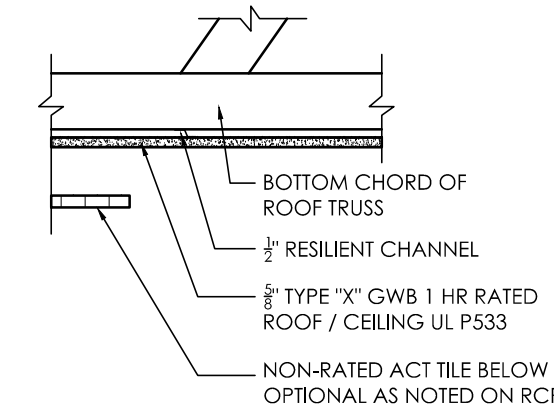


1 ARCHITECTURAL SYMBOLS
NTS



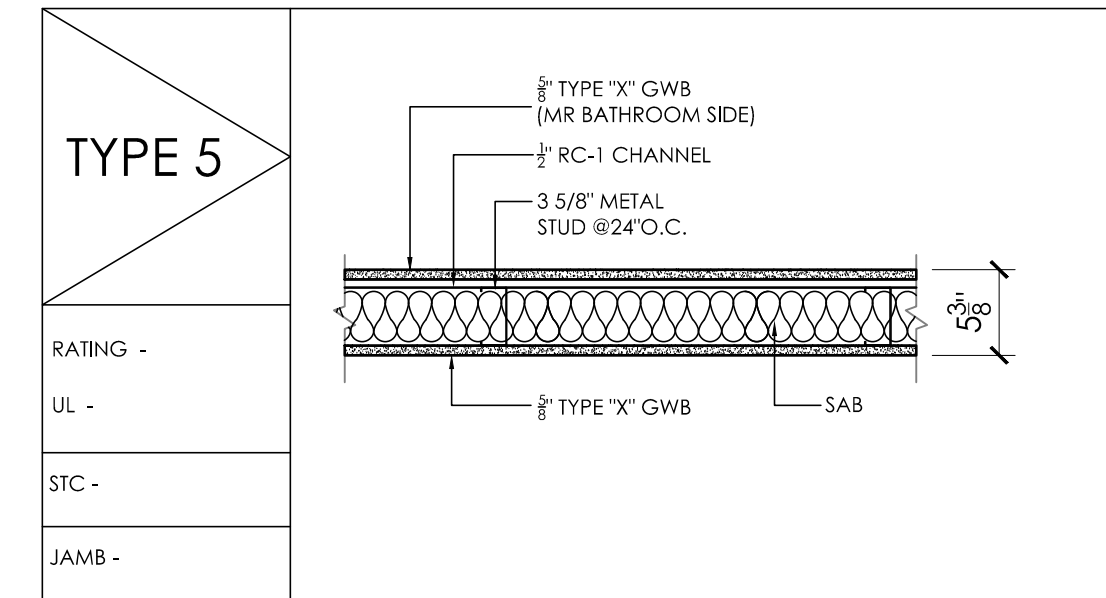
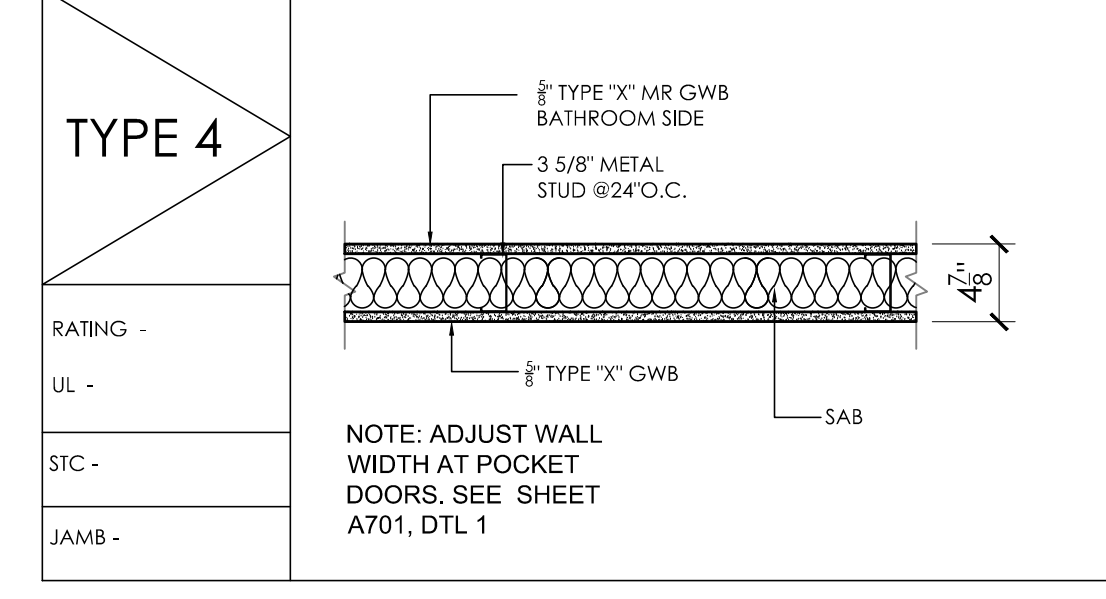
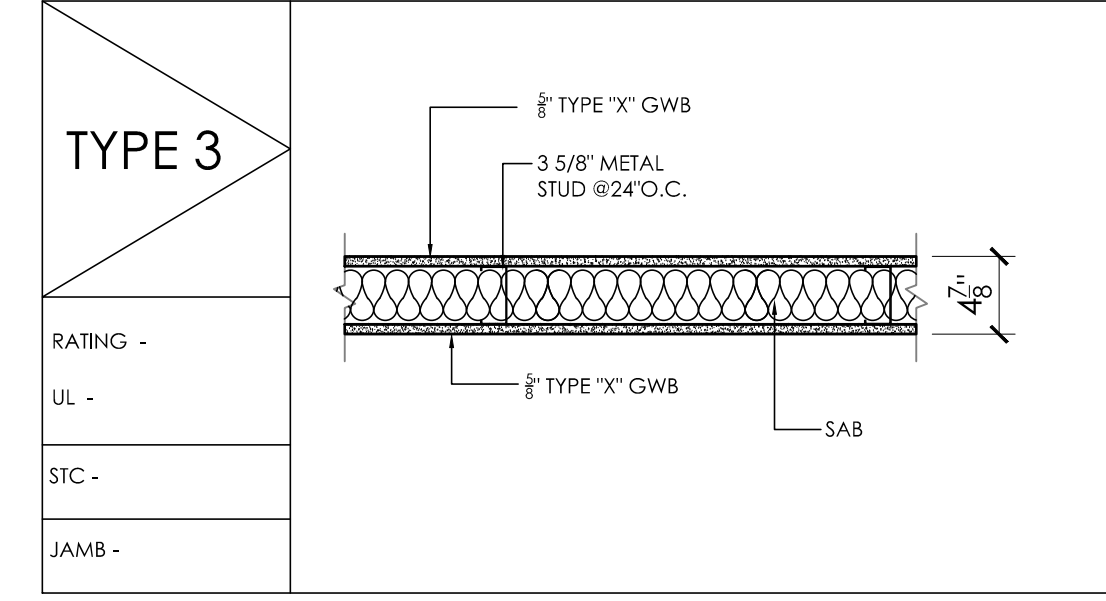
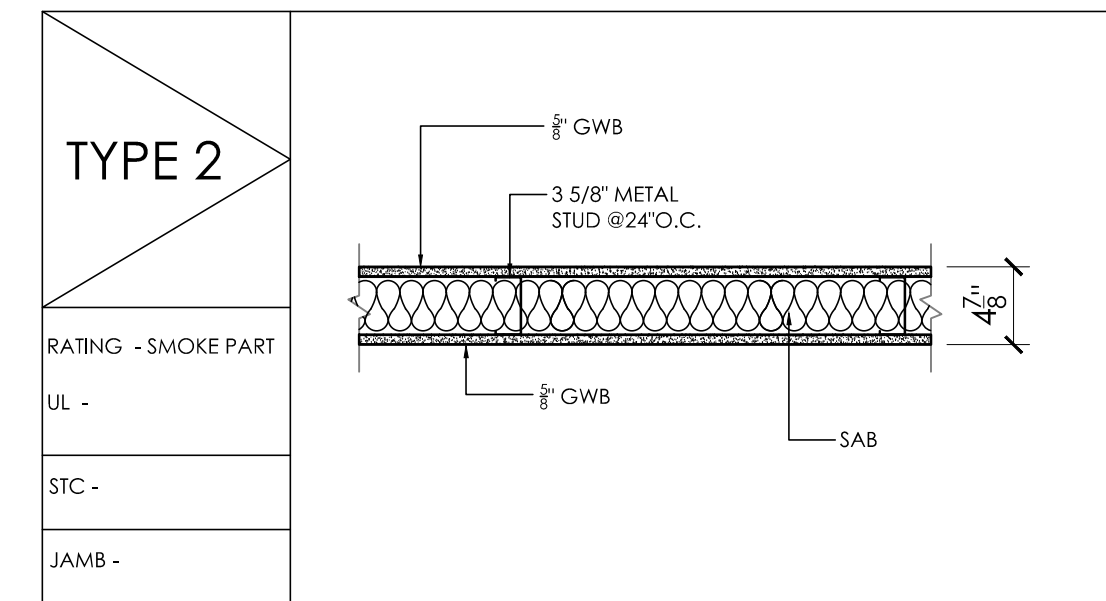
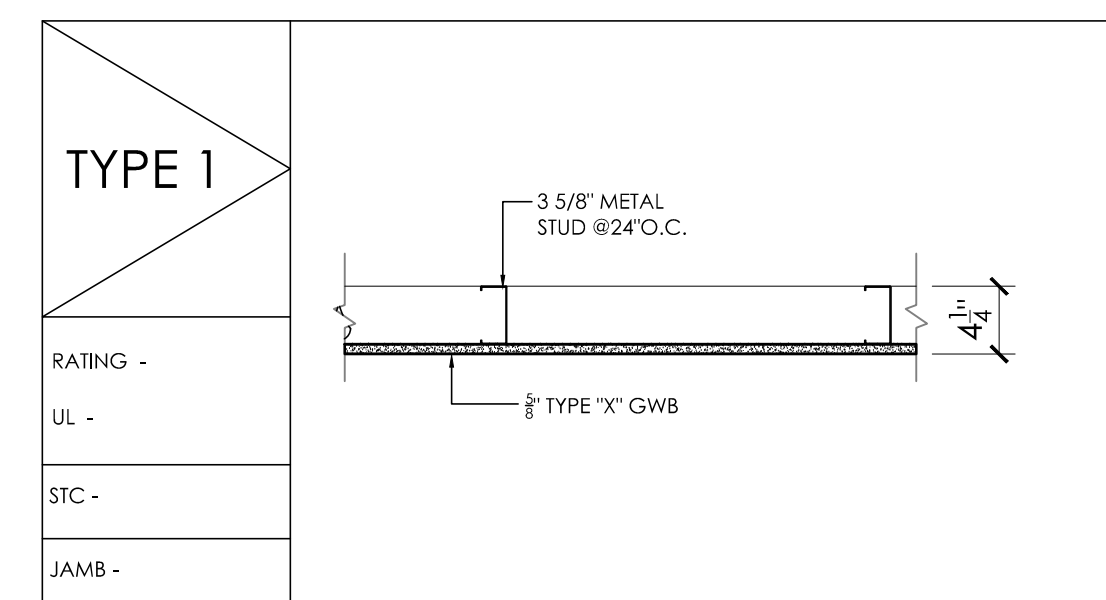
4 ROOF/CEILING ASSEMBLY
1" = 1'-0"

CODE NOTES:

BUILDING CODE: IBC 2009
USE GROUP: I-2
TYPE OF CONSTRUCTION: VA
RENOVATED AREA: 11,965 SQ FT
FIRE SUPPRESSION: FULLY SPRINKLERED

FIRE CODE: NFPA 2009
USE GROUP: EXISTING HEALTH CARE
CONSTRUCTION TYPE: V (111)

5 CODE NOTES
NTS



8 WALL TYPES
NTS

WALL NOTES:

1. ALL BATHROOMS SHALL HAVE MOLD & MOISTURE RESISTANT MR GWB.

2. ALL WALL TILE SHALL BE APPLIED TO MOLD & MOISTURE RESISTANT TILE BACKER BOARD.

3. ALL WALLS SHALL BE CONSTRUCTED TO UNDERSIDE OF WOOD ROOF TRUSSES OR CEILING FRAMING.

A	ABV Above Finished Floor AFF Access Panel AF Access Panel ACOUS Acoustical ACT Acoustical tile ACW Aluminum Curtain Wall ADD Adornment ADH Adhesive ADJ Adjustable AGG Aggregate A/C Air Conditioning ALT Alternate AL Aluminum AMP Acoustical Metal Panel ANC Anchor ANB Anchor Bolt ANOD Anodized APPROX Approximate ARCH Architect (url) AST Aluminum Storefront AD Area Drain AUTO Automatic AVG Average	B	BMSM Basement RM Room BRG Bearing BE Between BIT Bituminous BLK Block BD Board BOT Bottom BW Bottom of Wall BK Bracket BRK Brick BLDG Building BURG Built-up Roofing BRG Bullet Resistant Glazing	C	CAB Cabinet LAV Lavatory CH Cabinet Unit Heater CPT Carpet (ed) CB Catch Basin CLG Ceiling CEM Cement CF Center CR Ceramic Tile CO Cleanout CLR Clear (ance) MH Manhole COL Column CONC Concrete (ed, ion, ible) CONC Concrete CMU Concrete Masonry Unit CF CMU Ground Face CONST Construction CONT Continuous, Continue CONTR Contract (or) CONTR Control Joint CG Corner Guard CORR Corridor CORSK Countersink CFH Countersunk Flat Head CR Course CS/CI Contractor Supplied/Contractor Installed CS/OI Contractor Supplied/Owner Installed	D	DEPT Department DTL Detail DIAM Diameter DIM Dimension DW Dishwasher DPR Dispenser DISP Disposal DR Door DO Door Opening DBL Double DA Double Acting DN Down DWR Drawer DWG Drawing DFG Drinking Fountain	E	EA Each ES East ELEC Electric (al) EWC Electric Water Cooler EL Elevation ELEV Elevator EMER Emergency ENC Enclose (ure) EQ Equal EQP Equipment EXH Exhaust EXT Existing EXP Expansion, Exposed EJT Expansion Joint EXT Exterior EXTD Extruded F	F	FAB Fabricated FCC Face of Concrete FNC Face of Finish FOM Face of Masonry FOS Face of Stud FIN Finish (ed) FF Finished Floor FA Fire Alarm FE Fire Extinguisher FEC Fire Extinguisher Cabinet FHC Fire Hose Cabinet FPRF Fireproof FIXT Fixture FLG Flashing FHWS Flathead Wood Screw FLR Floor (ing) FD Floor Drain FLUOR Fluorescent FLG Footing FND Foundation FSR Full Size FUR Furred (ing)	G	GA Gage, Gauge GALV Galvanized GL Glass Glazing GMU Glass Masonry Unit GB Grab Bar GD Grade, Grading GT Grotto GWB Gypsum Wallboard H	H	HCP Handicapped HDB Hardboard HDW Hardware HVAC Heating/Ventilating/ Air Conditioning HT Height HPT High Point HC Hollow Core HM Hollow Metal HB Hose Bibb HR Hour	I	IN Inch INCL Include (d, ing) ID Inside Diameter INSUL Insulate (d, ion) INI Inlet INV Invert IPS Iron Pipe Size	J	JAN Janitor JT Joint J Jost	K	KIT Kitchen	L	LAM Laminate (d) LAV Lavatory LCC Lead-coated Copper LH Left Hand LT Light LS Light Switch LWT Lightweight LVR Louver LPT Low Point	M	MACH Machine MH Manhole MFR Manufacturer (r) MAS Masonry MO Masonry Opening MTC Mechanical MC Medicine Cabinet MET Metal MIN Minimum MISC Miscellaneous MOD Modular MR Moisture Resistant MOL Molding, Moulding MTD Mounted MP Metal Panel	N	NOM Nominal NPS Nominal Pipe Size NC Non-com N North NA Not Applicable NIC Not In Contract NIS Not to Scale NO Number OC On Center (s) OPNG Opening OPP Opposite OPH Opposite Hand OZ Ounce OD Outside Diameter OA Overall OS/CI Owner Supplied/Contractor Installed OS/OI Owner Supplied/Owner Installed	P	PAF Power Activated Fastener PID Point (ed) PK Pair PNL Panel PPD Paper Dispenser PIR Paper Towel Receptor PBD Particleboard PTN Partition PVMT Pavement PERF Perforate (d) PLAS Plaster PLAM Plastic Laminate PL Plate PWP Plywood PNT Paint PVC Polyvinyl Chloride PSF Pounds per Square Foot PSI Pounds per Square Inch PFB Prefabricate (d) PM Pressed Metal PROP Proposed	Q	Q Quantity QT Quarry Tile	R	RAD Radius RWL Rainwater Leader RWM Rain Water Mould REF Reference RFL Resilient (ed, ive, or) REFR Refrigerator RE Reinforce (d, ing) REM Remove REQ Required RES Resilient RFT Rubber Floor Tile RB Resilient Base RT Resilient Tile RA Return Air REV Revision RH Right Hand R Riser RO Roof Drain ROOM Room RM Rough Opening S	S	SND Sanitary Napkin Dispenser SNR Sanitary Napkin Receptor SCH Schedule SCL Scaffold SEC Section SG Semi Glass SHT Sheeting SHI Sheet SM Sheet Metal SHL Shell, Shelving SHR Shower SIM Similar SOG Soap Dispenser SOT Sound Transmission Class SOUTH South SPEC Specification (s) SA Spray Acoustic SCQ Squire SS Stainless Steel ST Stair STD Standard STN Station STA Steel SIO Storage STR Structural SUBF Subfloor SUSP Suspended SFF StoneFront	T	TKBD Tackboard TEL Telephone TEMP Temporary TERR Terra Cotta TIZ Terrazzo THK Thick (ness) TPD Toilet Paper Dispenser T&G Tongue and Groove T&B Top and Bottom TC Top of Concrete TF Top of Footing TJ Top of Joint TFL Top of Plate TRO Top of Rough Opening TSL Top of Slab TSS Top of Steel TSBFL Top of Subfloor TW Top of Wall TO Top of TB Towel Bar TREG Tread TYP Typical	U	UL Underwriters Laboratory	V	VERT Vertical VST Vestibule VP Veneer Plaster VIN Vinyl VWC Vinyl Wall Covering W	W	WC Water Closet WH Water Heater WP Waterproofing WT Weight WWF Welded Wire Fabric W Overall WIN Window WM Wire Mesh WO Without WOOD Wood WPT Work Point WI Wrought Iron	X	X None	Y	Y None	Z	Z None
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9 ARCHITECTURAL ABBREVIATIONS
NTS

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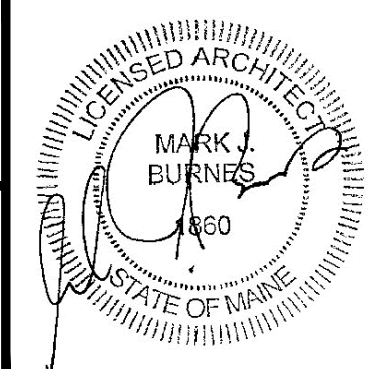
GENERAL NOTES:

- REPORT AN DISCREPANCIES TO THE DESIGNER OF RECORD. CONTRACTOR SHALL PROCEED WITH WORK ONLY AFTER DISCREPANCIES HAVE BEEN RESOLVED BY THE DESIGNER OF RECORD.
- EXISTING BUILDING COMPONENTS AND WORK CURRENTLY COMPLETED AND IN PLACE DURING CONSTRUCTION WHICH IS AFFECTED BY NEW WORK AND DEMOLITION, OR WHICH MAY BE DAMAGED BY THE CONTRACTOR OR ANY SUBCONTRACTOR, SHALL BE REPLACED OR RESTORED TO THE ORIGINAL CONDITION AND COLOR AS APPROVED BY THE DESIGNER OF RECORD.
- THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL GOVERNING CODES INCLUDING 2009 IBC, NFPA 101 2009 AND NFPA 150 PERFORMANCE BASED CRITERIA SHOWN HEREIN, ICC PLUMBING CODE, NEC 2009, AND ANS. ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO FABRICATION. THIS INCLUDES DELIVERY PROCEDURES, DIMENSIONS AND MATERIALS.
- DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS. APPARENT DISCREPANCIES REQUIRING CLARIFICATION SHALL BE DIRECTED TO THE DESIGNER OF RECORD PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION.
- DEMOLITION MAY REQUIRE SELECTIVE REMOVAL OF EXISTING MATERIALS, TEMPORARY BRACING AND STRUCTURAL SHORING. REMOVAL OF ALL MATERIALS DISMANTLED NOT INTENDED FOR RE-USE SHALL BE DISPOSED OF IN COMPLIANCE WITH LOCAL REGULATIONS.
- THIS PROJECT SHALL NOT CONTAIN HAZARDOUS MATERIALS OF ANY TYPE, INCLUDING BUT NOT LIMITED TO ASBESTOS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM THE APPROPRIATE OFFICIALS PRIOR TO COMMENCING THE WORK AND INSPECTIONS AND APPROVALS UPON COMPLETION OF THE WORK.
- WHERE ONLY A SINGLE PRODUCT OR MANUFACTURER IS NAMED, PROVIDE THE PRODUCT INDICATED. SUBSTITUTIONS SHALL BE PERMITTED ONLY WHEN APPROVED BY THE OWNER OR THE OWNER'S AUTHORIZED REPRESENTATIVE THROUGH WRITTEN DIRECTIVE.
- THE LOCATION OF ALL DOOR FRAMES NOT DIMENSIONED SHALL BE 4" FROM ADJACENT WALLS UNLESS OTHERWISE INDICATED.
- ALL PARTITIONS SHALL EXTEND FROM FLOOR TO UNDERSIDE OF SUPPORTING STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
- INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, GRAB BARS, SHELVES, CHAIR RAILS, PICTURE RAILS AND BASE MOLDINGS.
- AT PROJECT CLOSEOUT, SUBMIT SPECIFIC WARRANTIES, WORKMANSHIP BONDS, MAINTENANCE AGREEMENTS, FINAL CERTIFICATIONS AND SIMILAR DOCUMENTS.
- COMPLETE FINAL CLEANUP AT PROJECT CLOSEOUT. TOUCH-UP, REPAIR AND RESTORE ALL MARRED EXPOSED FINISHES.
- IF TWO CONFLICTING CONDITIONS OR DETAILS EXIST IN THIS DRAWING SET OR ASSOCIATED SPECIFICATIONS THE SUBCONTRACTOR SHALL MAKE THEM KNOWN TO THE GENERAL CONTRACTOR AND DESIGNER OF RECORD. IT SHALL BE THE DESIGNER OF RECORD'S CHOICE TO DECIDE WHICH CONDITION OR DETAIL APPLIES, AT NO ADDITIONAL COST.
- ALL RESIDENT ROOMS SHALL HAVE A MINIMUM AREA OF 80 SQ. FT. PER BED.



5 FUNDY ROAD Phone: 207-781-3344
FALMOUTH, ME 04105 Fax: 207-699-5564
Online @ foresidearchitects.com

Project Status:
PRICING & PERMITTING. NOT FOR CONSTRUCTION



Project Number:

PORTLAND ASSISTED LIVING CENTER
FIRST ATLANTIC HEALTHCARE

68 Devonshire Street
Portland, Maine

Drawing Name:
WALL TYPES, NOTES, ABBREV, SYMBOLS

Scale: AS NOTED SHEET

Date: November 30, 2016

G.2