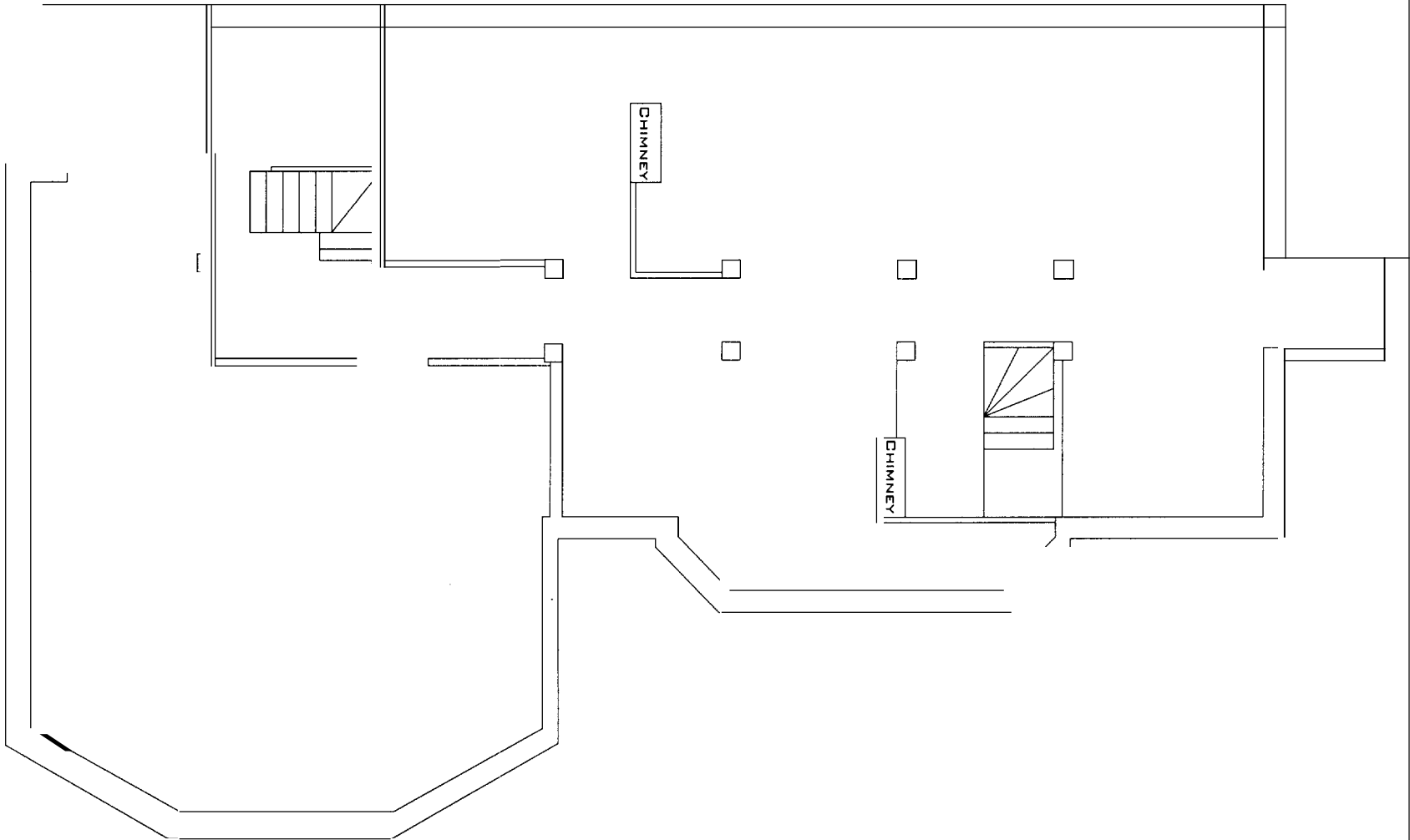


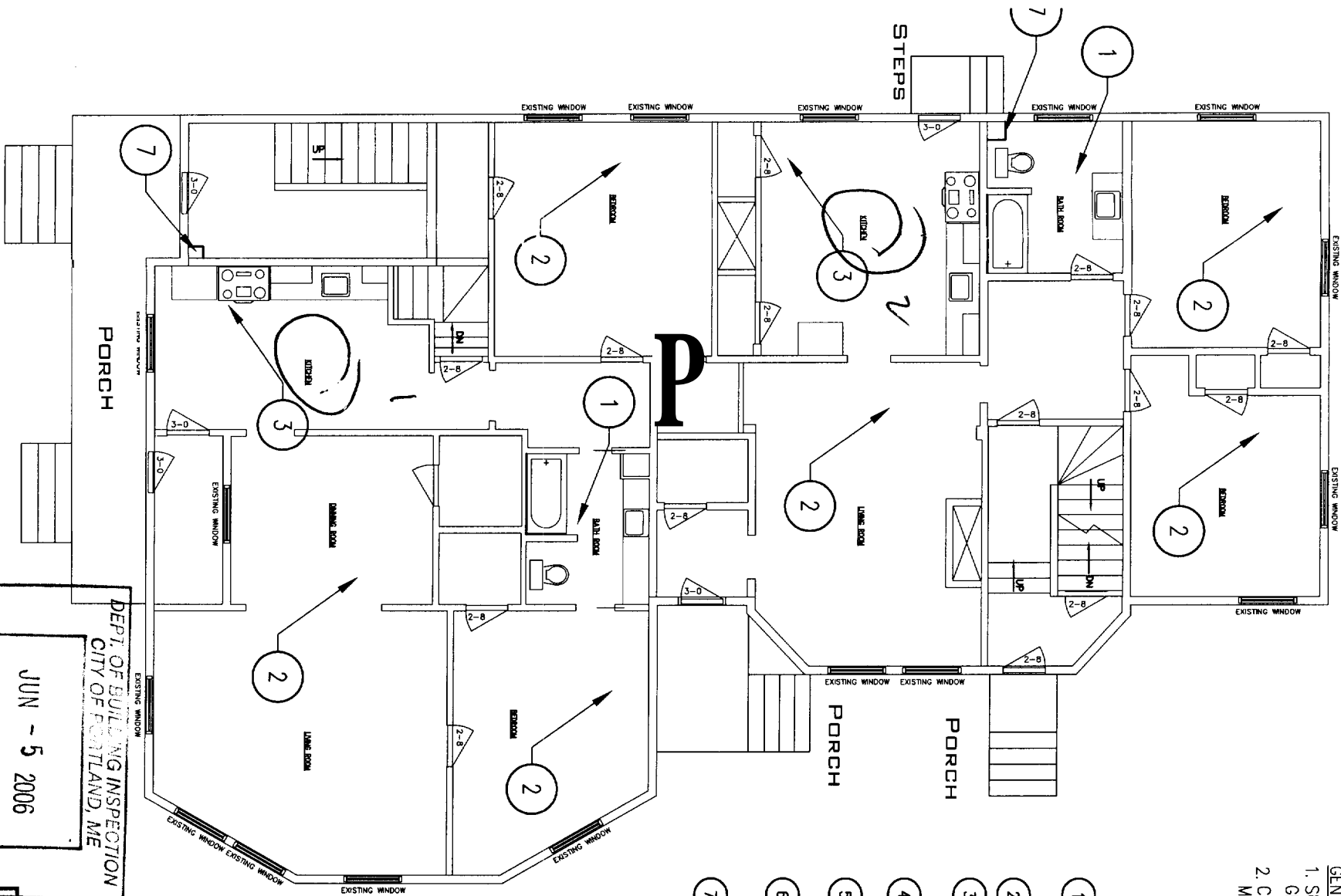
- GENERAL NOTES:
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  2. CONT. TO VERIFY ALL MATERIALS/SPANS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.

WORK NOTES

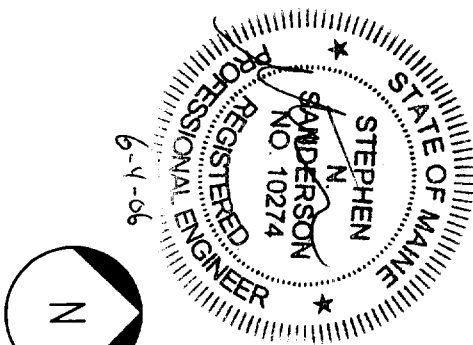
- 1 REPLACE THE BATHROOM FLOOR WITH CERAMIC TILE. REPLACE VANITY, TUB/SHOWER AND SINK
- 2 ADD 8' 0" CEILINGS BATH FOR 1 & FE SEPARATION AND STC 50.
- 3 REPLACE KITCHEN CABINETS AND INSTALL NEW COUNTERTOPS. INSTALL NEW CERAMIC FLOOR TILE.
- 4 ADD CLOSET IN THIS LOCATION.
- 5 ADD 3/8" INCH SHEET ROCK OVER EXISTING PLASTER AND LATH.
- 6 PAINT ALL INTERIOR WALLS, CEILINGS AND TRIM. REPLACE LIGHTING FIXTURES. UPDATE THE ELECTRICAL. PLUMBING RELOCATION IN EACH BATHROOM AND KITCHEN.
- 7 AD UTILITY BASE AT THIS LOCATION



BASEMENT PLAN  
SCALE 1/4"=1'-0"



FIRST FLOOR PLAN  
SCALE 1/4"=1'-0"



MAP AND LOT NO.  
119-E-7  
LOT SIZE = 8416 SF

BACK BAY PROPERTIES, LLC  
MANAGER: STEPHEN SANDERSON  
202 US RT ONE, PMB221  
FALMOUTH, MAINE 04105

245 BRIGHTON AVENUE  
PORTLAND, MAINE

REMODEL  
FLOOR PLAN

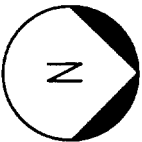
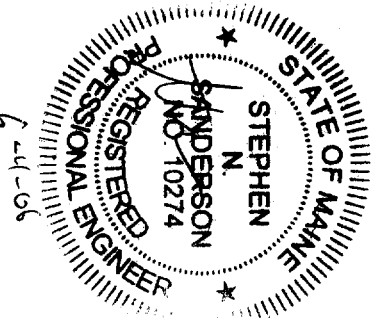
CLIENT	245 BRIGHTON AVENUE		
	PORTLAND, MAINE		
	REMODEL		
	FLOOR PLAN		
DRAWN BY:	CAC	SCALE:	AS NOTED
		DATE:	03-28-06
DRAWING NUMBER	A-1		

JUN - 5 2006	
DEPT. OF BUILDING INSPECTION	
CITY OF PORTLAND, ME	
RECEIVED	
FOR APPROVAL	
REV	DATE
A	6/4/06

- GENERAL NOTES:
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  - CONT. TO VERIFY ALL MATERIALS/SPANS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.

WORK NOTES

- REPLACE THE BATHROOM FLOOR WITH CERAMIC TILE.  
REPLACE VANITY, TUB/SHOWER AND SINK
- ADD DROP CEILINGS RATED FOR 1 HR FIRE SEPARATION AND STC 50.
- REPLACE KITCHEN CABINETS AND INSTALL NEW COUNTERTOPS.  
INSTALL NEW CERAMIC FLOOR TILE.
- AD CLOSET IN THIS LOCATION.
- ADD 3/8 INCH SHEET ROCK OVER EXISTING PLASTER AND LATHE.
- PAINT ALL INTERIOR WALLS, CEILINGS AND TRIM.  
REPLACE LIGHTING FIXTURES, UPDATE THE ELECTRICAL.  
PLUMBING RELOCATION IN EACH BATHROOM AND KITCHEN.
- ADD UTILITY CHASE AT THIS LOCATION



MAP AND LOT NO.  
119-E-7  
LOT SIZE = 8416 SF

BACK BAY PROPERTIES, LLC  
MANAGER: STEPHEN SANDERSON  
202 US RT ONE, PMB221  
FALMOUTH, MAINE 04105

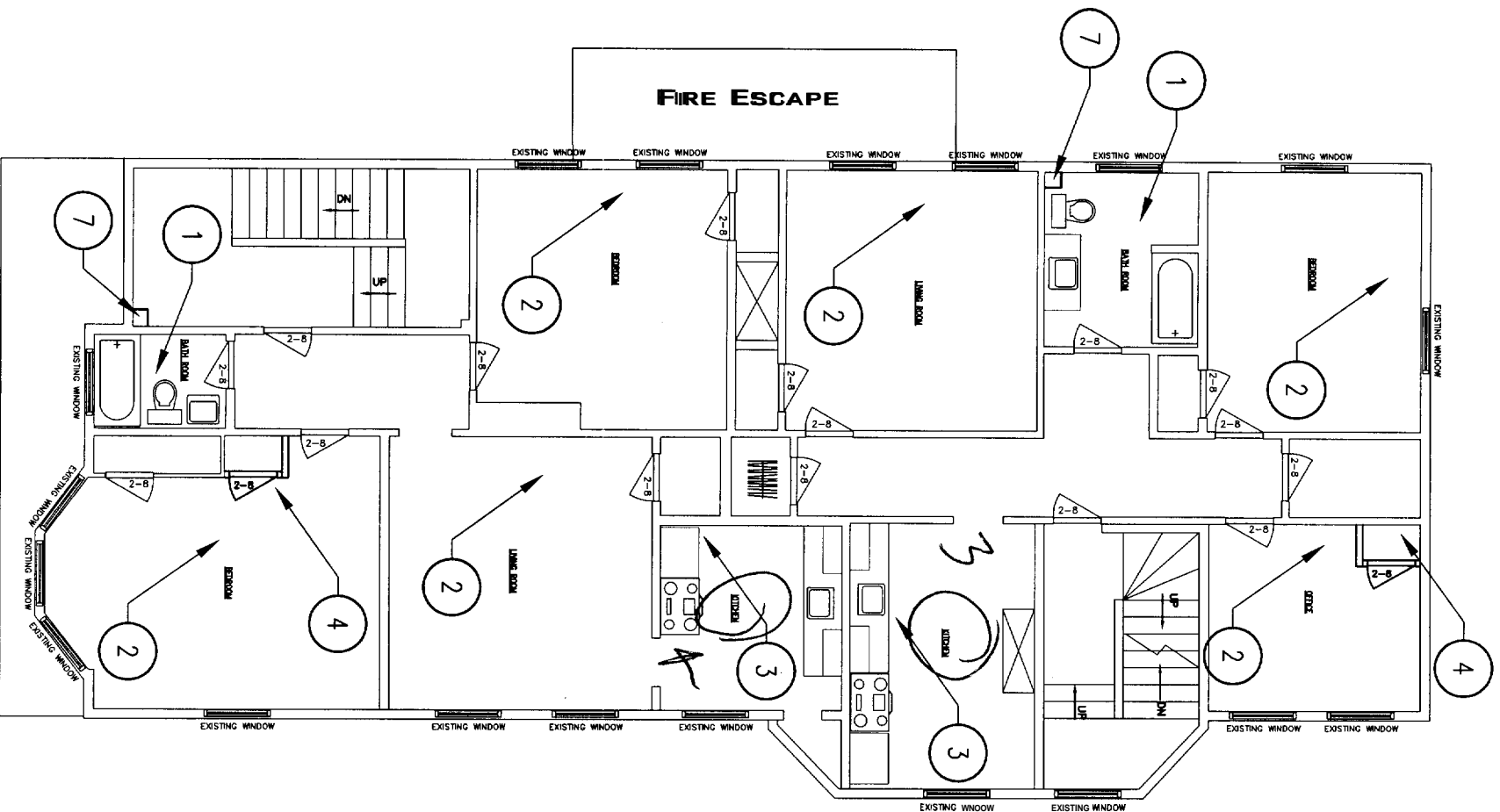
CLIENT

245 BRIGHTON AVE  
PORTLAND, MAINE

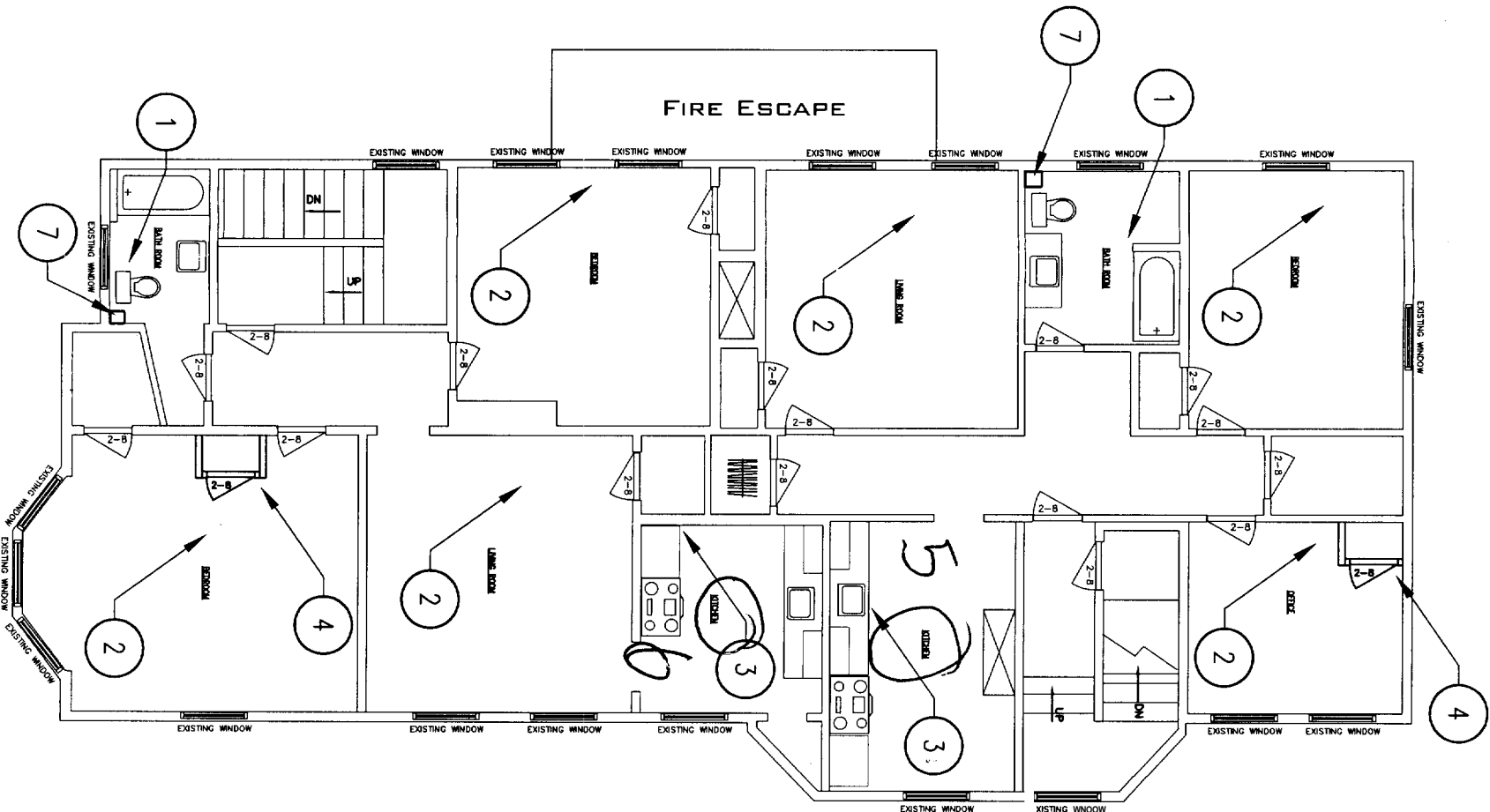
REMODEL  
FLOOR PLAN

DRAWN BY: CAC SCALE: AS NOTED DATE: 03-26-08

DRAWING NUMBER A-2

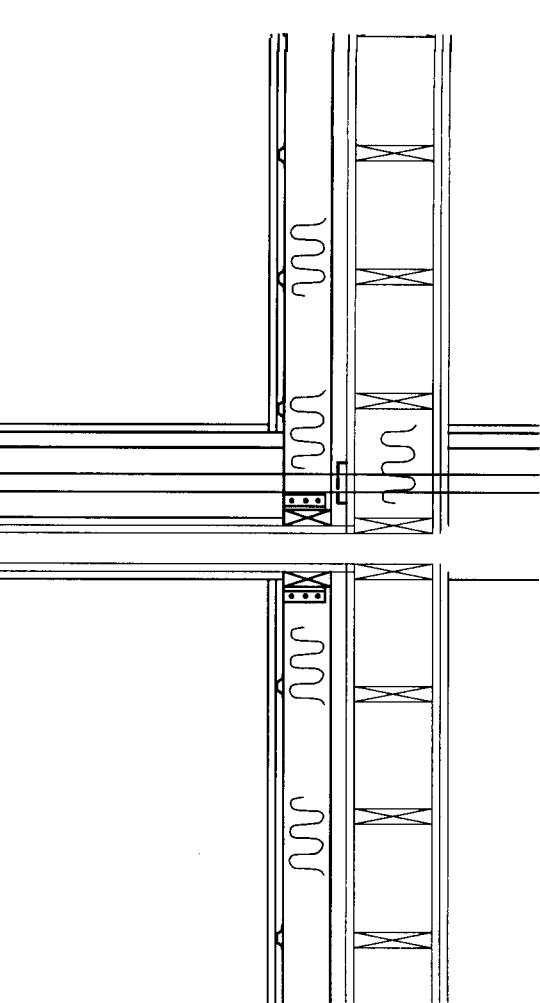


SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"



THIRD FLOOR PLAN  
SCALE: 1/4"=1'-0"

REV.	DATE	DESCRIPTION
A	6/4/06	FOR APPROVAL



5/8" TYPE  
X GYPSUM

UTILITY

3/8" GYPSUM OVER  
EXISTING PLASTER

2X4 STUD

2 INCH BATT MINERAL  
WOOL

EXISTING  
PLASTER  
CEILING

FIRESTOP  
COLLAR

NOTE 3 4 5

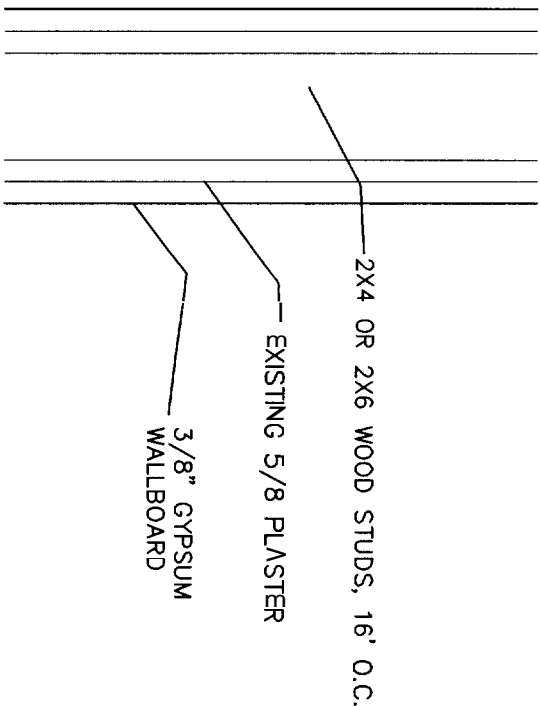
DETAIL

SCALE : NTS

1  
A-1

TYPICAL UTILITY CHASE SYSTEM

1 HOUR FIRE AND STC 50 SOUND RATING



2X4 OR 2X6 WOOD STUDS, 16" O.C.

EXISTING 5/8 PLASTER

3/8" GYPSUM  
WALLBOARD

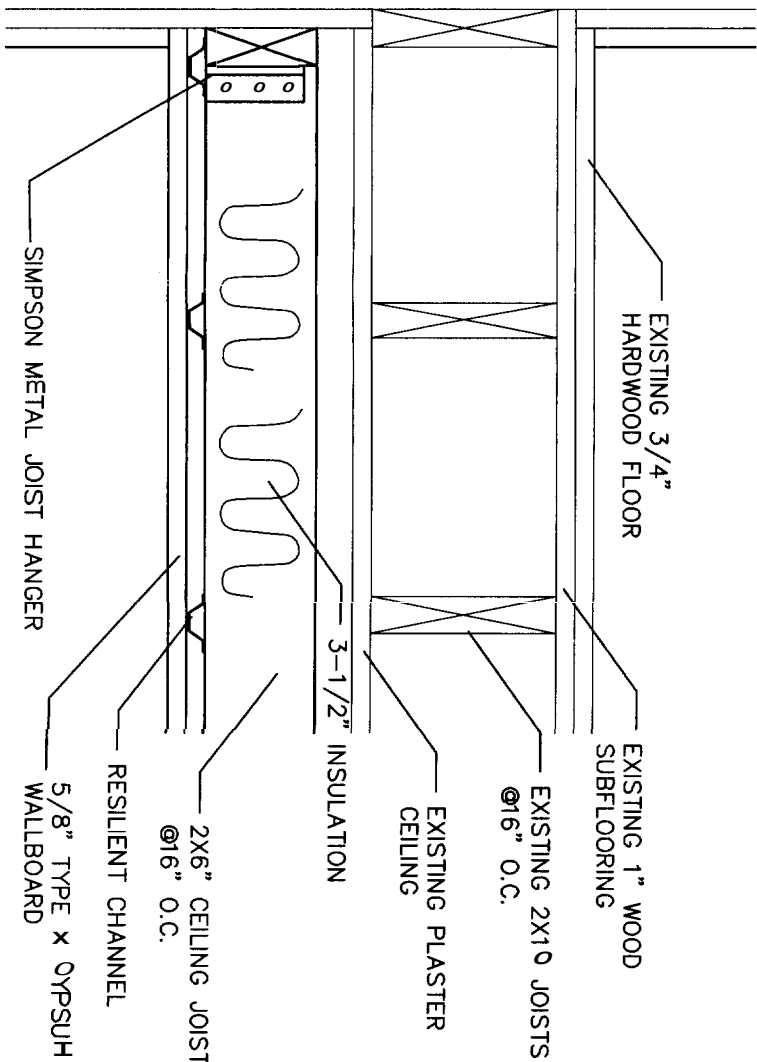
DETAIL

SCALE : NTS

2  
A-1

TYPICAL FIREWALL SYSTEM

1 HOUR FIRE AND STC 50 SOUND RATING



EXISTING 3/4"   
HARDWOOD FLOOR

EXISTING 1" WOOD  
SUBFLOORING

EXISTING 2X10 JOISTS  
@16" O.C.

EXISTING PLASTER  
CEILING

3-1/2" INSULATION

2X6" CEILING JOIST  
@16" O.C.

RESILIENT CHANNEL

5/8" TYPE X GYPSUM  
WALLBOARD

SIMPSON METAL JOIST HANGER

NOTE 3,4,5

DETAIL

SCALE : NTS

3  
A-1

TYPICAL FLOOR-CEILING SYSTEM

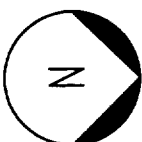
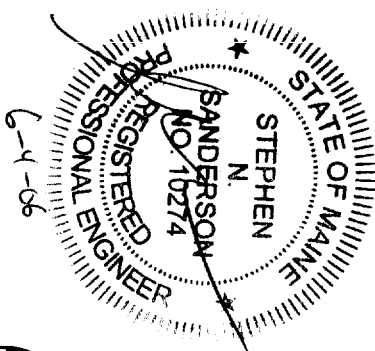
1 HOUR FIRE AND STC 50 SOUND RATING

GENERAL NOTES:

- SUBSTITUTE MATERIALS AND/OR SIZES AND GRADES PER CONTRACTOR'S SPECIFICATIONS.
- CONT. TO VERIFY ALL MATERIALS/SPANS PER MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.
- ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO RESILIENT FURRING CHANNELS 24" O.C. WITH 1" TYPE S DRYWALL SCREWS 12" O.C.
- RESILIENT FURRING CHANNELS APPLIED AT RIGHT ANGLES TO 2X10 WOOD JOISTS 16" O.C. WITH 6D COATED NAILS, 2" LONG, 0.113" SHANK, 17/64" HEAD.
- CALK OPENINGS AROUND PIPES, FIXTURES, AND OTHER ITEMS PROJECTING THROUGH FIRE RATED GYPSUM ASSEMBLYS FIRE TYPE F FIRE RATED CALK.

UL LISTING:

- UL 263 - FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS.
- UL 723 - TESTS FOR SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS.
- UL 1479 - FIRE TESTS OF THROUGH-PENETRATION FIRESTOPS.



MAP AND LOT NO.

119-E-7

LOT SIZE = 8416 SF

BACK BAY PROPERTIES,LLC  
MANAGER: STEPHEN SANDERSON  
202 US RT ONE, PMB221  
FALMOUTH, MAINE 04105

CLIENT 245 BRIGHTON AVE

PORTLAND, MAINE

REMODEL  
DETAILS

DRAWN BY: CAC SCALE: AS NOTED DATE: 03-20-06

DRAWING NUMBER A-3

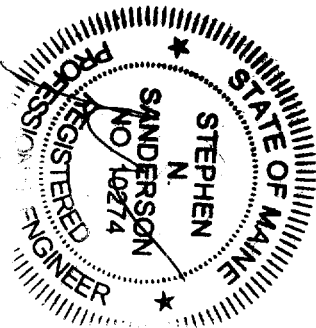
REV.	DATE	DESCRIPTION
A	6/4/06	FOR APPROVAL

REV.

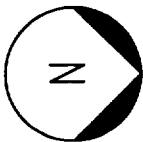
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## WORK NOTES

- REPLACE THE BATHROOM FLOOR WITH CERAMIC TILE. REPLACE VANITY, TUB/SHOWER AND SINK
- ADD DROP CEILINGS RATED FOR 1 HR FIRE SEPARATION AND STC 9.
- REPLACE KITCHEN CABINETS AND INSTALL NEW COUNTERTOPS. INSTALL NEW CERAMIC FLOOR TILE.
- ADD CLOSET IN THIS LOCATION.
- ADD 3/8 INCH SHEET ROCK OVER EXISTING PLASTER AND LATHE.
- PAINT ALL INTERIOR WALLS, CEILINGS AND TRIM. REPLACE LIGHTING FIXTURES, UPDATE THE ELECTRICAL. PLUMBING RELOCATION IN EACH BATHROOM AND KITCHEN.
- ADD UTILITY CHASE AT THIS LOCATION

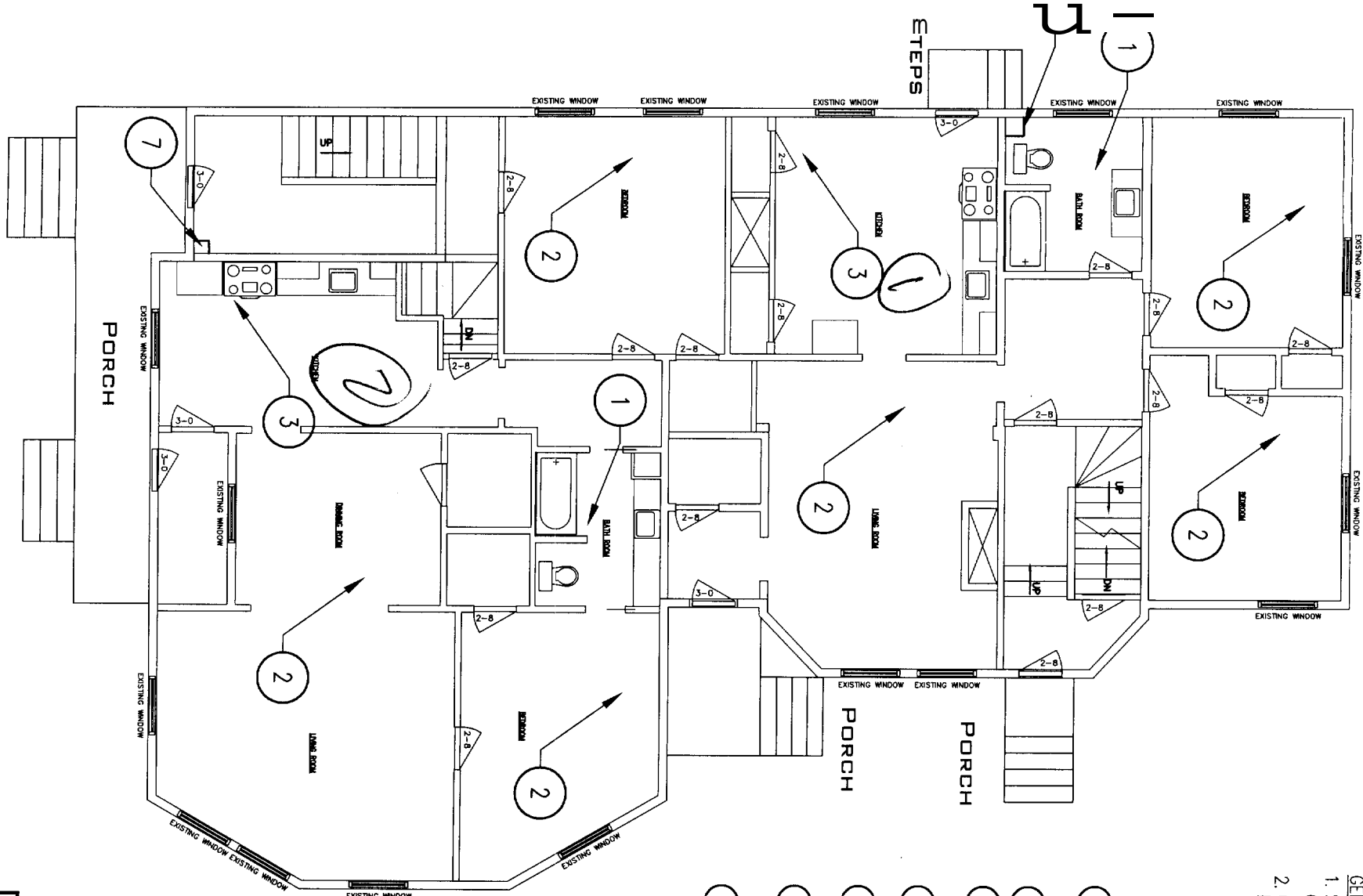
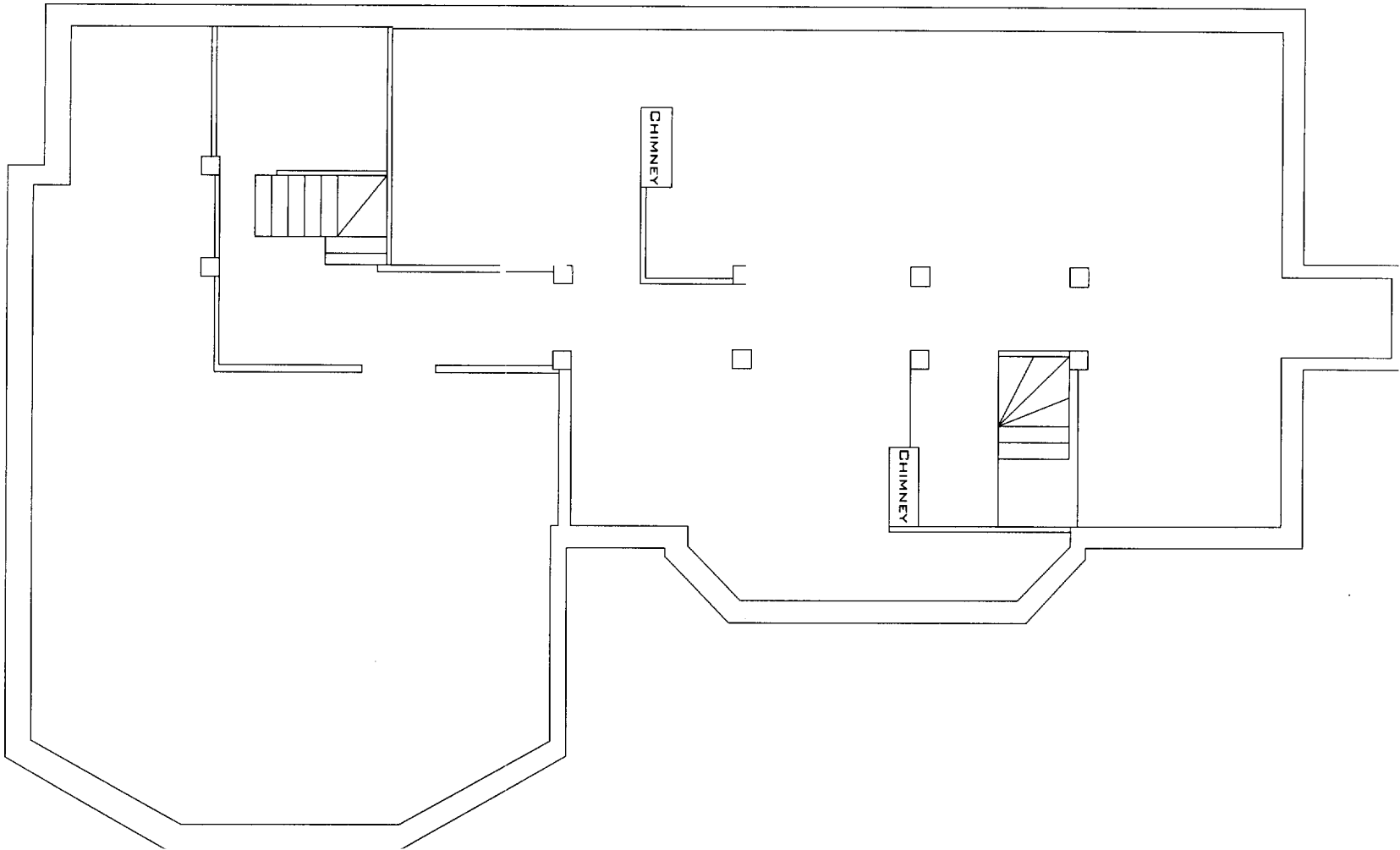


6-4-06



MAP AND LOT NO.  
119-E-7  
LOT SIZE = 8416 SF

BACK BAY PROPERTIES, LLC  
MANAGER: STEPHEN SANDERSON  
202 US RT ONE, PMB221  
FALMOUTH, MAINE 04105



BASEMENT PLAN

SCALE: 1/8"=1'-0"

FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

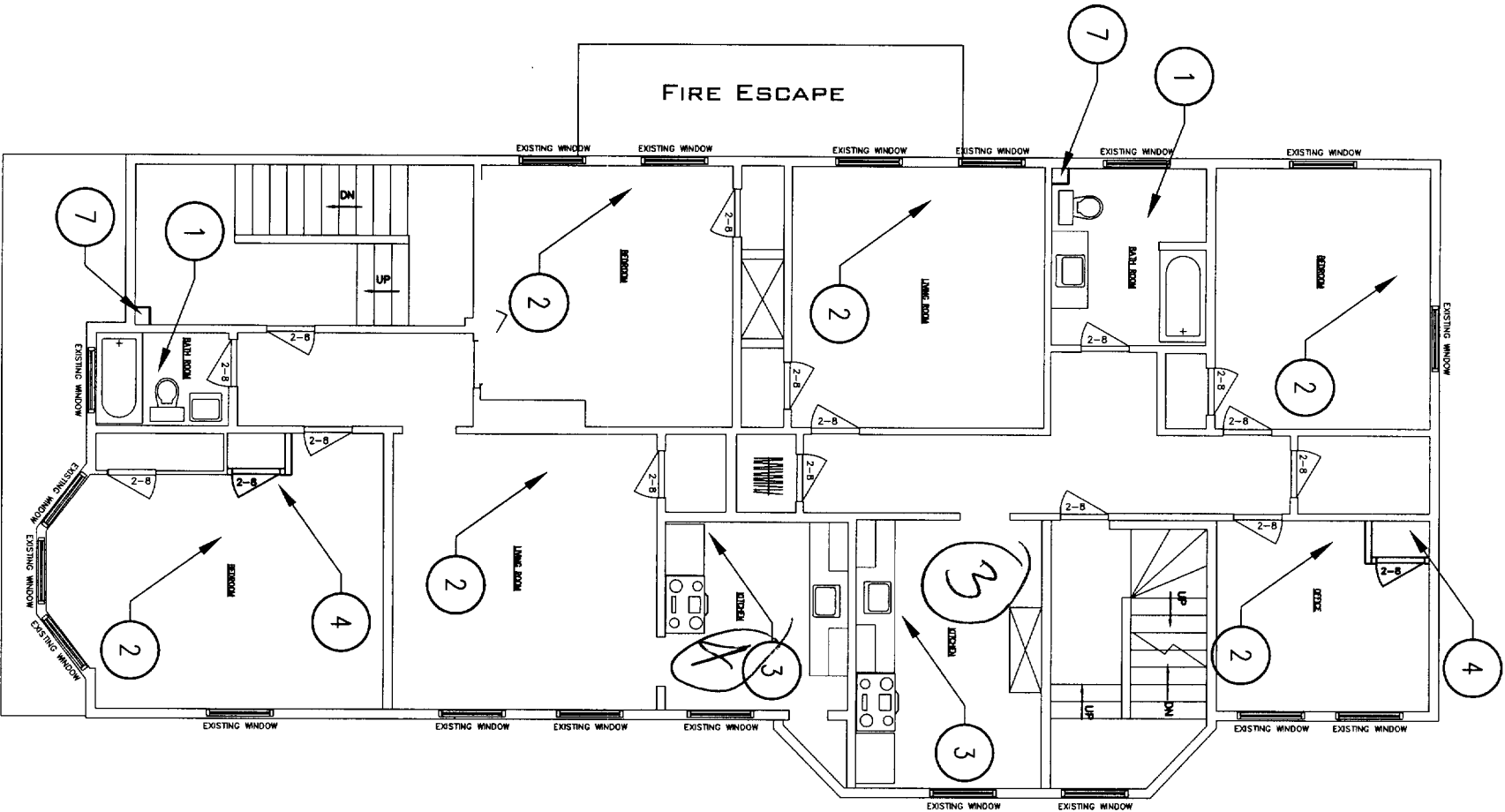
REV.	DATE	DESCRIPTION
A	6/4/06	FOR APPROVAL

CLIENT	245 BRIGHTON AVENUE		
	PORTLAND, MAINE		
	REMODEL		
	FLOOR PLAN		
DRAWN BY:	CAC	SCALE:	AS NOTED
		DATE:	03-20-06
DRAWING NUMBER		A-1	REV.

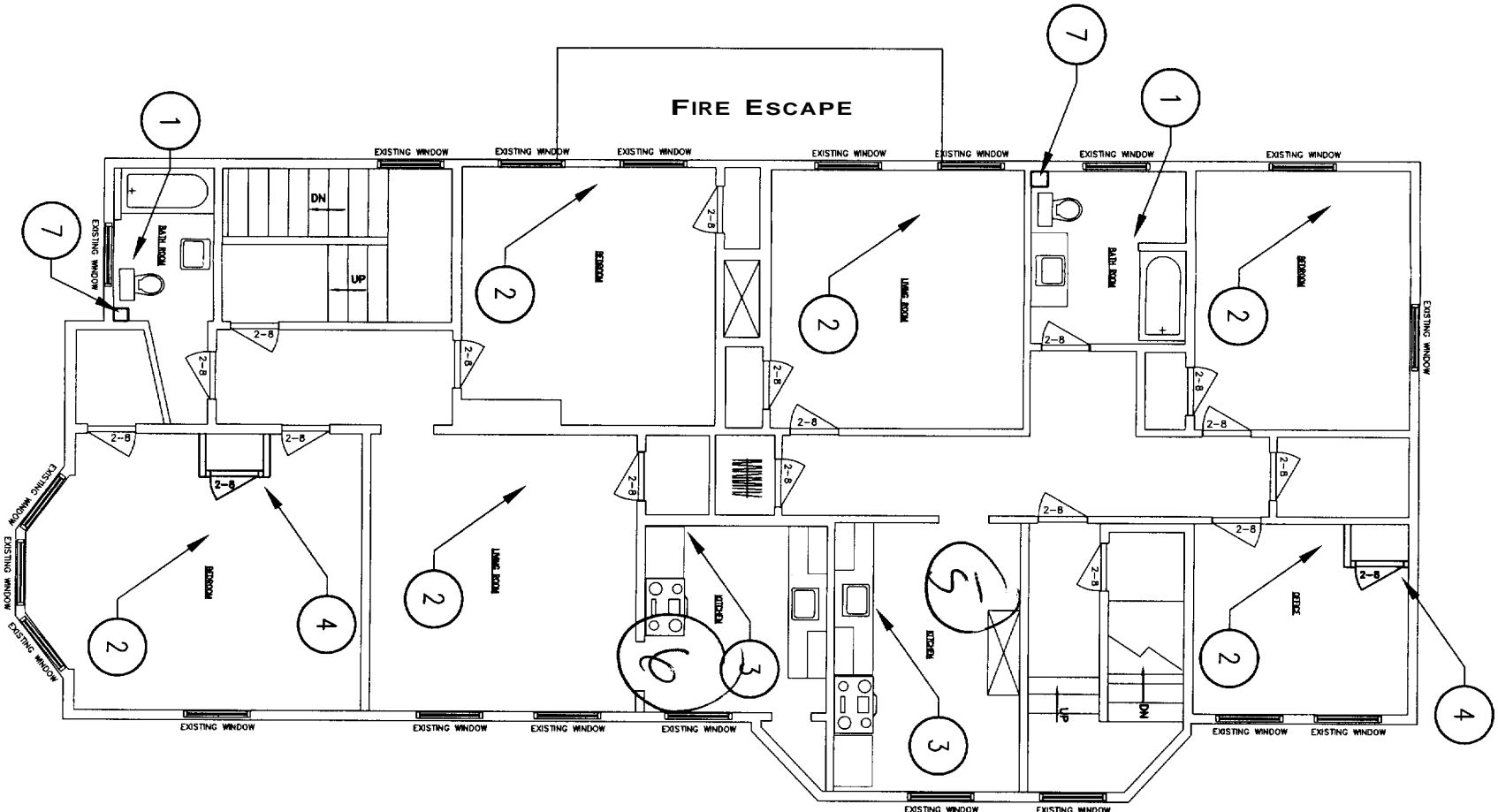
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WORK NOTES

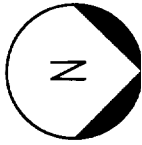
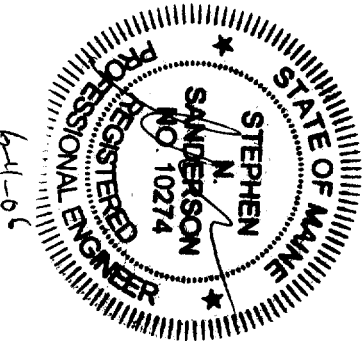
1. REPLACE THE BATHROOM FLOOR WITH CERAMIC TILE.  
REPLACE VANITY, TUB/SHOWER AND SINK
2. AD/ DROP CEILINGS RATED FOR 1 H FE SEPARATION AND STC 50.
3. REPLACE KITCHEN CABINETS AND INSTALL NEW COUNTERTOPS.  
INSTALL NEW CERAMIC FLOOR TILE.
4. ADD CLOSET IN THIS LOCATION.
5. ADD 3/8 INCH SHEET ROCK OVER EXISTING  
PLASTER AND LATH.
6. PAINT ALL INTERIOR WALLS, CEILINGS AND TRIM.  
REPLACE LIGHTING FIXTURES. UPDATE THE ELECTRICAL.  
PLUMBING RELOCATION IN EACH BATHROOM AND KITCHEN.
7. AD UTILITY BASE AT THIS LOCATION



SECOND FLOOR PLAN  
SCALE 1/4"=1'-0"



THIRD FLOOR PLAN  
SCALE 1/4"=1'-0"

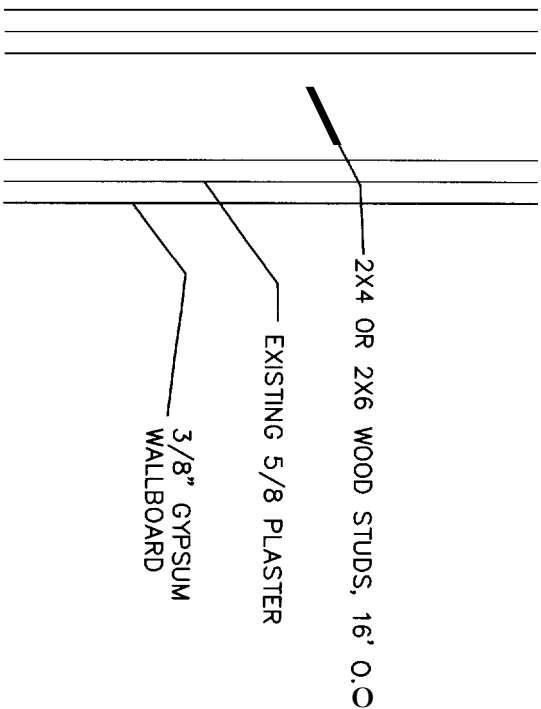


MAP AND LOT NO.  
119-E-7  
LOT SIZE = 8416 SF

BACK BAY PROPERTIES, LLC  
MANAGER: STEPHEN SANDERSON  
202 US RT ONE, PMB221  
FALMOUTH, MAINE 04105

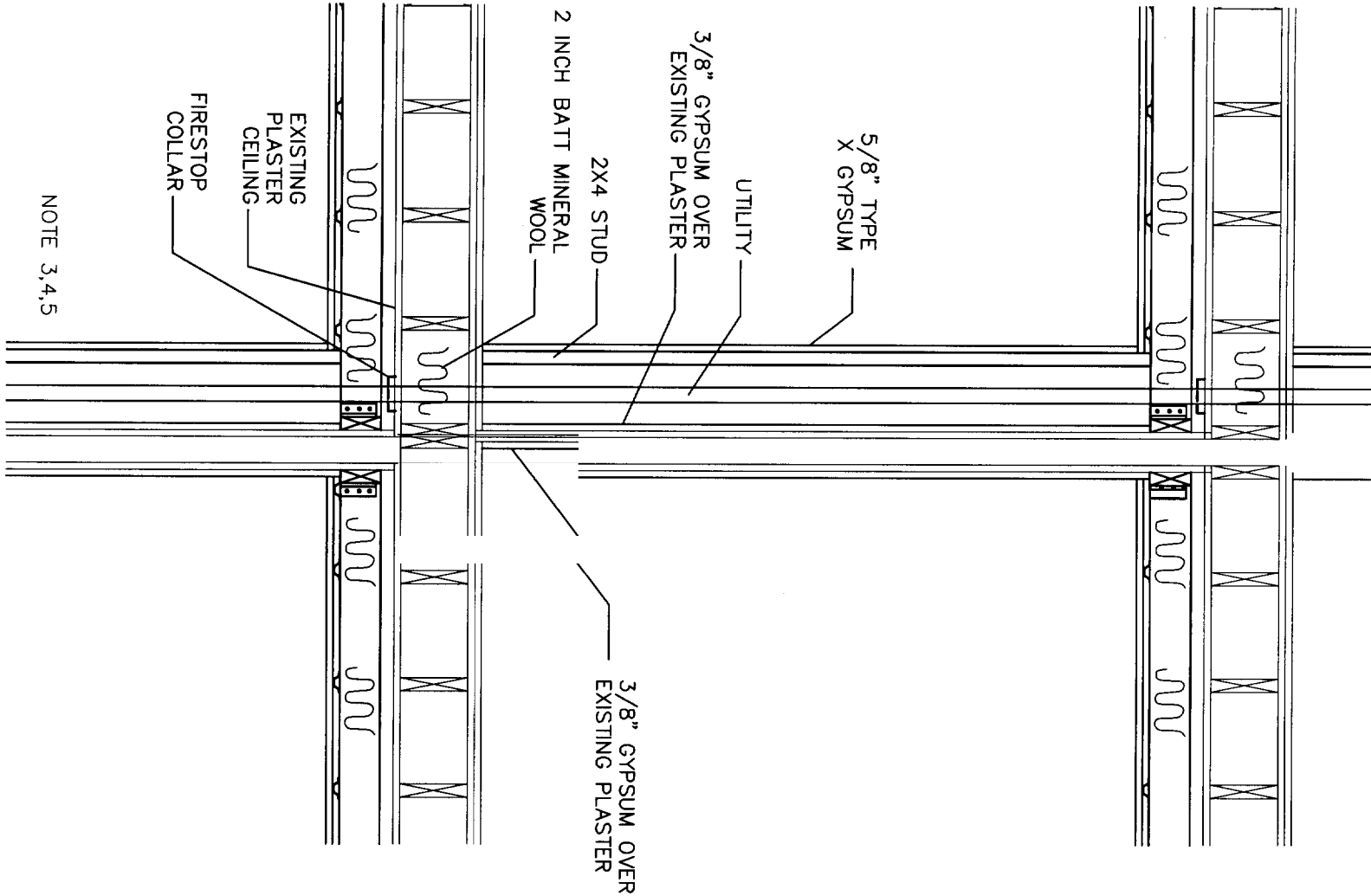
REV	DATE	DESCRIPTION
A	6/4/06	FOR APPROVAL

CLIENT	245 BRIGHTON AVE PORTLAND, MAINE
DRAWN BY:	CAC
SCALE:	AS NOTED
DATE:	03-26-06
DRAWING NUMBER	A-2
REV	A



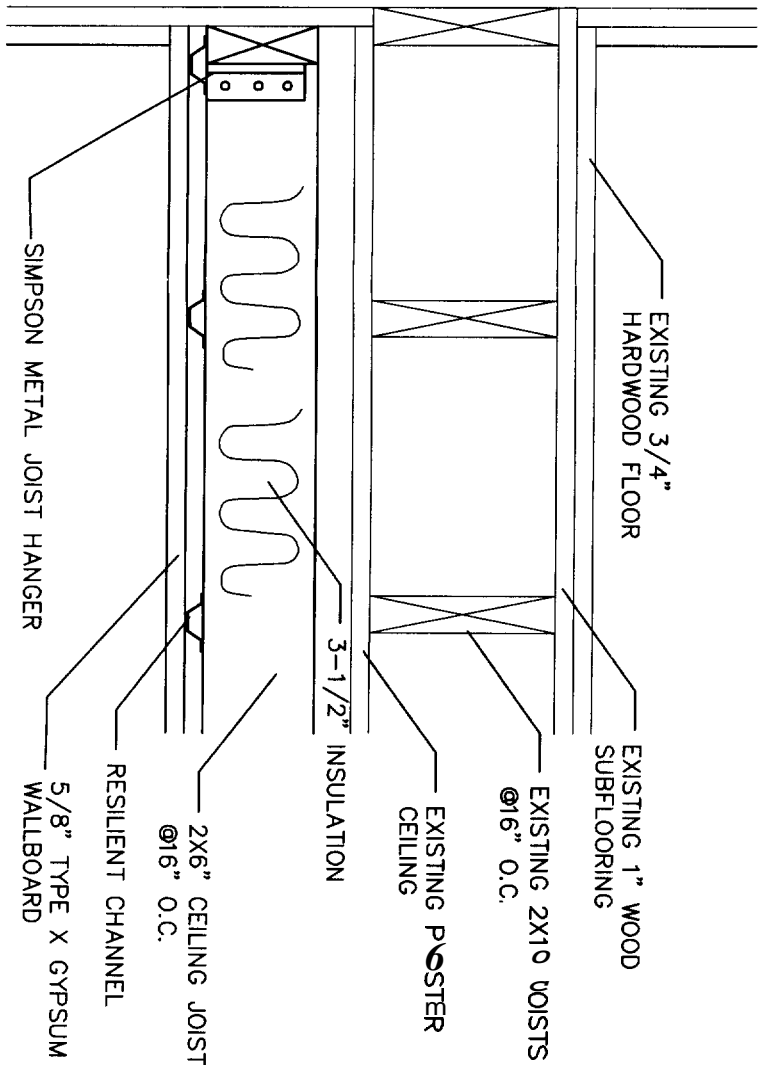
DETAIL 2  
SCALE : NTS  
A-1

TYPICAL FIREWALL SYSTEM  
1 HOUR FIRE AND STC 50 SOUND RATING



DETAIL 1  
SCALE : NTS  
A-1

TYPICAL UTILITY CHASE SYSTEM  
1 HOUR FIRE AND STC 50 SOUND RATING



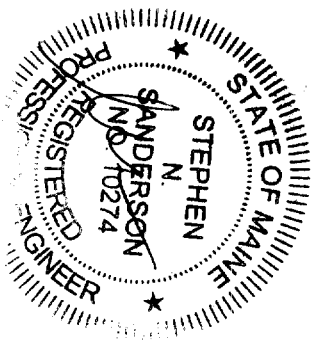
DETAIL 3  
SCALE : NTS  
A-1

TYPICAL FLOOR-CEILING SYSTEM

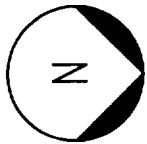
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6-4-06



MAP AND LOT NO.  
119-E-7  
LOT SIZE = 8416 SF

BACK BAY PROPERTIES, LLC  
MANAGER: STEPHEN SANDERSON  
202 US RT ONE, PMB221  
FALMOUTH, MAINE 04105

CLIENT 245 BRIGHTON AVE  
PORTLAND, MAINE

REMODEL  
DETAILS

DRAWN BY: CAC		SCALE: AS NOTED		DATE: 03-28-06	
DRAWING NUMBER A-3		REV. A			