



# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

## PERMIT

Permit Number: 020593

Please Read Application And Notes, if Any, Attached

This is to certify that Smith William C &/CSI Builders  
has permission to Construct a 416 sq. ft. bathroom/family room.  
AT 26 Orland St Portland, OR 97214 119 C008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

Application Number	2-0593					
Department	Building	Status	Pending	Reviewer	Mike Nugent	
Comments	Needs Structural Details 6/10/02 mjn New Plans on 8/13/02 MJN			Original Date	08/14/2002	
				Revision Date	06/10/2002	
<input checked="" type="checkbox"/>	Approved By	Mike Nugent	Date	08/14/2002		
BOTH Porches/Stairways must have 36 inch guards on BOTH sides with openings less that 4 inches						
Window In TUB area must be safety glazing						
A SEPARATE PERMIT IS REQUIRED FOR THE WOOD STOVE/CHIMNEY PRIO TO INSTALLATION> MJN						
Create Date	06/05/2002	by	jmy	Update Date	08/14/2002	mjn

Application ID Number: 2-0593

Department: Zoning

Status: Approved

Reviewer: Mike Nugent

Comments: [Empty text box]

Approval Date: 08/14/2002

On Date: 06/11/2002

[Unread] Name: Mike Nugent Date: 08/14/2002 Page: [Empty]

Comments: Must comply with R3 Zoning District Regs.

Create Date: 06/05/2002 By: jmy

Update Date: 08/14/2002 By: mjn

02-0593

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

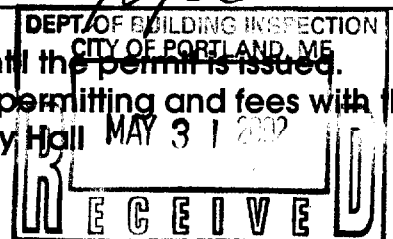
Location/Address of Construction: <u>216 Orland St</u>		
Total Square Footage of Proposed Structure <u>416 LIVING SPACE (NO DECK)</u>		Square Footage of Lot <u>11,270</u>
Tax Assessor's Chart, Block & Lot Chart# <u>119</u> Block# <u>C</u> Lot# <u>008</u>	Owner: <u>BILL SMITH</u>	Telephone: <u>777-761453</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>ADAM ROSENBAUM</u> <u>492 WOODFORD ST.</u> <u>PORTLAND, ME 04103</u>	Cost Of Work: \$ <u>50,000</u> Fee: \$ <u>373-</u>
Current use: <u>RESIDENTIAL</u> <u>Sing Fam</u> <u>bathroom</u>		
If the location is currently vacant, what was prior use: <u>Family room</u>		
Approximately how long has it been vacant: _____		
Proposed use: _____		
Project description: <u>416 sq addition to include two floors</u>		
Contractor's name, address & telephone: <u>C.S.I BUILDERS</u> <u>492 Woodford St Portland</u> <u>04103</u>		
Who should we contact when the permit is ready: <u>Adam Rosenbaum</u> <u>207-775-0119</u>		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>775-0119</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Adam Rosenbaum</u>	Date: <u>5/31/02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Applicant: WILLIAM SMITH

Date: 8/14/02

Address: 26 ORLAND ST

C-B-L: 119 0008

CHECK-LIST AGAINST ZONING ORDINANCE

Date - 8/14/02

Zone Location - R-3

Interior or corner lot - INTERIOR

Proposed Use/Work -

SHOWN

Sevage Disposal - REQUIRED

Lot Street Frontage -

Front Yard - 25'

EXISTING/N/A

Rear Yard - 25'

60'  
10.5' + 33'

Side Yard - 8'14"/16'

Projections -

N/A

Width of Lot - 75'

EXISTING

Height - 35'

26'

Lot Area - 6500'

12840

Lot Coverage/ Impervious Surface - 25%

13.44%

Area per Family -

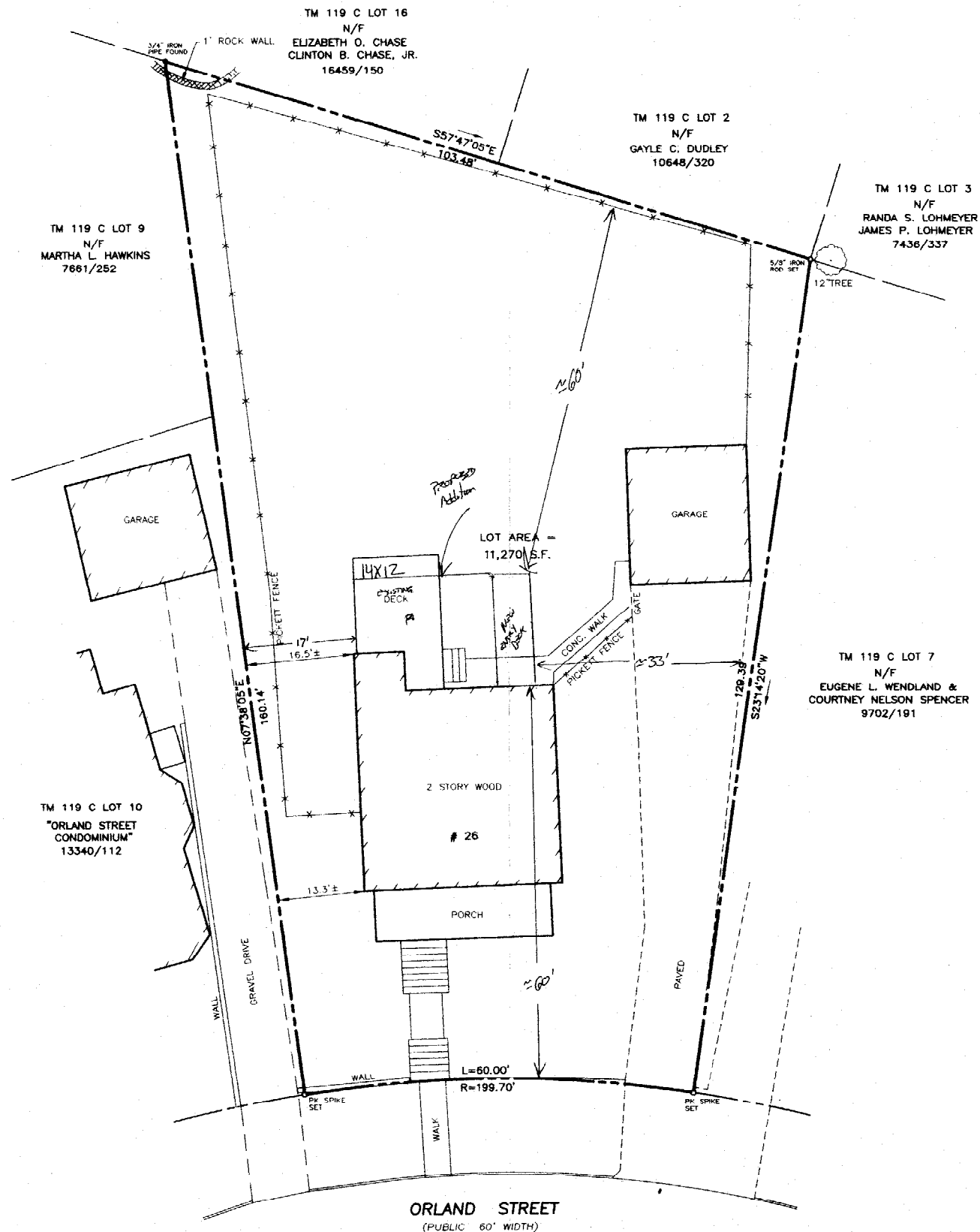
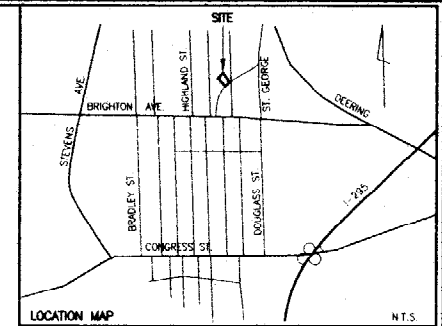
Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - N/A

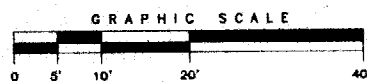


**NOTES**

- OWNERS OF RECORD ARE PAMELA A. PERKINS AND WILLIAM C. SMITH BOOK 11616 PAGE 186.
- THE SURVEYED PREMISES CONTAINS 11,270 SQUARE FEET AND IS SHOWN AS LOT 8 ON CITY TAX MAP 119 SECTION C.
- BEARINGS ARE BASED ON PLAN REFERENCE 1.

**PLAN REFERENCES**

- PLAN MADE FOR EDITH M. BURR DATED MAY 29, 1931 BY H.I. & E.C. JORDAN.
- SURVEY PLAT ORLAND STREET CONDOMINIUM, ORLAND STREET, PORTLAND, MAINE MADE FOR DOWD PROPERTIES LLC DATED SEPT. 12, 1997 BY OWEN HASKELL, INC.



**CERTIFICATION**

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

JAN 30 2002  
DATE

STEPHEN S. SHAW, PLS #779



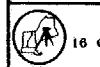
**STANDARD BOUNDARY SURVEY**

ORLAND STREET, PORTLAND, MAINE

MADE FOR

PAMELA A. PERKINS

26 ORLAND STREET, PORTLAND, MAINE

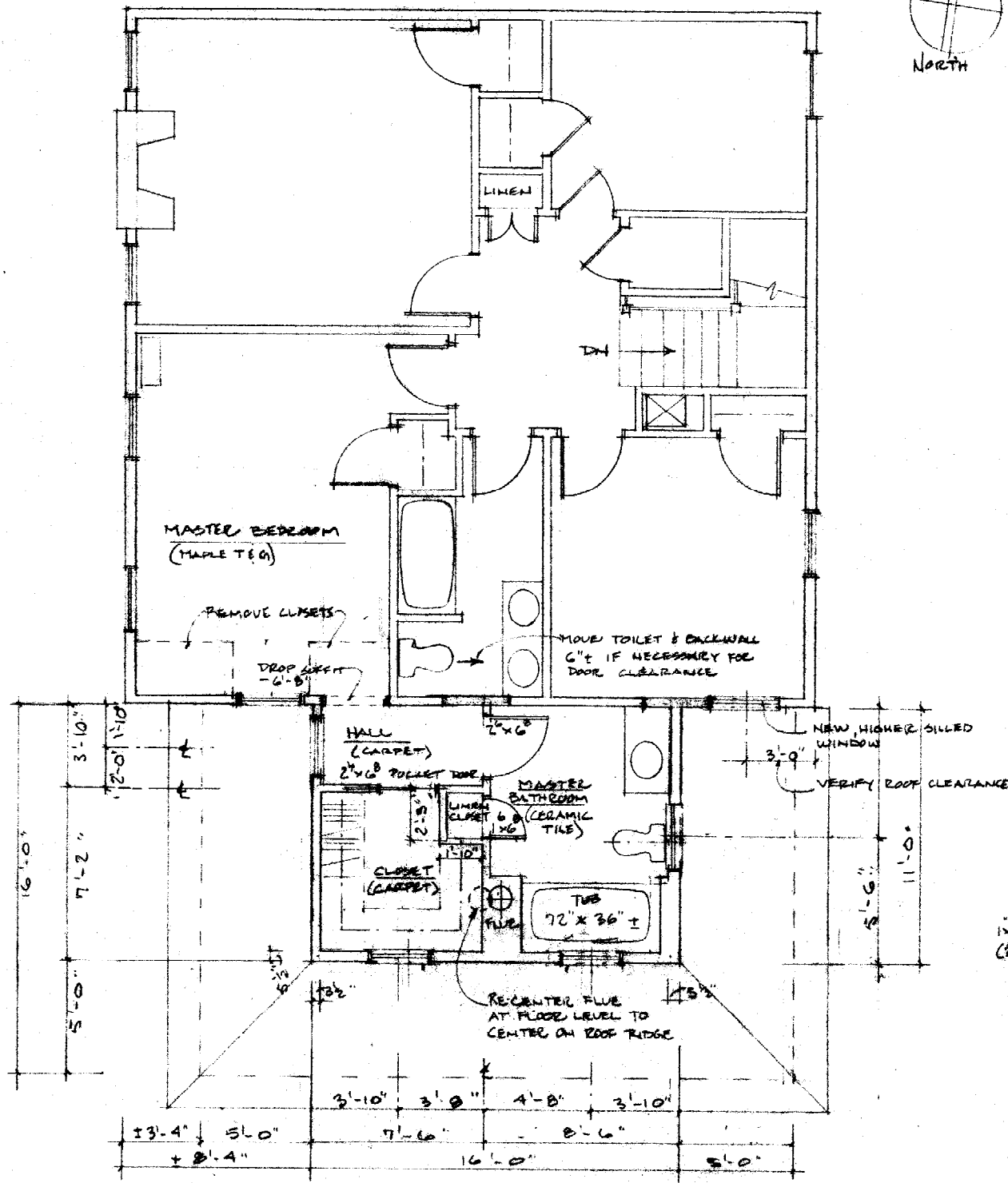
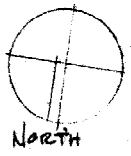


**OWEN HASKELL, INC.**

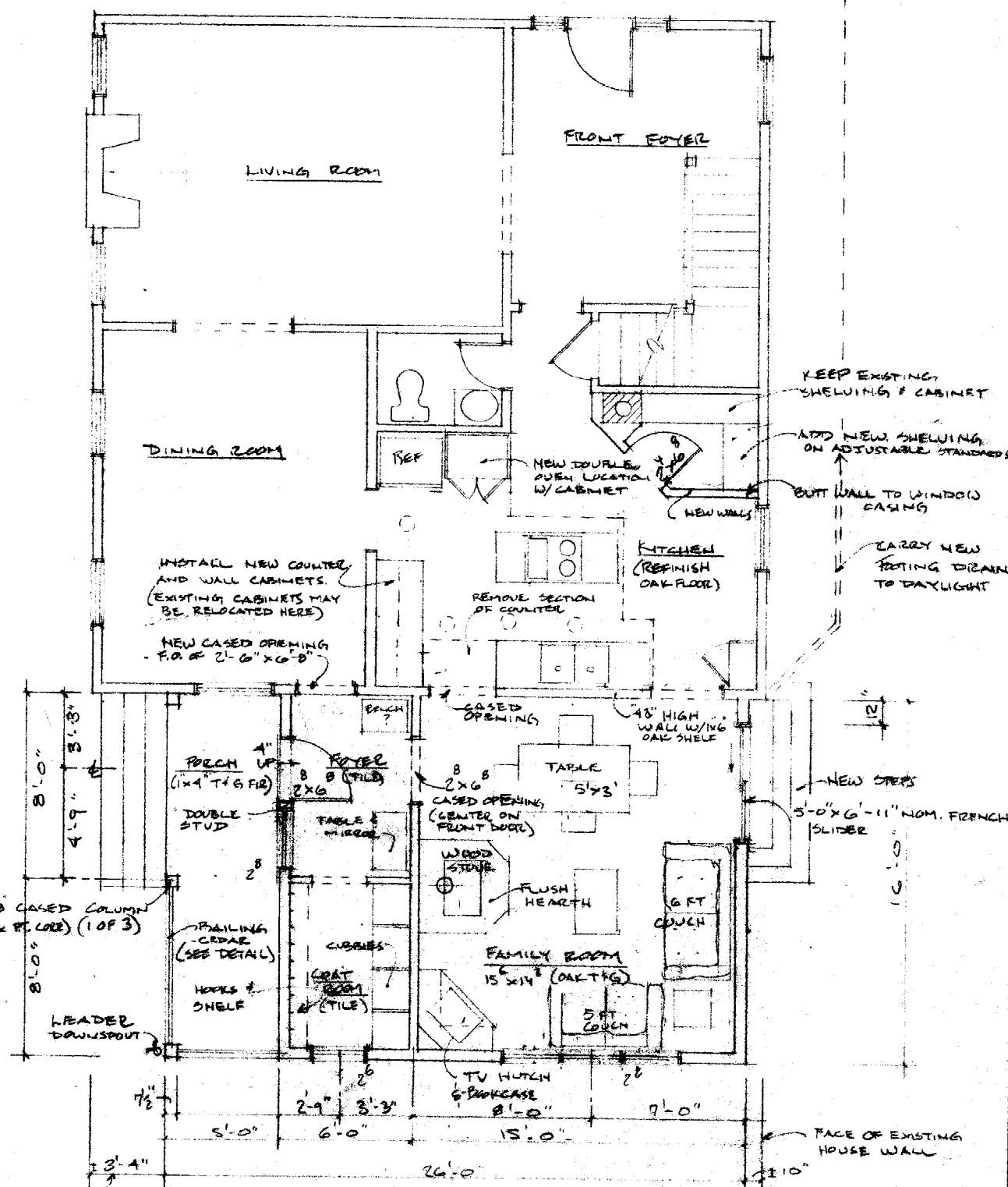
16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424

PROFESSIONAL LAND SURVEYORS

Drawn By	SSS	Date	JAN 30, 2002	Job No.	2001-255P
Trace By	JLW	Scale	1" = 10'	Drawg. No.	1
Check By	SSS				
Book No.	933				

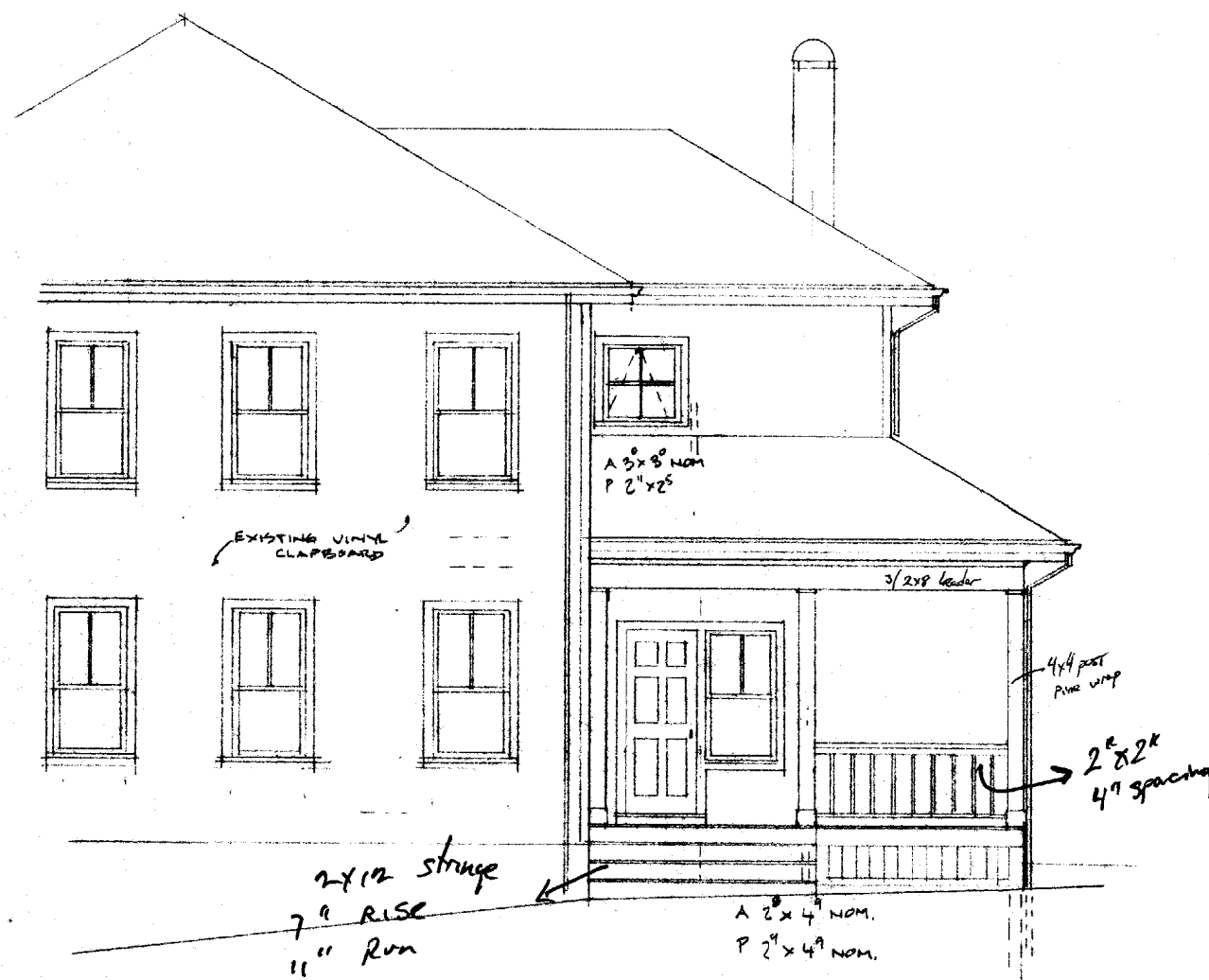


SECOND FLOOR PLAN

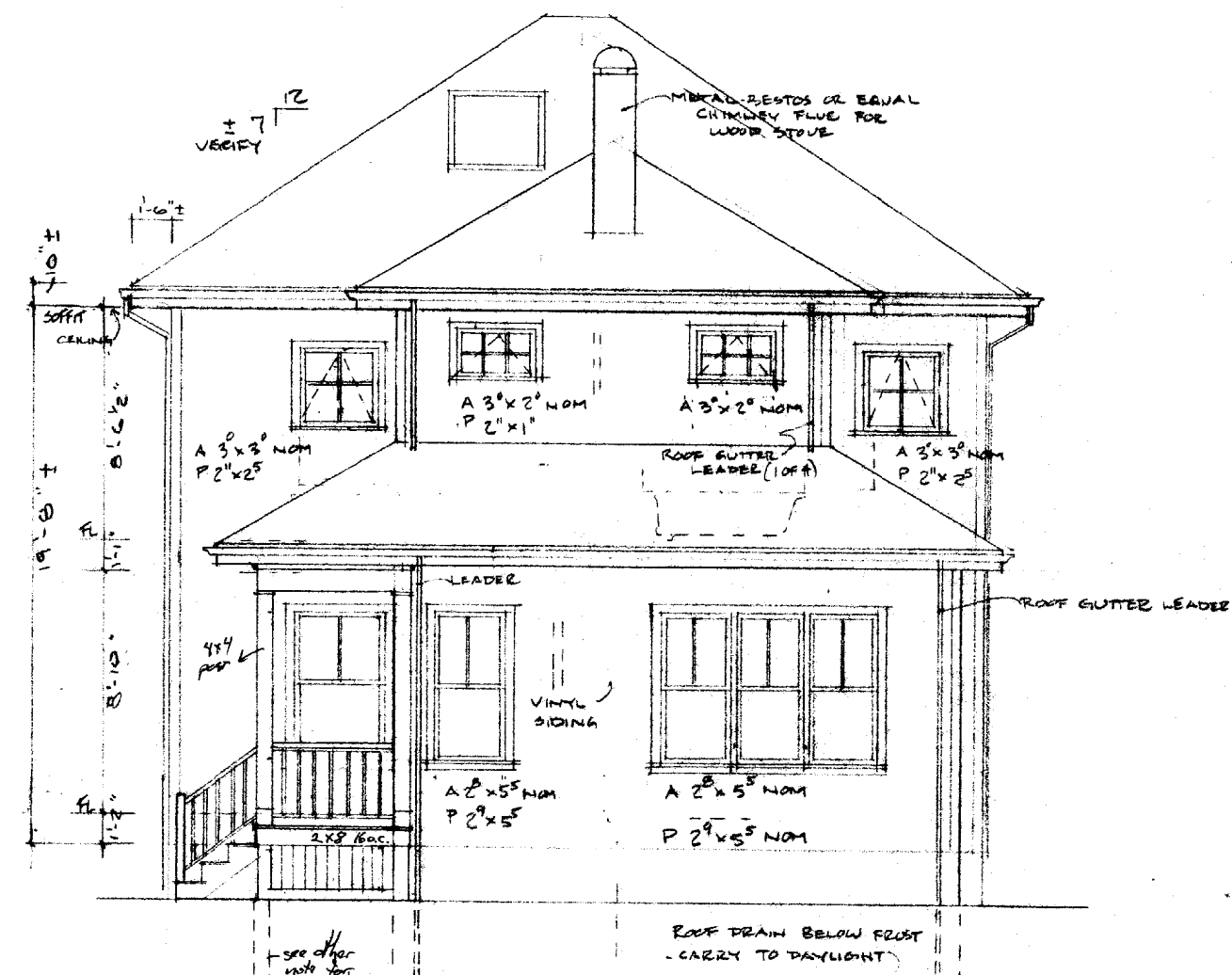


FIRST FLOOR PLAN





EAST ELEVATION



NORTH ELEVATION

NOTE: WINDOW DIMENSIONS ARE NOMINAL UNIT (FRAME) SIZES.

