF WAY

135'

10'

85'

SIDE SETBACKS

9' Scaled

REAR SET BACK

PROPOSED GARAGE DRIVE

EXISTING PAVED DRIVE

PARKING

PARKING

EXISTING GARAGE UNDER

EXISTING HOUSE

5' BEACH

FRONT PORCH 6'

38'

R-3 Zone

Front: 25' min - 29' Scaled
 REAR: 25' min - 27' Scaled
 Sideyard on ASIDE STREET: 20' min - 54' Scaled
 REARSIDEYD: 8' min - 29.75' Scaled

54'

33'

20'

12'

9.75'

18'

8'

28'

21'

27' Scaled

85'

DPZ

DPZ